



**INC. VILLAGE OF FREEPORT**

**Department of Buildings**

46 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK 11520  
(516) 377-2242  
FAX (516) 377-2493

E-MAIL [BUILDINGDEPT@FREEPORTNY.GOV](mailto:BUILDINGDEPT@FREEPORTNY.GOV)

ROBERT T. KENNEDY  
MAYOR

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AUG 08 2022  
CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY

SERGIO A. MAURAS  
SUPERINTENDENT OF BUILDINGS

July 11, 2022  
**Letter of Denial**

Rosa Galdamez  
35 James Burrell Avenue  
Hempstead, NY 11550

**RE: 131 S. Main St., Freeport, NY AKA 129-133 S. Main St., Freeport, NY**  
**Zoning District –Manufacturing – Sec. 62 Blk. 198 Lot 318**  
**Building Permit Application #20222724**  
**Description: Interior alterations for Bar/Restaurant**

Dear Sir/Madam:

Please be advised that the above captioned Building Permit Application must be denied for the following reason(s):

- 1) Village Ordinance §210-6A.** No building or land shall hereafter be used or occupied and no building or part thereof shall be erected, moved or altered unless in conformity with the regulations herein specified for the district in which it is located.
- 2) Village Ordinance §210-172A(4). Restaurants, discotheques, cabarets and bars.** At least one (1) parking space for each three (3) authorized occupants. The application you have submitted indicates an occupant load of forty-two (42) persons and zero (0) parking spaces provided. Accordingly, you will be seeking a variance for fourteen (14) parking spaces.

Please be further advised that if you intend to appeal this decision you must file an application within sixty (60) days of the date of this letter. For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the **Village Clerks Office at 516-377-2202** to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Village Clerk's Office. **Only after this initial appointment should the additional copies be made.**

RE: 131 S. Main St., Freeport, NY

Be further advised that you must submit an application to the Zoning Board of Appeals within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Zoning Board of Appeals Application, please call the VILLAGE CLERK'S OFFICE at **516-377-2300**.

Very truly yours,



Sergio A. Mauras  
Superintendent of Buildings  
Anthony Arce, R.A.

/cd  
encl.

c: Village Clerk

SITE PLAN APPROVAL NEEDED Yes \_\_\_ No X

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VILLAGE OF FREEPORT  
Department of Buildings  
Recommendation

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VILLAGE OF FREEPORT, NY

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.  
(See reasons below)

Project :

Building Permit App. 20222724

Location: 131 S. Main St., Freeport, NY aka 129-133 S. Main St., Freeport, NY

Applicant: Rosa Galdamez

Description: Interior alterations for Bar/Restaurant

Lead Agency: Department of Buildings  
for the Board of Trustees  
Village of Freeport  
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:  
Superintendent of Buildings  
(516) 377-2242

**REASON(S) FOR DETERMINATION**

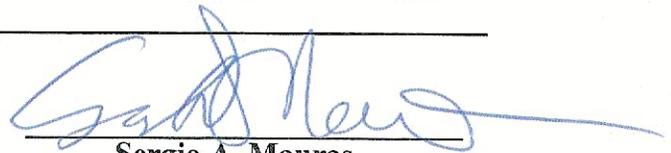
This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) \_\_\_\_\_  
\_\_\_\_\_

B) Possible environment effects identified:  
(only if positive determination)

\_\_\_\_\_

Dated: July 11, 2022

  
Sergio A. Mauras  
Superintendent of Buildings

**IMPORTANT:** This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.



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SEC. 62 BLK. 198 LOT. 318

BOARD OF APPEALS OF THE VILLAGE OF FREEPORT

In the Matter  
Of  
the Application of Rosa Galdamez

To The Board of Appeals of the Village of Freeport, New York

Index No. \_\_\_\_\_

COMPLY WITH  
ORIGINAL NOTES

The application of 131 S MAIN ST FREEPORT, AKA - 129-131 S. MAIN ST

respectfully states and alleges:

Strike out  
inapplicable  
phrase

1. That the applicant (resides at) ~~(has its principal office for the conducting of its business at)~~

Rosa Galdamez 14 James LL Burrell Ave  
Hempstead NY 11550

State whether  
applicant is owner,  
lessee, or has option  
or contract. If other  
than owner, state  
briefly terms of  
agreement.

2. That the premises affected by this application is located at

131 SOUTH MAIN ST

Land Map of Nassau County

Sec. 62 Blk. 198 Lot(s) 318

and that the interest which the applicant has in the property concerned is that of

the business owner wishes to expand their  
business (129 S. MAIN ST) to the adjacent tenant space

3. That (the applicant) (the applicant's duly authorized Anthony Arce (RA) on or about the

25 day of July 20 22 filed in the office of the Department of Buildings of the Village of

Freeport, New York, an application for a Building Permit. Documents filed with said application were

as follows: FLOOR PLANS: A-0 PROJECT INFO  
A-1 FLOOR PLAN & RCP / A-2 - INTERIOR ELEV & DETAILS  
A-3 BAR & BATHROOM DETAILS

Obtain reason for  
denial from  
Department of  
Buildings.

4. That on or about the 11 day of JULY, 20 22 the Department of Buildings denied said

application; upon information and belief that the reason for said denial was as follows:

1. § 210 - 6A - Must conform to regulations for the district
2. 210 - 172A(4) - PARKING - 1 SPACE PER 3 AUTHORIZED OCCUPANTS

Describe by  
construction and  
number of stories. If  
none, so state.

5. That the nature of the improvements now upon said premises is as follows:

ADD (2) ADA BATHROOMS, FULL SERVICE BAR &  
DINING SEATING, NEW CEILING LIGHTING

State nature of use of  
property. If a  
business, give brief  
description.

6. That said premises are now being used as follows: PREVIOUS TENANT:

BK COFFEE SUPPLIERS, NY.

Describe fully and  
clearly the use  
desired.

7. That the applicant seeks authority to make use of said premises as follows: THE APPLICANT

SEEKS EXPAND THEIR EXISTING DELI/REST INTO  
THE ADJACENT SPACE, SERVING FOOD FROM KITCHEN

Strike out whichever  
word is not  
applicable. Follow  
language in  
ordinance.

8. Upon information and belief that a ~~(permit)~~ (variance) for such use may be granted by this Board by

virtue of the following sections of the said Zoning Code of The Village of Freeport or statutes of the  
State of New York \_\_\_\_\_

Refer where possible  
to paragraphs and  
section by numbers.

9. That the following is a statement of other factual information deemed pertinent by the applicant. If the

application involves a subdivision of property, describe the existing property: THE EXISTING  
PROPERTY DOES NOT HAVE ON SITE PARKING

MOST OF THE PATRONS LIVE IN WALKING DISTANCE,  
THEREFORE, WOULD NOT NEED THE PARKING  
AS REQUIRED BY THE CODE.

THERE IS METERED PARKING ON BOTH SIDES  
OF MAIN ST, AND PUBLIC PARKING WITHIN 200 FEET

If more space is needed annex statement on separate sheet and refer to it here with following words: "See annexed statement which is made a part hereof." Save opinions for the hearing.

If non-conforming use is claimed, set forth uses made of premises and dates thereof in chronological order.

10. That the grounds for this application are as follows: § 210-6A - CONFORMITY TO COPE § 210-172A(4) at least (1) parking space / (3) authorized occupants seeking a variance for (14) parking spaces.

11. That any deed restrictions running with the land prohibiting the desired use are as follows: N/A

12. That (the applicant has made no previous application to this Board for the authority sought herein) ~~(upon information and belief a previous application was made for the same or similar authority sought herein and denied by this Board, but that this application contains facts not alleged or shown in any previous proceeding before this Board).~~

WHEREFORE, the applicant respectfully prays that the authority sought herein be granted.

Dated: 8/8, 20 22. \* [Signature]

BY: Rosa Galdamez  
ITS: Business owner

If this verification is made by an officer of a corporation or an Association or by a legal representative of an estate, his name and office should be designated on the first line.

State of New York )  
County of Nassau ) ss:

The applicant Rosa Galdamez named in the foregoing application, being duly sworn, depose and say that she read the foregoing application subscribed by her and know the contents thereof; and that the same is true to her own knowledge except as to the matters therein stated to be alleged on information and belief, and that as to those matters she believes to be true.

Sworn to before me this 5<sup>th</sup> day  
of August, 20 22.

Notary Public [Signature]

\* [Signature]  
Signature of Applicant  
JENNY O. SABORIO  
Notary Public, New York  
Nassau Co. Reg #01SA5038672  
Commission Expires Jan. 30, 2023

**Notice**

**Conflict of Interest**

I have read Section 809 of the General Municipal Law concerning disclosure of and conflict of interest and hereby certify that there are no conflicts in respect to this application requiring disclosure.

8/8, 20 22  
Date Year

\* [Signature]  
Signature

**Affidavit of Owner**

To be completed only if the owner is not the applicant.

State of New York )  
County of Nassau ) ss:

\* I DAVID RAMDAYAL being duly sworn, depose and say:

That he/she (the owner of 131 S. Main St.) (is the Property Owner) of 129-131 S. MAIN ST the property concerned is correct to the best of the knowledge of deponent \_\_\_\_\_.)

That the owner DAVID RAMDAYAL consents to the granting of the authority sought in the above application.

Sworn to before me this 5<sup>th</sup> day  
of August, 20 22.

Notary Public [Signature]

\* [Signature]  
Signature

JENNY O. SABORIO  
Notary Public, New York  
Nassau Co. Reg #01SA5038672  
Commission Expires Jan. 30, 2023

Short Environmental Assessment Form

APP 1 2 2022

Freepoint Building Dept  
Freepoint, NY

**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: BAR / REST			
Project Location (describe, and attach a location map): 131 GOUTH MAIN ST			
Brief Description of Proposed Action: NEW BAR RESTAURANT W/ 2 NEW ADA BATHROOMS			
Name of Applicant or Sponsor: Rosa Galdamer		Telephone: 516 902 9417	RECEIVED AUG 08 2022 CLERK'S OFFICE VILLAGE OF FREEPPOINT, NY
Address: 14 James LL Burrell Ave		E-Mail: rosagaldamer.20@yahoo.com	
City/PO: Hempstead	State: NY	Zip Code: 11550	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action? _____ acres			
b. Total acreage to be physically disturbed? _____ acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres		NA	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			

PROJECT NO. 2022-001

APR 22 2022

Freeport Building Dept.  
Freeport, NY

	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation service(s) available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing potable water: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places? b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban			<input checked="" type="checkbox"/> N/A
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	<input type="checkbox"/>	<input type="checkbox"/>	

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18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
_____		
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
_____		
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
_____		
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor name: <u>ROSA GALDAMEZ</u> Date: <u>7/11/22</u>		
Signature: <u>[Signature]</u>		

**Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2.** Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

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VILLAGE OF FREEPORT, NY

AUG 7 8 2022

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

**Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3.** For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

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# DEPARTMENT OF BUILDINGS

APR 12 2022

OF THE VILLAGE OF FREEPORT, N.Y.

APPLICATION NO. 20222724

Filing Date 4/12/22

Freeport Building Dept.  
Freeport, NY

## Application for Erection of Buildings or Alterations

IMPORTANT - Applicant to complete all items in sections: I, II, III, IV, V

**I. LOCATION OF BUILDING**

AT (LOCATION) 131 So Main St ZONING DISTRICT \_\_\_\_\_  
 (No.) (Street)

BETWEEN E. Merrick Rd AND Thelma Ct  
 (Cross Street) (Cross Street)

SECTION 62 BLOCK 19e LOT 318 APPROX. LOT SIZE 40 X 100 LOT AREA 4000

### II. TYPE AND COST OF BUILDING - All applicants complete Parts A - D.

**A. TYPE OF IMPROVEMENT**

1 | | New building  
 2 |  Addition (Alteration) of residential, enter number of new housing units added. If none-state none ✓  
 3 | | Swimming Pool  
 4 | | Repair (replacement)  
 5 | | Bulkhead (New, Repair)  
 6 | | Fence  
 7 | | Moving (relocation)

**B. PROPOSED OR EXISTING USE**

RESIDENTIAL  
 11 | | One Family  
 12 | | Two families  
 13 | | Apartment - Enter No. of Units \_\_\_\_\_  
 14 | | Transient hotel, motel, or dormitory - Enter No. of Units \_\_\_\_\_  
 15 | | Garage or Accessory Structure  
 16 | | Other - Specify \_\_\_\_\_

NON RESIDENTIAL - Complete Part "E"  
 17 | | Industrial  
 18 | | Office, bank, professional  
 19 | | Stores, mercantile  
 20 | | Church, other religious  
 21 | | Hospital, Institutional  
 22 | | Other - Specify Bar/Restaurant

**C. COST**

10 TOTAL COST OF IMPROVEMENT \$ 20,000

**D. DESCRIPTION OF PROJECT**

Interior Alteration - Bar/Restaurant  
2 new Bathrooms, Ceiling/Lighting  
Bar Counters

### III. IDENTIFICATION - To be completed by all applicants

	NAME	MAILING ADDRESS - Number, street, city and state, Zip	TEL. NO.
1. Owner or Lessee	<u>Rosa Galdamez</u>	<u>35 James II Burrell Ave</u> <u>Hempstead NY 11550</u>	<u>516</u> <u>902 9417</u>
2. Contractor	<u>Reginaldo Lopez</u>	<u>29 Pearsall Ave</u> <u>Freeport NY 11520</u>	<u>516 406</u> <u>79 26</u>
3. Architect or Engineer	<u>Anthony Arce</u>	<u>447 Jackson Ave</u> <u>West Hempstead NY 11552</u>	<u>516</u> <u>220</u> <u>1949</u>

**IV. OWNER - CONTRACTOR STATEMENT**

Building permit is issued subject to the provisions of Section 57 of the Workmen's Compensation Law.  
 Workmen's Compensation Certificate No. N9WC5 Company Wellfeet Exp. Date 3/21/23  
10596  
 Contractor or Owner Reginaldo Lopez  
 Address 29 Pearsall Ave Freeport 11520  
 Phone 516-406 7926

State of New York  
 County of Nassau  
Reginaldo Lopez being duly sworn, says that he is the contractor or owner of the above mentioned building. That the items of the above application also the estimated cost of said building or alteration, is correct to the best of his knowledge and belief and agrees to conform to all applicable laws of this jurisdiction.  
 NOTARY PUBLIC-STATE OF NEW YORK  
 No. 01LI6066956  
 Sworn to before me this 11 day of April, 2022  
Mehesha C Little My Commission Expires 11-26-2025  
 Notary Public, County, N.Y. (Applicant Signature)

**V. FLOOD ZONE**

IS PROJECT LOCATED WITHIN A DESIGNATED FLOOD HAZARD ZONE?  
 YES \_\_\_\_\_ NO X  
 IF YES, WHICH ZONE? \_\_\_\_\_

IS PROJECT TO REPAIR FLOOD DAMAGE?  
 YES \_\_\_\_\_ NO X

**PROJECT DESCRIPTION**

Total/First Flr Square Feet 875  
 Upper Flrs Square Feet ✓  
 # of Fixtures \_\_\_\_\_  
 # of Floors 1  
 Occup. Type B

**VI. VALIDATION (Official Use Only)**

Building Permit Number \_\_\_\_\_  
 Building Permit Issued \_\_\_\_\_  
 Building Permit Fee \$ \_\_\_\_\_

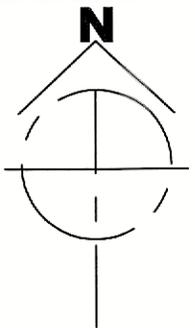
Approved by: \_\_\_\_\_ RECEIVED  
 AUG 0 8 2022  
 Superintendent of Buildings  
 CLERK'S OFFICE  
 VILLAGE OF FREEPORT, NY

129-131 MAIN ST

PARKING ACCESS



ARIAL VIEW OF FACINITY



PROJECT DESCRIPTION:	ADDRESS: 129-131 SOUTH MAIN ST. FREEPORT NY			
NEW RESTAURANT CONNECTED WITH EXISTING ADJACENT DELI	SECTION	62	BLOCK	198
	LOT	318	ZONE DISTRICT	B BUSINESS

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VILLAGE OF FREEPORT, NY

Project :  
Restaurant Expansion  
129-131 S. Main St.  
Freeport NY



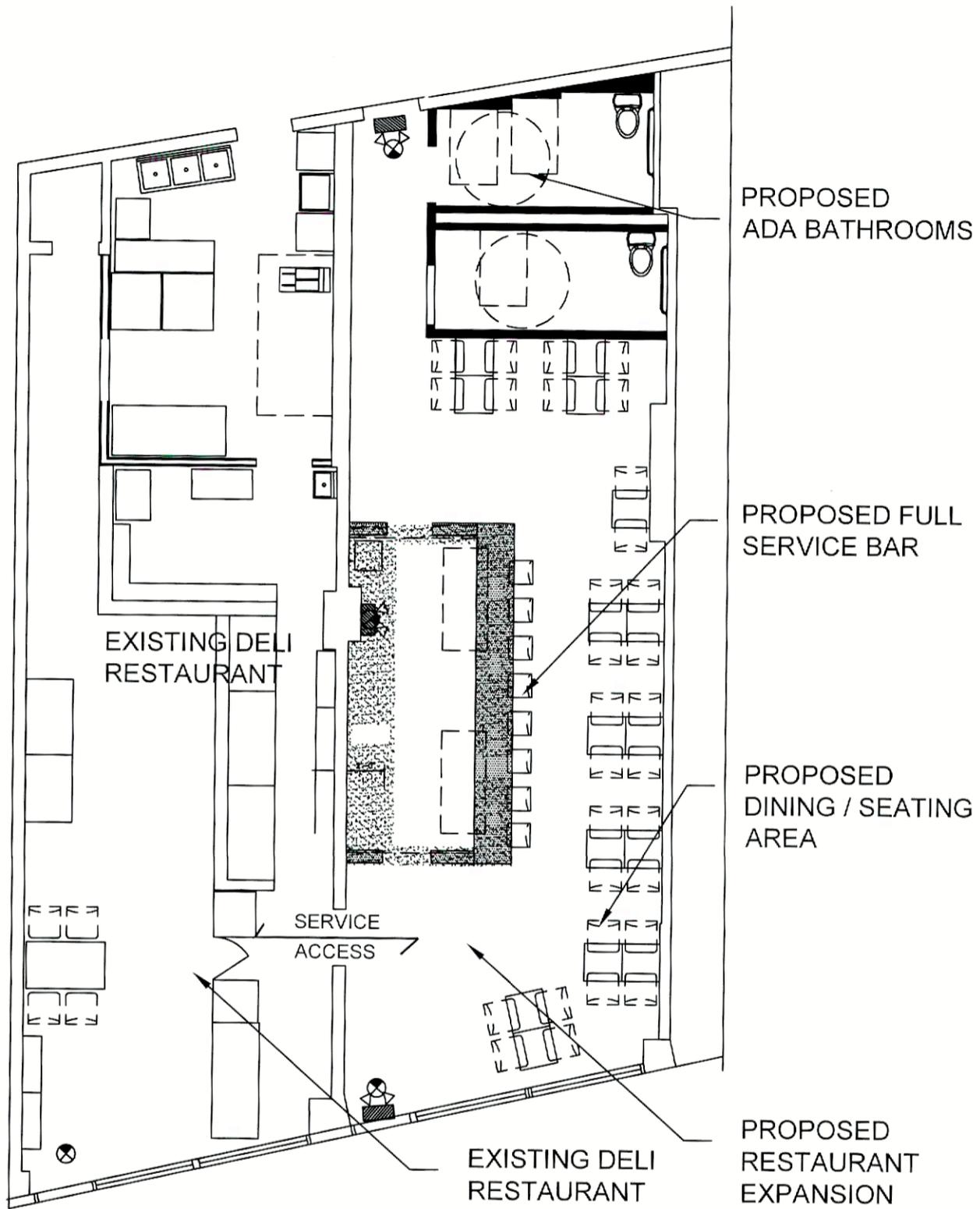
**ARCHITECTURE PC**  
447 Jackson Ave.  
West Hempstead New York, 11021  
Tel: 516 220-1949

DATE:  
8.8.22

SCALE:

DWG NO:

**Z-1**



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OVERALL FLOOR PLAN  
 1/8"=1'- 0"

Project :  
 Restaurant Expansion  
 129-131 S. Main St.  
 Freeport NY



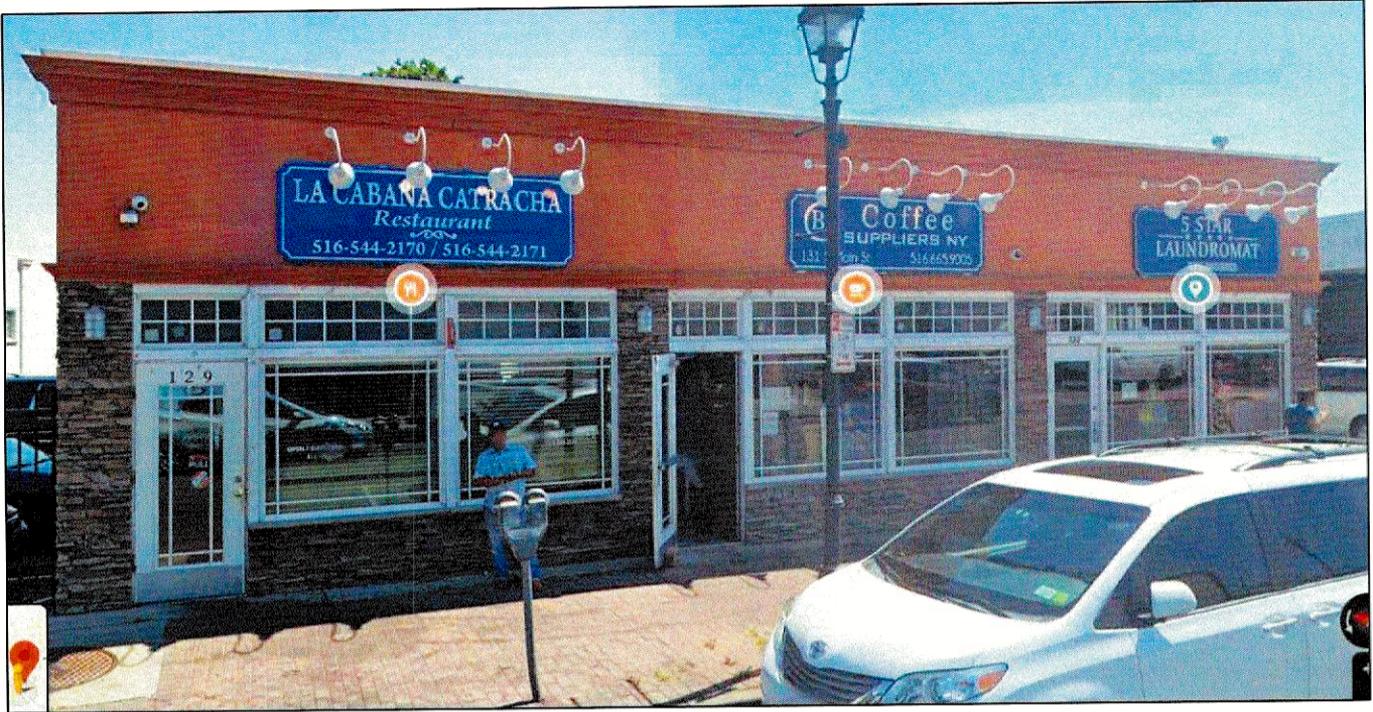
**ARCHITECTURE PC**  
 447 Jackson Ave.  
 West Hempstead New York, 11021  
 Tel: 516 220-1949

DATE:  
 8.8.22

SCALE:  
 1/8"=1'- 0"

DWG NO:

**Z-2**



STOREFRONT



EXISTING DELI INTERIOR

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VILLAGE OF FREEPORT, NY

Project :  
Restaurant Expansion  
129-131 S. Main St.  
Freeport NY



**ARCHITECTURE PC**  
447 Jackson Ave.  
West Hempstead New York, 11021  
Tel: 516 220-1949

DATE:  
8.8.22

SCALE:

DWG NO:

**Z-3**











**INC. VILLAGE OF FREEPORT**

**Department of Buildings**

46 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK 11520  
(516) 377-2242  
FAX (516) 377-2493

E-MAIL [BUILDINGDEPT@FREEPORTNY.GOV](mailto:BUILDINGDEPT@FREEPORTNY.GOV)

ROBERT T. KENNEDY  
MAYOR

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SERGIO A. MAURAS  
SUPERINTENDENT OF BUILDINGS

JULY 12, 2022

**LETTER OF DENIAL**

**Greenwood & Sons Inc.**  
**P.O. Box 229**  
**Baldwin, NY 11510**

RE: 179 N. Main Street  
Freeport, NY 11520  
Zoning District – Service District  
Sec: 55 Blk: 262 Lot: 9  
Building Permit Application #20222882  
Description: Divide structure to create four separate stores

Dear Sir/Madam:

Please be advised that the above captioned Building Permit Application must be denied for the following reason(s):

**Village Ordinance §210-6A:** No building or land shall hereafter be used or occupied and no building or part thereof shall be erected, moved or altered unless in conformity with the regulations herein specified for the district in which it is located.

**Village Ordinance §210-172A(12):** All non-residential buildings in any zoning district except as otherwise required in this section: at least one parking space for each 400 square feet of the floor area of the building or structure plus parking space for two (2) cars for each individual store, shop, or business in the building or structure. The plans that you have submitted with this application indicates a building of 8,691 sq. ft. plus four (4) separate stores. This will require twenty-nine (29) parking spaces. Your application indicates zero (0) parking spaces. Accordingly, you will be seeking a parking variance.

Please be further advised that if you intend to appeal this decision, you must make application to the Zoning Board of Appeals within sixty (60) days of the date of this letter. For your convenience, enclosed please find an application, together with an instruction sheet for filing, which includes the

current fee schedule. The completed applications, together with the required documentation and fee, are to be submitted to the Village Clerk's Office.

If you should have any questions or require additional information with reference to the Zoning Board Application, please contact the Village Clerk's Office at 377-2300. In the event that you do not make application within the allotted sixty (60) days, this Letter of Denial will expire and the Building Permit Application in conjunction with same will be cancelled.

Very truly yours,



Sergio A. Mauras  
Superintendent of Buildings  
Joseph Madigan, Plans Examiner

/mw  
encl.  
c: Village Clerk

SITE PLAN APPROVAL NEEDED

Yes:  X  No

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VILLAGE OF FREEPORT  
Department of Buildings  
Recommendation

Notice

Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.  
(See reasons below)

Project:

Building Application # 20222882

Location: 179 N. Main Street, Freeport, NY 11520

Applicant: Greenwood & Sons Inc.

Description: Divide structure to create four (4) separate stores

Lead Agency: Department of Buildings  
for the Board of Trustees  
Village of Freeport  
46 North Ocean Avenue

Agency Contact Person:  
Superintendent of Buildings  
(516) 377-2242

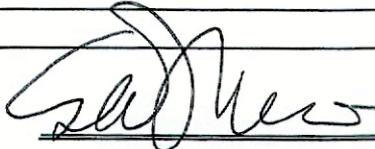
**REASON(S) FOR DETERMINATION**

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A)

B) Possible environment effects identified:  
(only if positive determination)

DATED: Freeport, New York  
July 12, 2022

  
Sergio Mauras  
Superintendent of Buildings

**IMPORTANT:** This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

SEC. 55 BLK. 262 LOT. 9

BOARD OF APPEALS OF THE VILLAGE OF FREEPORT

In the Matter  
Of  
the Application of

The Board of Appeals of the Village of Freeport, New York

Index No.

COMPLY WITH  
ORIGINAL NOTES

The application of GREENWOOD & SONS INC

respectfully states and alleges:

Strike out  
inapplicable  
phrase

1. That the applicant (~~resident~~) (has its principal office for the conducting of its business at)

PO BOX 229  
BALDWIN NY 11510

State whether  
applicant is owner,  
lessee, or has option  
or contract. If other  
than owner, state  
briefly terms of  
agreement.

2. That the premises affected by this application is located at Land Map of Nassau County

179 North MAIN ST Sec. 55 Blk. 262 Lot(s) 9

and that the interest which the applicant has in the property concerned is that of

PARKING VARIANCE

3. That (the applicant) \_\_\_\_\_) on or about the

6 day of 27 2022, filed in the office of the Department of Buildings of the Village of Freeport, New York, an application for a Building Permit. Documents filed with said application were as follows:

PERMIT APPLICATION, SHORT ENVIRONMENTAL ASSESSMENT  
FORM & NOTARIZED ARCHITECTURAL BLUEPRINT

Obtain reason for  
denial from  
Department of  
Buildings.

That on or about the 7 day of 13, 2022, the Department of Buildings denied said application; upon information and belief that the reason for said denial was as follows:

210-172A(12) PARKING

Describe by  
construction and  
number of stories. If  
none, so state.

4. That the nature of the improvements now upon said premises is as follows:

DIVIDE STRUCTURE TO CREATE FOUR SEPERATE  
STORES

State nature of use of  
property. If a  
business, give brief  
description.

5. That said premises are now being used as follows:

PARKING & STORAGE

Describe fully and  
clearly the use  
desired.

6. That the applicant seeks authority to make use of said premises as follows:

DIVIDE STRUCTURE TO CREATE FOUR SEPERATE  
STORES FOR RENTAL

Strike out whichever  
word is not  
applicable. Follow  
language in  
ordinance.

7. Upon information and belief that a \_\_\_\_\_ (variance) for such use may be granted by this Board by virtue of the following sections of the said Zoning Code of The Village of Freeport or statutes of the State of New York 210-172A(12) PARKING

Refer where possible  
to paragraphs and  
section by numbers.

8. That the following is a statement of other factual information deemed pertinent by the applicant. If the application involves a subdivision of property, describe the existing property:

N/A

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If more space is needed annex statement on separate sheet and refer to it here with following words: "See annexed statement which is made a part hereof." Save opinions for the hearing.

If non-conforming use is claimed, set forth uses made of premises and dates thereof in chronological order.

10. That the grounds for this application are as follows: INCREASE RENTAL SPACES TO PAY MORTGAGE & TAXES

11. That any deed restrictions running with the land prohibiting the desired use are as follows: NONE

12. That (the applicant has made no previous application to this Board for the authority sought herein)

WHEREFORE, the applicant respectfully prays that the authority sought herein be granted.

Dated: 7/14, 20 22

GREENWOOD & SONS INC

BY: [Signature]

ITS: LEASEE

If this verification is made by an officer of a corporation or an Association or by a legal representative of an estate, his name and office should be designated on the first line.

State of New York )  
County of Nassau ) ss:

The applicant \_\_\_\_\_ named in the foregoing application, being duly sworn, depose and say that \_\_\_\_\_ read the foregoing application subscribed by \_\_\_\_\_ and know the contents thereof; and that the same is true to \_\_\_\_\_ own knowledge except as to the matters therein stated to be alleged on information and belief, and that as to those matters \_\_\_\_\_ believe \_\_\_\_\_ to be true.

Sworn to before me this 14 day  
of July, 20 22

[Signature]  
Signature of Applicant

Notary Public [Signature]

**JHON J DUQUE MIRA**  
**NOTARY PUBLIC STATE OF NEW YORK**  
**NO. 01DU6425474**

Notice  
Conflict of Interest

**QUALIFIED IN QUEENS & LONG ISLAND**  
**COMMISSION EXPIRES 2025**

I have read Section 809 of the General Municipal Law concerning disclosure of and conflict of interest and hereby certify that there are no conflicts in respect to this application requiring disclosure.

\_\_\_\_\_, 20\_\_\_\_\_  
Date Year

[Signature]  
Signature

**Affidavit of Owner**

To be completed only if the owner is not the applicant.

State of New York )  
County of Nassau ) ss:

I Michael Kofke being duly sworn, depose and say:

That he/she (the owner of \_\_\_\_\_) (is the \_\_\_\_\_ of \_\_\_\_\_

\_\_\_\_\_ the property concerned is correct to the best of the knowledge of deponent \_\_\_\_\_.)

That the owner Michael Kofke consents to the granting of the authority sought in the above application.

Sworn to before me this 15th day  
of July, 20 22

Notary Public [Signature]

[Signature]  
Signature

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ISAAC J ROSEN  
Notary Public - State of New York  
NO. 01RO6418580  
Qualified in Queens County  
My Commission Expires Jun 14, 2025

Short Environmental Assessment Form

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**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

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VILLAGE OF FREEPORT, NY

<b>Part 1 - Project and Sponsor Information</b>			
Name of Action or Project: <b>SUB DIVIDE STRUCTURE</b>			
Project Location (describe, and attach a location map): <b>179 N. MAIN ST. FREEPORT NY 11510</b>			
Brief Description of Proposed Action: <b>SUB DIVIDE STRUCTURE TO CREATE FOUR SEPERATE INTERIOR STORES</b>			
Name of Applicant or Sponsor: <b>BILL GREENWOOD</b>		Telephone: <b>516 640 4845</b>	
		E-Mail: <b>WAREHOUSE228@GMAIL.COM</b>	
Address: <b>179 N. MAIN ST</b>			
City/PO: <b>Freeport</b>	State: <b>NY</b>	Zip Code: <b>11510</b>	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO YES ✓
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO YES ✓
3.a. Total acreage of the site of the proposed action?		<b>N/A</b> acres	
b. Total acreage to be physically disturbed?		<b>N/A</b> acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		<b>N/A</b> acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

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JUN 27 2022

		NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations?			✓	
	b. Consistent with the adopted comprehensive plan?		✓	
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?		NO	YES	
		✓		
7. Is the site of the proposed action located in, or does it adjoin, a state-listed Critical Environmental Area? If Yes, identify: _____		NO	YES	
		✓		
8. a. Will the proposed action result in a substantial increase in traffic above present levels?		NO	YES	
		✓		
	b. Are public transportation service(s) available at or near the site of the proposed action?			✓
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?				✓
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____		NO	YES	
		✓		
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing potable water: _____		NO	YES	
				✓
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____		NO	YES	
				✓
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?		NO	YES	
		✓		
b. Is the proposed action located in an archeological sensitive area?		✓		
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?		NO	YES	
		✓		
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____		✓		
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban				
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?		NO	YES	
		✓		
16. Is the project site located in the 100 year flood plain?		NO	YES	
		✓		
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES		NO	YES	
				✓
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____		NO	YES	
		✓		

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES

**I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE**

Applicant/sponsor name: Bill GREENWOOD Date: 6/12/22  
 Signature: [Handwritten Signature]

**Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2.** Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?	<input type="checkbox"/>	
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	

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	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?		
11. Will the proposed action create a hazard to environmental resources or human health?		

**Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3.** For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

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<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input checked="" type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

# DEPARTMENT OF BUILDINGS

OF THE VILLAGE OF FREEPORT, N.Y.

APPLICATION NO. \_\_\_\_\_

Filing Date 6/27/2022

2022288:  
2022088

## Application for Erection of Buildings or Alterations

**IMPORTANT** - Applicant to complete all items in sections: I, II, III, IV, V

<b>I. LOCATION OF BUILDING</b>	AT (LOCATION) <u>179 North Main St</u> (No.) (Street)	ZONING DISTRICT <u>Service Business</u>
	BETWEEN <u>West Dean St</u> (Cross Street) AND <u>Washburn Ave</u> (Cross Street)	
	SECTION <u>55</u> BLOCK <u>262</u> LOT <u>9</u> APPROX. LOT SIZE <u>115.28</u> X <u>129.36</u> LOT AREA <u>14.912</u>	

### II. TYPE AND COST OF BUILDING - All applicants complete Parts A - D.

<b>A. TYPE OF IMPROVEMENT</b> 1     New building 2   <input checked="" type="checkbox"/>   Addition-Alteration (If residential, enter number of new housing units added. If none-state none _____) 3     Swimming Pool 4     Repair (replacement) 5     Bulkhead (New, Repair) 6     Fence 7     Moving (relocation)	<b>B. PROPOSED OR EXISTING USE</b>  <table style="width: 100%;"> <tr> <td style="width: 50%;"><b>RESIDENTIAL</b></td> <td style="width: 50%;"><b>NON RESIDENTIAL - Complete Part "E"</b></td> </tr> <tr> <td>11     One Family</td> <td>17     Industrial</td> </tr> <tr> <td>12     Two families</td> <td>18   <input checked="" type="checkbox"/>   Office, bank, professional</td> </tr> <tr> <td>13     Apartment - Enter No. of Units _____</td> <td>19     Stores, mercantile</td> </tr> <tr> <td>14     Transient hotel, motel, or dormitory - Enter No. of Units _____</td> <td>20     Church, other religious</td> </tr> <tr> <td>15     Garage or Accessory Structure</td> <td>21     Hospital, Institutional</td> </tr> <tr> <td>16     Other - Specify _____</td> <td>22     Other - Specify _____</td> </tr> </table>	<b>RESIDENTIAL</b>	<b>NON RESIDENTIAL - Complete Part "E"</b>	11     One Family	17     Industrial	12     Two families	18   <input checked="" type="checkbox"/>   Office, bank, professional	13     Apartment - Enter No. of Units _____	19     Stores, mercantile	14     Transient hotel, motel, or dormitory - Enter No. of Units _____	20     Church, other religious	15     Garage or Accessory Structure	21     Hospital, Institutional	16     Other - Specify _____	22     Other - Specify _____
<b>RESIDENTIAL</b>	<b>NON RESIDENTIAL - Complete Part "E"</b>														
11     One Family	17     Industrial														
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14     Transient hotel, motel, or dormitory - Enter No. of Units _____	20     Church, other religious														
15     Garage or Accessory Structure	21     Hospital, Institutional														
16     Other - Specify _____	22     Other - Specify _____														

<b>C. COST</b>  10 TOTAL COST OF IMPROVEMENT \$ <u>15860</u>	<b>D. DESCRIPTION OF PROJECT</b>  <u>SUB DIVIDE STRUCTURE TO CREATE FOUR SEPARATE &amp; INTERIOR STORES</u>
--	---

### III. IDENTIFICATION - To be completed by all applicants

	NAME	MAILING ADDRESS - Number, street, city and state, Zip	TEL. NO.
1. Owner or Lessee	<u>GREENWOOD &amp; SONS Inc</u>	<u>P.O. Box 229 BALDWIN NY 11510</u>	<u>516 640 4845</u>
2. Contractor	<u>SUNNY BLUE GLASS CORP</u>	<u>1419 128th St College Pt NY 11356</u>	<u>917 519 9811</u>
3. Architect or Engineer	<u>Cleaton Prevalus</u>	<u>14 Starks Pl Lynbrook NY 11563</u>	<u>347 362 0707</u>

### IV. OWNER - CONTRACTOR STATEMENT

Building permit is issued subject to the provisions of Section 67 of the Workmen's Compensation Law.  
 Workmen's Compensation Certificate No. EIT 286553602 Company EMPLOYERS Exp. Date 6/22

Contractor or Owner SUNNY BLUE GLASS CORP  
 Address 1419 128th St College Pt NY 11356  
 Phone 917 519 9811

State of New York  
 County of Nassau  
GUANGZHONG MENG being duly sworn, says that HE is the contractor or owner of the above mentioned building. That the items of the above application also the estimated cost of said building or alteration, is correct to the best of HIS knowledge and belief and agrees to conform to all applicable laws of this jurisdiction.  
 Sworn to before me this 13th day of JUNE, 2022  
DIANA M PAUL JONES  
 Notary Public, State of New York  
 No. 01PA4831934 (Applicant Signature)  
 County, Qualified in Queens County  
 Comm. Exp. 5/31/2023

### V. FLOOD ZONE

IS PROJECT LOCATED WITHIN A DESIGNATED FLOOD HAZARD ZONE?  
 YES \_\_\_\_\_ NO   
 IF YES, WHICH ZONE? \_\_\_\_\_

IS PROJECT TO REPAIR FLOOD DAMAGE?  
 YES \_\_\_\_\_ NO

**PROJECT DESCRIPTION**

Total/First Flr Square Feet	<u>7554.29</u>
Upper Flrs Square Feet	_____
# of Fixtures	_____
# of Floors	<u>1</u>
Occup. Type	<u>OFFICE</u>

### VI. VALIDATION (Official Use Only)

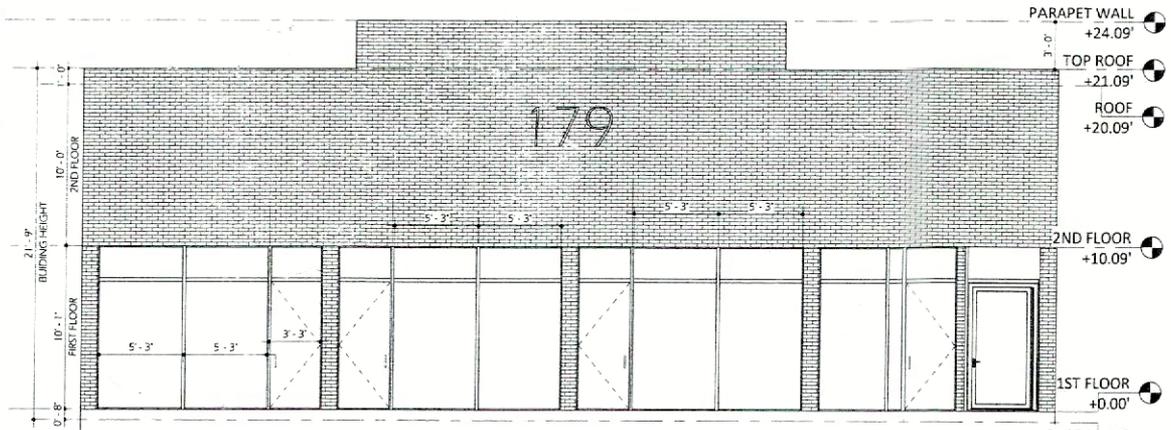
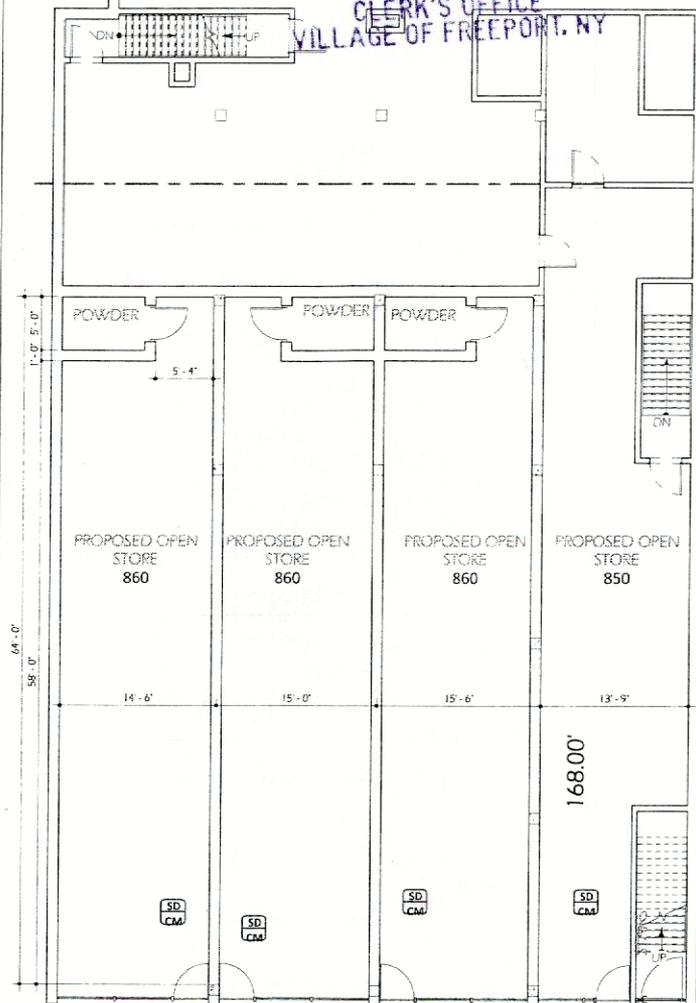
Building Permit Number _____ Building Permit Issued _____ Building Permit Fee \$ _____	Approved by: _____  Superintendent of Buildings
--	---

# 179 N. MAIN STREET

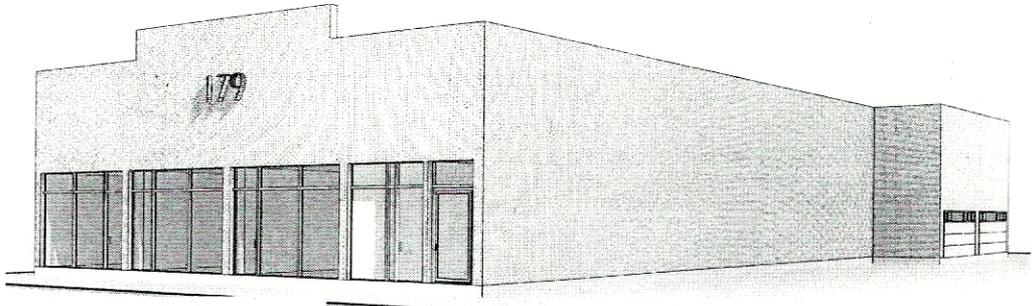
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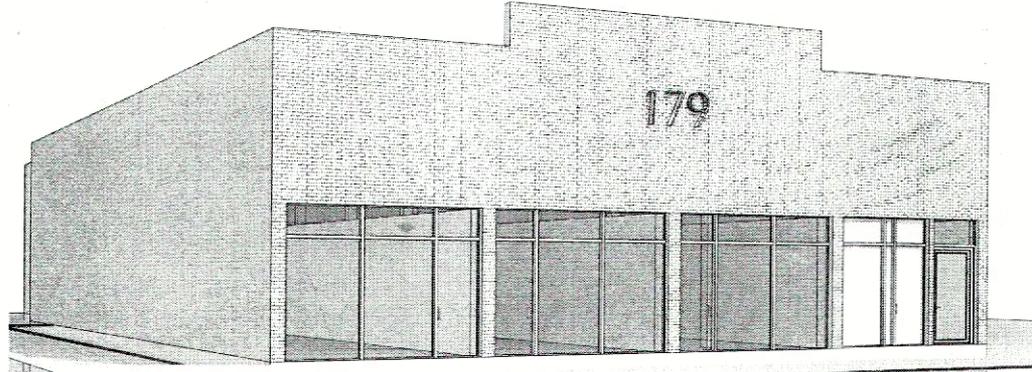
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VILLAGE OF FREEPORT, NY



**2 FRONT ELEVATION**  
SCALE: 3/16" = 1'-0"



**3 FRONT VIEW**  
SCALE:



**4 FRONT VIEW**  
SCALE:

**1 PROPOSED 1ST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"





For Sale Or Lease ~ Industrial / Retail Property

# 179 N Main Street

Freeport, NY 11520

**METRO**  
REALTY SERVICES LLC



Building Size: ±21,618 sf  
Lot Size: 0.33 acres  
Ceiling Height: 10' / 17.6' in 3,648 sf  
Drive-ins: 4  
Docks: 4 position interior platform  
Heat: Forced hot air  
Power: ±500 amps  
Sewers: Yes  
Parking: 10 + street  
Zoning: Service Business "SB"  
Sec, Block, Lot: 55, 262, 9

#### Comments:

- ◆ Two story industrial warehouse building plus basement
- ◆ 9,638sf first floor, 5,990sf second floor, 5,990sf basement
- ◆ 10'x12' freight elevator
- ◆ Located near the LIRR Freeport station & bus stop
- ◆ Easy access to W Sunrise Hwy & Meadowbrook Pkwy
- ◆ Two street access

**Sale Price:** \$2,000,000  
**Lease Price:** Possible  
**Taxes:** +/- \$3.04 per sf  
(includes village)

For further information or to arrange an inspection of this property please contact "Exclusive Agent":

Jeremy D. Hackett  
Licensed Real Estate Broker  
Managing Partner  
(631) 770-0700 Ext. 6359  
[jeremy@metrorealtyservices.com](mailto:jeremy@metrorealtyservices.com)

All information submitted is subject to errors, omissions, change of price or rental, change of other terms and conditions, prior sale, lease, financing or withdrawal without notice. All areas and dimensions are approximate. This advertisement does not suggest that the broker has a listing on this property or properties or that any property is currently available.

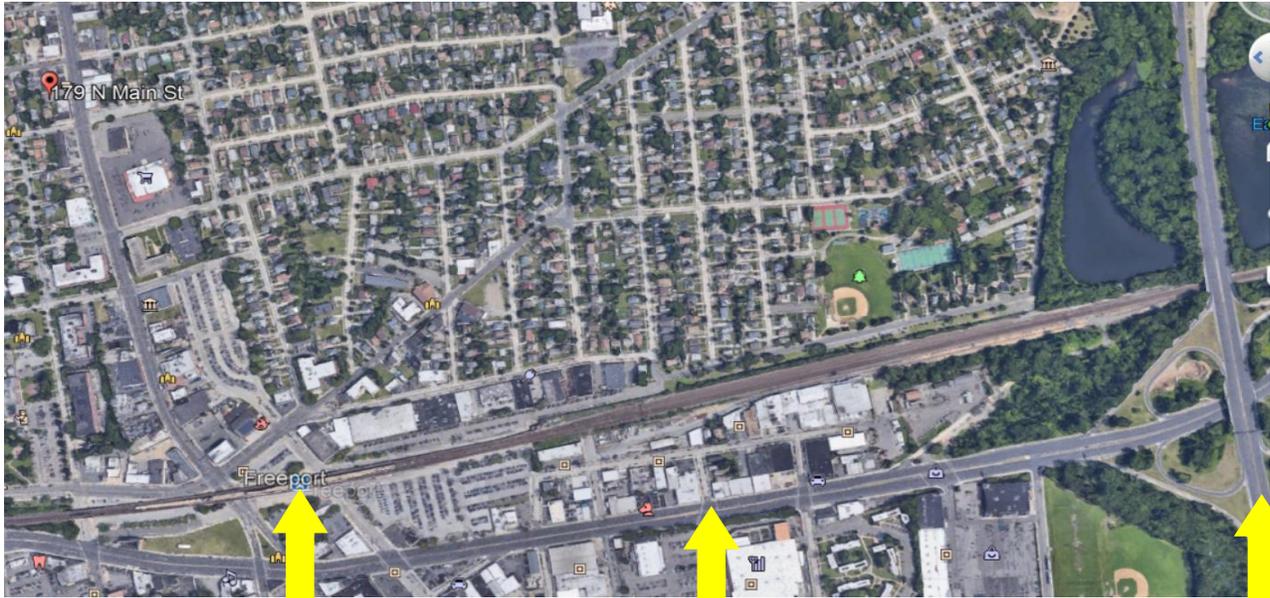
Metro Realty Services, LLC  
201 Moreland Road, Suite 4, Hauppauge, NY 11788  
T (631) 770-0700 ~ F (631) 770-0710  
[info@metrorealtyservices.com](mailto:info@metrorealtyservices.com) ~ [www.metrorealtyservices.com](http://www.metrorealtyservices.com)

For Sale Or Lease ~ Industrial / Retail Property

# 179 N Main Street

Freeport, NY 11520

**METRO**  
REALTY SERVICES LLC



LIRR STATION

SUNRISE HIGHWAY

MEADOWBROOK  
PARKWAY



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For Sale Or Lease ~ Industrial / Retail Property

# 179 N Main Street

Freeport, NY 11520

**METRO**  
REALTY SERVICES LLC

Interior Storage  
Space



Warehouse Space  
17.6' Ceiling Height



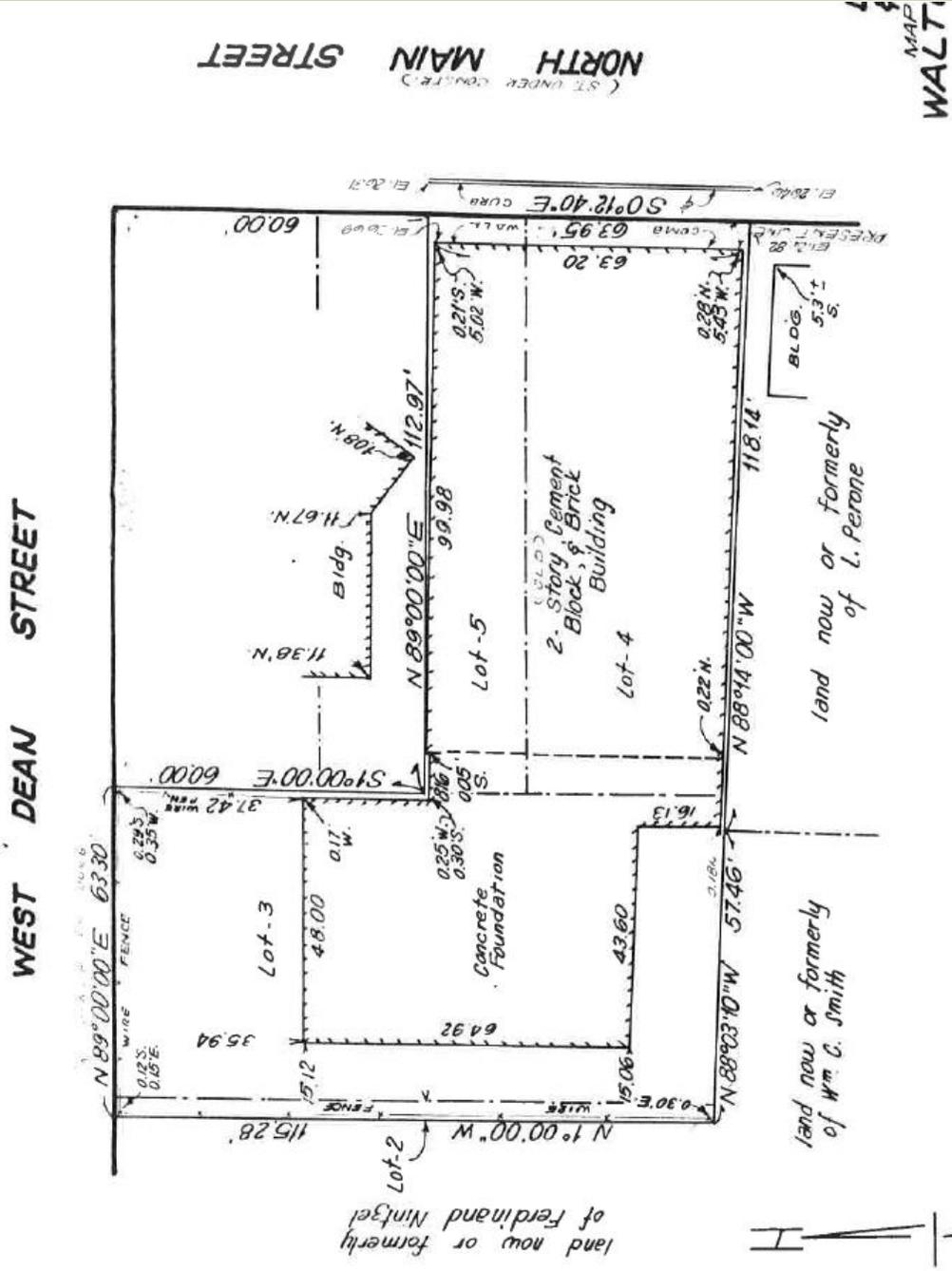
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For Sale Or Lease ~ Industrial / Retail Property

# 179 N Main Street

Freeport, NY 11520



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**INC. VILLAGE OF FREEPORT**

**Department of Buildings**

46 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK 11520  
(516) 377-2242  
FAX (516) 377-2493

E-MAIL [BUILDINGDEPT@FREEPORTNY.GOV](mailto:BUILDINGDEPT@FREEPORTNY.GOV)

ROBERT T. KENNEDY  
MAYOR

SERGIO A. MAURAS  
SUPERINTENDENT OF BUILDINGS

JULY 12, 2022

**LETTER OF DENIAL**

**Greenwood & Sons Inc.**  
**P.O. Box 229**  
**Baldwin, NY 11510**

RE: 179 N. Main Street  
Freeport, NY 11520  
Zoning District – Service District  
Sec: 55 Blk: 262 Lot: 9  
Building Permit Application #20222882  
Description: Divide structure to create four separate stores

Dear Sir/Madam:

Please be advised that the above captioned Building Permit Application must be denied for the following reason(s):

**Village Ordinance §210-6A:** No building or land shall hereafter be used or occupied and no building or part thereof shall be erected, moved or altered unless in conformity with the regulations herein specified for the district in which it is located.

**Village Ordinance §210-172A(12):** All non-residential buildings in any zoning district except as otherwise required in this section: at least one parking space for each 400 square feet of the floor area of the building or structure plus parking space for two (2) cars for each individual store, shop, or business in the building or structure. The plans that you have submitted with this application indicates a building of 8,691 sq. ft. plus four (4) separate stores. This will require twenty-nine (29) parking spaces. Your application indicates zero (0) parking spaces. Accordingly, you will be seeking a parking variance.

Please be further advised that if you intend to appeal this decision, you must make application to the Zoning Board of Appeals within sixty (60) days of the date of this letter. For your convenience, enclosed please find an application, together with an instruction sheet for filing, which includes the



current fee schedule. The completed applications, together with the required documentation and fee, are to be submitted to the Village Clerk's Office.

If you should have any questions or require additional information with reference to the Zoning Board Application, please contact the Village Clerk's Office at 377-2300. In the event that you do not make application within the allotted sixty (60) days, this Letter of Denial will expire and the Building Permit Application in conjunction with same will be cancelled.

Very truly yours,



Sergio A. Mauras  
Superintendent of Buildings  
Joseph Madigan, Plans Examiner

/mw

encl.

c: Village Clerk

SITE PLAN APPROVAL NEEDED

Yes:  X  No



VILLAGE OF FREEPORT  
Department of Buildings  
Recommendation

Notice

Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.  
(See reasons below)

Project:

Building Application # 20222882

Location: 179 N. Main Street, Freeport, NY 11520

Applicant: Greenwood & Sons Inc.

Description: Divide structure to create four (4) separate stores

Lead Agency: Department of Buildings  
for the Board of Trustees  
Village of Freeport  
46 North Ocean Avenue

Agency Contact Person:  
Superintendent of Buildings  
(516) 377-2242

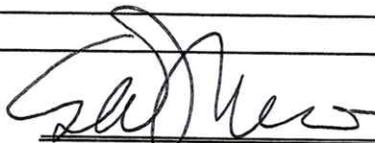
**REASON(S) FOR DETERMINATION**

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A)

B) Possible environment effects identified:  
(only if positive determination)

DATED: Freeport, New York  
July 12, 2022

  
Sergio Mauras  
Superintendent of Buildings

**IMPORTANT:** This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.



# DEPARTMENT OF BUILDINGS

OF THE VILLAGE OF FREEPORT, N.Y.

APPLICATION NO. \_\_\_\_\_

Filing Date 6/27/2022

20202088  
20202088

## Application for Erection of Buildings or Alterations

**IMPORTANT** - Applicant to complete all items in sections: I, II, III, IV, V

I. LOCATION OF BUILDING	AT (LOCATION) <u>179 North Main St</u> (No.) (Street)	ZONING DISTRICT <u>Service Business</u>
	BETWEEN <u>West Dean St</u> (Cross Street) AND <u>Washburn Ave</u> (Cross Street)	
	SECTION <u>55</u> BLOCK <u>262</u> LOT <u>9</u>	APPROX. LOT SIZE <u>115.28 x 129.36</u> LOT AREA <u>14.912</u>

### II. TYPE AND COST OF BUILDING - All applicants complete Parts A - D.

<b>A. TYPE OF IMPROVEMENT</b> 1     New building 2   <input checked="" type="checkbox"/> Addition-Alteration (If residential, enter number of new housing units added. If none-state none) 3     Swimming Pool 4     Repair (replacement) 5     Bulkhead (New, Repair) 6     Fence 7     Moving (relocation)		<b>B. PROPOSED OR EXISTING USE</b> <b>RESIDENTIAL</b> 11     One Family 12     Two families 13     Apartment - Enter No. of Units _____ 14     Transient hotel, motel, or dormitory - Enter No. of Units _____ 15     Garage or Accessory Structure 16     Other - Specify _____ <b>NON RESIDENTIAL - Complete Part "E"</b> 17     Industrial 18   <input checked="" type="checkbox"/> Office, bank, professional 19     Stores, mercantile 20     Church, other religious 21     Hospital, Institutional 22     Other - Specify _____	
---	--	--	--

<b>C. COST</b> 10 TOTAL COST OF IMPROVEMENT <u>\$15860</u>	<b>D. DESCRIPTION OF PROJECT</b> <u>SUB DIVIDE STRUCTURE TO CREATE FOUR SEPARATE &amp; INTERIOR STORES</u>
---	---

### III. IDENTIFICATION - To be completed by all applicants

NAME	MAILING ADDRESS - Number, street, city and state, Zip	TEL. NO.
1. Owner or Lessee <u>GREENWOOD &amp; SONS INC</u>	<u>P.O. Box 225 BALDWIN NY 11510</u>	<u>516 640 4845</u>
2. Contractor <u>SUNNY BLUE GLASS CORP</u>	<u>149 128th St College Pt NY 11356</u>	<u>917 519 9811</u>
3. Architect or Engineer <u>Cleaton Prevalus</u>	<u>14 Starks Pl Lynbrook NY 11563</u>	<u>347 362 0707</u>

### IV. OWNER - CONTRACTOR STATEMENT

Building permit is issued subject to the provisions of Section 67 of the Workmen's Compensation Law.  
 Workmen's Compensation Certificate No. EIT28653602 Company EMPLOYERS Exp. Date 6/22

Contractor or Owner SUNNY BLUE GLASS CORP  
 Address 149 128th St College Pt NY 11356  
 Phone 917 519 9811

State of New York  
 County of Nassau  
GUANGZHONG MENE being duly sworn, says that HE is the contractor or owner of the above mentioned building. That the items of the above application also the estimated cost of said building or alteration, is correct to the best of HIS knowledge and belief and agrees to conform to all applicable laws of this jurisdiction.  
 Sworn to before me this 13th day of JUNE, 2022  
 Notary Public, State of New York  
DIANA M PAUL JONES (Applicant Signature)  
 No. 01PA4831934  
 Comm. Exp. 5/31/2023

### V. FLOOD ZONE

IS PROJECT LOCATED WITHIN A DESIGNATED FLOOD HAZARD ZONE?  
 YES \_\_\_\_\_ NO   
 IF YES, WHICH ZONE? \_\_\_\_\_

IS PROJECT TO REPAIR FLOOD DAMAGE?  
 YES \_\_\_\_\_ NO

#### PROJECT DESCRIPTION

Total/First Flr Square Feet	<u>7554.29</u>
Upper Flrs Square Feet	
# of Fixtures	
# of Floors	<u>1</u>
Occup. Type	<u>OFFICE</u>

### VI. VALIDATION (Official Use Only)

Building Permit Number _____ Building Permit Issued _____ Building Permit Fee \$ _____	Approved by: _____ Superintendent of Buildings
--	---



617.20  
Appendix B  
**Short Environmental Assessment Form**

**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

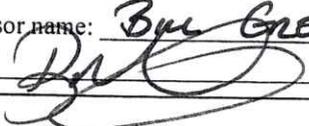
Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: <p style="text-align: center; font-size: 1.2em;">SUB DIVIDE STRUCTURE</p>			
Project Location (describe, and attach a location map): <p style="text-align: center; font-size: 1.2em;">179 N. MAIN ST, FREEPORT NY 11510</p>			
Brief Description of Proposed Action: <p style="text-align: center; font-size: 1.2em;">SUB DIVIDE STRUCTURE TO CREATE FOUR SEPERATE INTERIOR STORES</p>			
Name of Applicant or Sponsor: <p style="text-align: center; font-size: 1.2em;">BILL GREENWOOD</p>		Telephone: <b>516 640 4845</b> E-Mail: <b>WAREHOUSE228@GMAIL.COM</b>	
Address: <p style="text-align: center; font-size: 1.2em;">179 N. MAIN ST</p>			
City/PO: <p style="text-align: center; font-size: 1.2em;">Freeport</p>		State: <p style="text-align: center; font-size: 1.2em;">NY</p>	Zip Code: <p style="text-align: center; font-size: 1.2em;">11510</p>
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/> YES <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO <input type="checkbox"/> YES <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		<u>N/A</u> acres	
b. Total acreage to be physically disturbed?		<u>N/A</u> acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		<u>N/A</u> acres	
4. Check all land uses that occur on, adjoining and near the proposed action. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			



5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
		✓	
b. Consistent with the adopted comprehensive plan?		✓	
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	✓		
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	✓		
8. a. Will the proposed action result in a substantial increase in traffic above present levels?  b. Are public transportation service(s) available at or near the site of the proposed action?  c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	NO	YES	
	✓		
			✓
			✓
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	
	✓		
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing potable water: _____	NO	YES	
			✓
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	NO	YES	
			✓
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?  b. Is the proposed action located in an archeological sensitive area?	NO	YES	
	✓		
	✓		
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?  b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	NO	YES	
	✓		
	✓		
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	✓		
16. Is the project site located in the 100 year flood plain?	NO	YES	
	✓		
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES  b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ _____	NO	YES	
			✓



18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____	NO	YES
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor name: <u>Bill Greenwood</u>	Date: <u>6/12/22</u>	
Signature: 		

**Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2.** Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?		
2. Will the proposed action result in a change in the use or intensity of use of land?		
3. Will the proposed action impair the character or quality of the existing community?		
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?		
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?		
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?		
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?		
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?		
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?		



	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?		
11. Will the proposed action create a hazard to environmental resources or human health?		

**Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3.** For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.

Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

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Name of Lead Agency \_\_\_\_\_ Date \_\_\_\_\_

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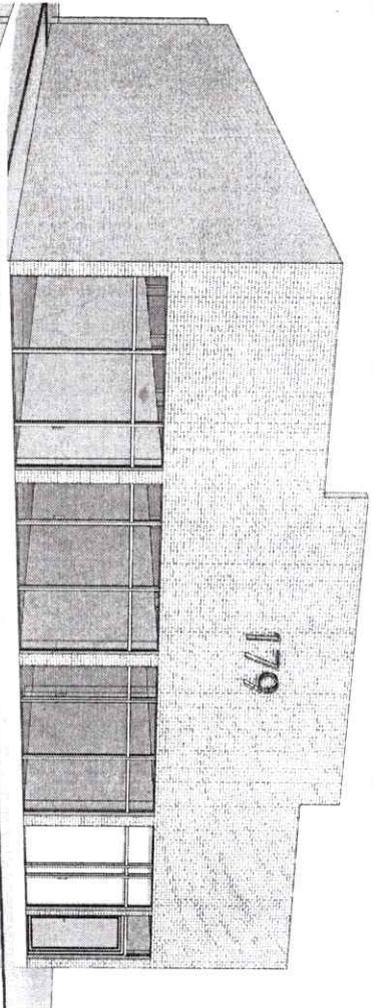
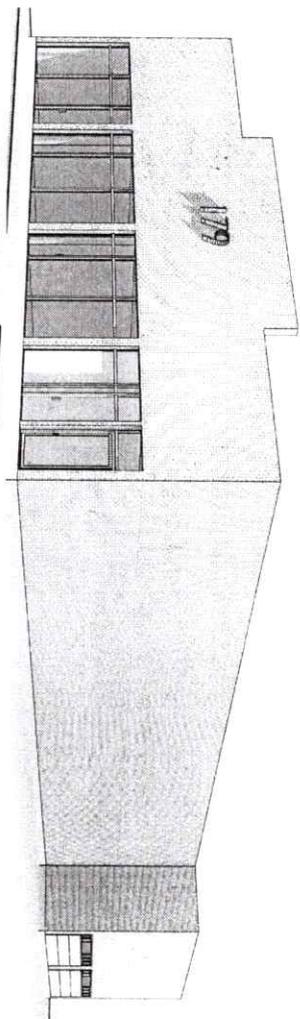
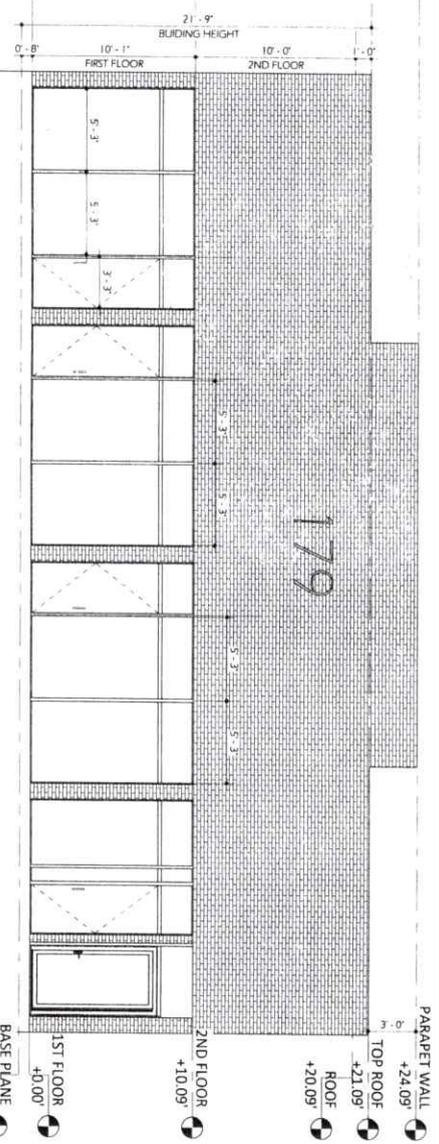
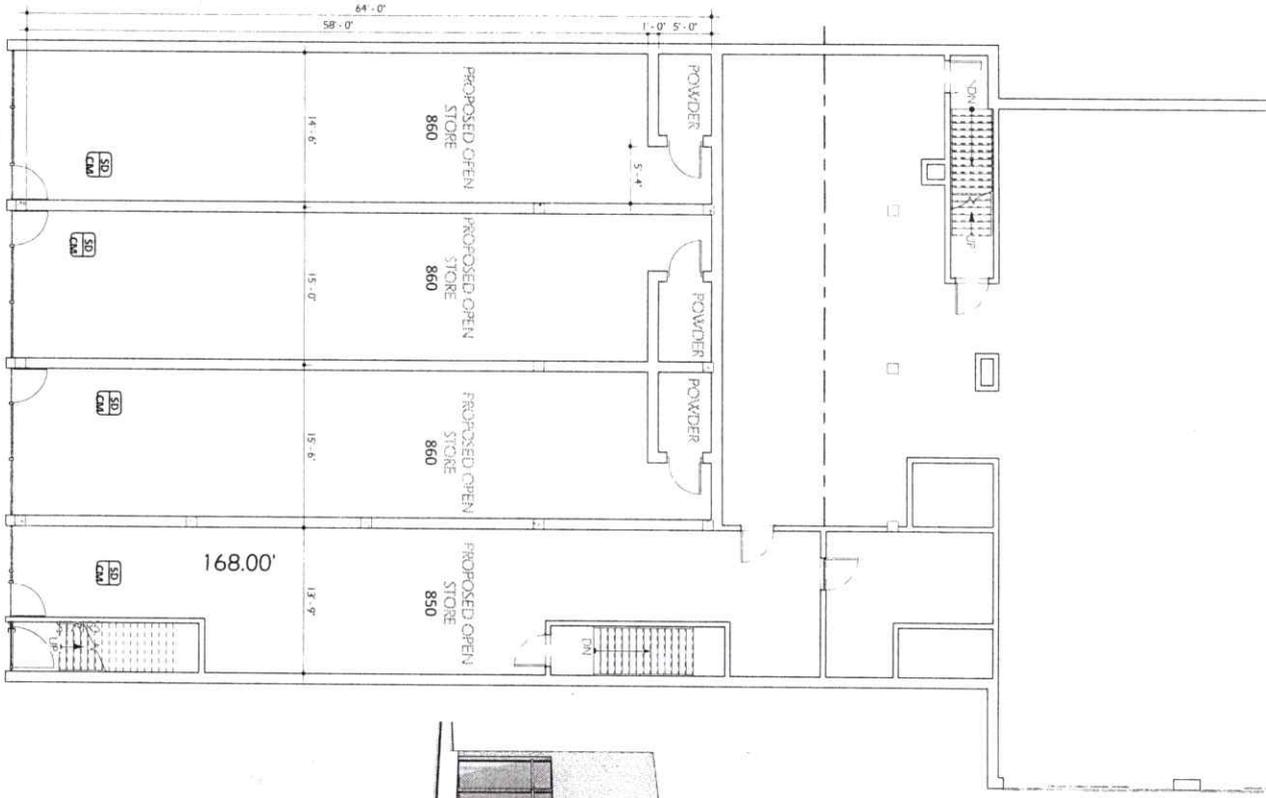
Print or Type Name of Responsible Officer in Lead Agency \_\_\_\_\_ Title of Responsible Officer \_\_\_\_\_

---

Signature of Responsible Officer in Lead Agency \_\_\_\_\_ Signature of Preparer (if different from Responsible Officer) \_\_\_\_\_



# 179 N. MAIN STREET



BILL GREENWOOD

179 N MAIN STREET  
FREEPORT NY 11520

INTERIOR RENOVATION @ 1ST

COVER SHEET

Consultant: **Garrett C. Reynolds**  
Phone: (347) 342-0707  
Email: gcreynolds@kay.com







SEC. 55 BLK. 262 LOT. 9

BOARD OF APPEALS OF THE VILLAGE OF FREEPORT

In the Matter  
Of  
the Application of

The Board of Appeals of the Village of Freeport, New York

Index No.

COMPLY WITH ORIGINAL NOTES

The application of GREENWOOD & SONS INC

respectfully states and alleges:

Strike out inapplicable phrase

1. That the applicant (~~resident~~) (has its principal office for the conducting of its business at)

PO BOX 229  
BALDWIN NY 11510

State whether applicant is owner, lessee, or has option or contract. If other than owner, state briefly terms of agreement.

2. That the premises affected by this application is located at 179 North Main St Land Map of Nassau County Sec. 55 Blk. 262 Lot(s) 9

and that the interest which the applicant has in the property concerned is that of PARKING VARIANCE

3. That (the applicant) \_\_\_\_\_) on or about the 6 day of 27 2022, filed in the office of the Department of Buildings of the Village of Freeport, New York, an application for a Building Permit. Documents filed with said application were as follows:

PERMIT APPLICATION, SHORT ENVIRONMENTAL ASSESSMENT FORM & NOTARIZED ARCHITECTURAL BLUEPRINT

Obtain reason for denial from Department of Buildings.

That on or about the 7 day of 13, 2022, the Department of Buildings denied said application; upon information and belief that the reason for said denial was as follows:

210-172A(12) PARKING

Describe by construction and number of stories. If none, so state.

4. That the nature of the improvements now upon said premises is as follows: DIVIDE STRUCTURE TO CREATE FOUR SEPERATE STORES

State nature of use of property. If a business, give brief description.

5. That said premises are now being used as follows: PARKING & STORAGE

Describe fully and clearly the use desired.

6. That the applicant seeks authority to make use of said premises as follows: DIVIDE STRUCTURE TO CREATE FOUR SEPERATE STORES FOR RENTAL

Strike out whichever word is not applicable. Follow language in ordinance.

7. Upon information and belief that a \_\_\_\_\_ (variance) for such use may be granted by this Board by virtue of the following sections of the said Zoning Code of The Village of Freeport or statutes of the State of New York 210-172A(12) PARKING

Refer where possible to paragraphs and section by numbers.

8. That the following is a statement of other factual information deemed pertinent by the applicant. If the application involves a subdivision of property, describe the existing property: N/A

If more space is needed annex statement on separate sheet and refer to it here with following words: "See annexed statement which is made a part hereof." Save opinions for the hearing.

10. That the grounds for this application are as follows: INCREASE RENTAL SPACES TO PAY MORTGAGE & TAXES

11. That any deed restrictions running with the land prohibiting the desired use are as follows: NONE

12. That (the applicant has made no previous application to this Board for the authority sought herein)

If non-conforming use is claimed, set forth uses made of premises and dates thereof in chronological order.

WHEREFORE, the applicant respectfully prays that the authority sought herein be granted.

Dated: 7/14, 20 22. GREENWOOD & SONS INC

BY: [Signature]  
ITS: LEASEE

If this verification is made by an officer of a corporation or an Association or by a legal representative of an estate, his name and office should be designated on the first line.

State of New York )  
County of Nassau ) ss:

The applicant \_\_\_\_\_ named in the foregoing application, being duly sworn, depose and say that \_\_\_\_\_ read the foregoing application subscribed by \_\_\_\_\_ and know the contents thereof; and that the same is true to \_\_\_\_\_ own knowledge except as to the matters therein stated to be alleged on information and belief, and that as to those matters \_\_\_\_\_ believe \_\_\_\_\_ to be true.

Sworn to before me this 14 day  
of July, 20 22.

[Signature]  
Signature of Applicant

Notary Public [Signature] **JHON J DUQUE MIRA**  
**NOTARY PUBLIC STATE OF NEW YORK**  
**NO. 01DU6425474**

**Notice  
Conflict of Interest**

I have read Section 809 of the General Municipal Law concerning disclosure of and conflict of interest and hereby certify that there are no conflicts in respect to this application requiring disclosure.

**QUALIFIED IN QUEENS & LONG ISLAND**  
**COMMISSION EXPIRES 2025**  
[Signature]  
Signature

\_\_\_\_\_, 20\_\_\_\_\_  
Date Year

**Affidavit of Owner**

To be completed only if the owner is not the applicant.

State of New York )  
County of Nassau ) ss:

I Michael Kafke being duly sworn, depose and say:

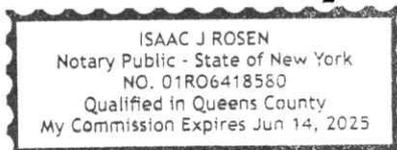
That he/she (the owner of \_\_\_\_\_) (is the \_\_\_\_\_ of \_\_\_\_\_ the property concerned is correct to the best of the knowledge of deponent \_\_\_\_\_.)

That the owner Michael Kafke consents to the granting of the authority sought in the above application.

Sworn to before me this 15th day  
of July, 20 22.

[Signature]  
Signature

Notary Public [Signature]







**INC. VILLAGE OF FREEPORT**

**Department of Buildings**

46 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK 11520

(516) 377-2242

FAX (516) 377-2493

E-MAIL [BUILDINGDEPT@FREEPORTNY.GOV](mailto:BUILDINGDEPT@FREEPORTNY.GOV)

ROBERT T. KENNEDY  
MAYOR

SERGIO A. MAURAS  
SUPERINTENDENT OF BUILDINGS

September 7, 2022

**AMENDED LETTER OF DENIAL**

Greenwood & Sons Inc.  
P.O. Box 229  
Baldwin, NY 11510

RE: 179 N. Main Street, Freeport, NY 11520  
Zoning District – Service District  
Sec: 55 Blk: 262 Lot: 9  
Building Permit Application #20222882  
Description: Divide structure to create four separate stores

Dear Sir/Madam:

Please be advised that the above captioned Building Permit Application must be denied for the following reason(s):

**Village Ordinance §210-6A:** No building or land shall hereafter be used or occupied and no building or part thereof shall be erected, moved or altered unless in conformity with the regulations herein specified for the district in which it is located.

**Village Ordinance §210-172A(12):** All non-residential buildings in any zoning district except as otherwise required in this section: at least one parking space for each 400 square feet of the floor area of the building or structure plus parking space for two (2) cars for each individual store, shop, or business in the building or structure. The plans that you have submitted with this application indicates a building of 8,691 sq. ft. plus four (4) separate stores. This will require twenty-nine (29) parking spaces. Your application indicates zero (0) parking spaces. Accordingly, you will be seeking a parking variance.

A variance was granted on June 22, 1961 in which the area proposed to be used as parking in the current application was specifically mandated to be used as buffer space. As such, a variance will be required to use buffer space as parking space.

Please be further advised that if you intend to appeal this decision you must file an application within sixty (60) days of the date of this letter. For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-2202 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only ONE complete package of the

twelve (12) sets should be brought in for the initial appointment with the Clerk's office. Only after this initial appointment should the additional copies be made.

Be further advised that you must submit an application to the Zoning Board of Appeals within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Zoning Board of Appeals Application, please call the VILLAGE CLERK'S OFFICE at 377-2300.

Very truly yours,  
  
Sergio A. Mauras  
Superintendent of Buildings  
Joseph Madigan, Plans Examiner

/cd  
encl.  
c: Village Clerk

SITE PLAN APPROVAL NEEDED  
Yes: X No       

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2022 SEP 28 P 3:11  
CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY

VILLAGE OF FREEPORT  
Department of Buildings  
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

       The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.  
(See reasons below)

Project:

Building Application # 20222882

Location: 179 N. Main Street, Freeport, NY 11520

Applicant: Greenwood & Sons Inc.

Description: Divide structure to create four (4) separate stores

Lead Agency: Department of Buildings  
for the Board of Trustees  
Village of Freeport  
46 North Ocean Avenue

Agency Contact Person:  
Superintendent of Buildings  
(516) 377-2242

**REASON(S) FOR DETERMINATION**

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A)

B) Possible environment effects identified:  
(only if positive determination)

DATED: September 7, 2022-Updated



Sergio Mauras  
Superintendent of Buildings

**IMPORTANT:** This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

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CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY

**INC. VILLAGE OF FREEPORT**

**Department of Buildings**

46 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK 11520  
(516) 377-2242  
FAX (516) 377-2493

E-MAIL [BUILDINGDEPT@FREEPORTNY.GOV](mailto:BUILDINGDEPT@FREEPORTNY.GOV)

ROBERT T. KENNEDY  
MAYOR

SERGIO A. MAURAS  
SUPERINTENDENT OF BUILDINGS

AUGUST 1, 2022

**UPDATED LETTER OF DENIAL**

Louis G. Ramirez  
170 N. Main Street  
Freeport, NY 11520

RE: **170 N. Main Street, Freeport, NY**  
**Zoning District - Service Business – Sec. 55 Blk. 258 Lot 149-150**  
**Building Permit Application #20212315**  
**Description– Increase internal seating capacity to 16 seats.**

Dear Sir/Madam:

Please be advised that the above captioned Building Permit Application must be denied for the following reason(s):

**Village Ordinance §210-6A.** No building or land shall hereafter be used or occupied and no building or part thereof shall be erected, moved or altered unless in conformity with the regulations herein specified for the district in which it is located.

**Village Ordinance §210-172A(4).** Parking required. The following number of parking spaces shall be provided and satisfactorily maintained for each building lot or combination thereof; restaurants, discotheques, cabarets and bars: At least one (1) parking space for each three (3) authorized occupants. The application as submitted shows the addition of sixteen (16) fixed seats in the establishment. This requires six (6) parking spaces. The application will need a variance for six (6) parking spaces.

Please be further advised that if you intend to appeal this decision, you must make application to the Zoning Board of Appeals within sixty (60) days of the date of this letter. For your convenience, enclosed please find an application, together with an instruction sheet for filing, which includes the current fee schedule. The completed applications, together with the required documentation and fee, are to be submitted to the Village Clerk's Office.

If you should have any questions or require additional information with reference to the Zoning Board Application, please contact the Village Clerk's Office at 377-2300. In the event that you do not make

**RE: 170 N. Main Street, Freeport, NY**

application within the allotted sixty (60) days, this Letter of Denial will expire and the Building Permit Application in conjunction with same will be cancelled.

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CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY

Very truly yours,

*Sergio A. Mauras*

Sergio A. Mauras

Superintendent of Buildings

Jonathan Smith, Building Inspector

/mcl

encl.

c: Village Clerk

James Lerner, Architect

SITE PLAN APPROVAL NEEDED

Yes: \_\_\_\_\_ No  X

VILLAGE OF FREEPORT  
Department of Buildings  
Recommendation

Notice

RECEIVED

X Negative Declaration

~~Positive Declaration~~  
~~2022 AUG 24 P 4:15~~

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

~~—~~ The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.  
(See reasons below)

Project :

Building Permit App. #20212315

Location: 170 N. Main Street, Freeport, NY

Applicant: Louis G. Ramirez

Description: Increase internal seating capacity to 16 seats

Lead Agency: Department of Buildings  
for the Board of Trustees  
Village of Freeport  
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:  
Superintendent of Buildings  
(516) 377-2242

**REASON(S) FOR DETERMINATION**

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) \_\_\_\_\_  
\_\_\_\_\_

B) Possible environment effects identified:  
(only if positive determination)

Updated Dated: August 1, 2022

*Sergio A. Mauras*

Sergio A. Mauras  
Superintendent of Buildings

**IMPORTANT:** This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

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2022 AUG 24 P 4: 14

SEC. 55 BLK 258 LOT. 149  
150

CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY  
BOARD OF APPEALS OF THE VILLAGE OF FREEPORT

In the Matter  
Of  
the Application of

To The Board of Appeals of the Village of Freeport, New York

Index No.

COMPLY WITH ORIGINAL NOTES

The application of L415  
LOUIS G RAMIREZ

respectfully states and alleges:

Strike out inapplicable phrase

1. That the applicant (~~resides at~~) (has its principal office for the conducting of its business at)

170 N. MAIN ST. 151 ROSE ST.  
FREEPORT, N.Y. 11520

State whether applicant is owner, lessee, or has option or contract. If other than owner, state briefly terms of agreement.

2. That the premises affected by this application is located at

Land Map of Nassau County

170 N. MAIN ST. FREEPORT

Sec. 55 Blk 258 Lot(s) 149-150

and that the interest which the applicant has in the property concerned is that of OWNER  
of the building.

3. That (~~the applicant~~) (the applicant's duly authorized MARIA J MILO) on or about the 1<sup>ST</sup> day of Aug, 2021, filed in the office of the Department of Buildings of the Village of Freeport, New York, an application for a Building Permit. Documents filed with said application were as follows:

INCREASE INTERNAL SEATING CAPACITY  
TO 16 SEATS

Obtain reason for denial from Department of Buildings.

4. That on or about the 1<sup>ST</sup> day of AUGUST, 2022, the Department of Buildings denied said application; upon information and belief that the reason for said denial was as follows:

VILLAGE ORDINANCE 210-6A + VILLAGE  
ORDINANCE 210-172A (A) SEE ATTACHED SHEET.

Describe by construction and number of stories. If none, so state.

5. That the nature of the improvements now upon said premises is as follows: EXISTING  
MERCANTILE STORE, 170 N MAIN USED AS  
DELI / RESTAURANT.

State nature of use of property. If a business, give brief description.

6. That said premises are now being used as follows: DELI - RESTAURANT.

Describe fully and clearly the use desired.

7. That the applicant seeks authority to make use of said premises as follows: DELI  
RESTAURANT.

Strike out whichever word is not applicable. Follow language in ordinance.

8. Upon information and belief that a (~~permit~~) (variance) for such use may be granted by this Board by virtue of the following sections of the said Zoning Code of The Village of Freeport or statutes of the State of New York: VILLAGE ORDINANCE 210-6A +  
VILLAGE ORDINANCE 210-172A (A)  
SEE ATTACHED SHEET 3 of 3.

Refer where possible to paragraphs and section by numbers.

9. That the following is a statement of other factual information deemed pertinent by the applicant. If the application involves a subdivision of property, describe the existing property:

NO SUBDIVISION OF PROPERTY INVOLVED.

If more space is needed annex statement on separate sheet and refer to it here with following words: "See annexed statement which is made a part hereof." Save opinions for the hearing.

If non-conforming use is claimed, set forth uses made of premises and dates thereof in chronological order.

If this verification is made by an officer of a corporation or an Association or by a legal representative of an estate, his name and office should be designated on the first line.

10. That the grounds for this application are as follows: Village Ordinance 210-6A + Village Ordinance 210-172 A(A) SEE ATTACHED SHEET 3 of 3.

11. That any deed restrictions running with the land prohibiting the desired use are as follows: No Restrictions with regard to Deli USE; Parking Variance Required Increase Seating CAPACITY

12. That (the applicant has made no previous application to this Board for the authority sought herein) (upon information and belief a previous application was made for the same or similar authority sought herein and denied by this Board, but that this application contains facts not alleged or shown in any previous preceding before this Board).

WHEREFORE, the applicant respectfully prays that the authority sought herein be granted.

Dated: AUGUST 11, 20 22.

LUIS G. RAMIREZ

BY: Luis G. Ramirez.  
AS: owner

State of New York )  
County of Nassau ) ss: Luis G. Ramirez LGR.

The applicant ~~Maria J Miro~~ named in the foregoing application, being duly sworn, depose and say that ~~she~~ read the foregoing application subscribed by \_\_\_\_\_ and know the contents thereof; and that the same is true to ~~her~~ own knowledge except as to the matters therein stated to be alleged on information and belief, and that as to those matters ~~she~~ believe \_\_\_\_\_ to be true.

Sworn to before me this 11<sup>th</sup> day  
of August, 20 22.

Notary Public [Signature]

**CARY D. KESSLER**  
Notary Public, State of New York  
No. 01KE4513500  
Qualified in Nassau County  
Commission Expires September 30, 2025

[Signature]  
Signature of Applicant

**Notice  
Conflict of Interest**

I have read Section 809 of the General Municipal Law concerning disclosure of and conflict of interest and hereby certify that there are no conflicts in respect to this application requiring disclosure.

Aug. 11, 20 22.  
Date Year

[Signature]  
Signature

**Affidavit of Owner N/A**

To be completed only if the owner is not the applicant.

State of New York )  
County of Nassau ) ss:

I MARIA J MIRO being duly sworn, depose and say:  
1002 Merrick Ave. Merrick, NY.

That he/she (the owner of AGENT) (is the AGENT) of

170 N. MAIN ST., FREEPORT, NY 11520 the property concerned is correct to the best of the knowledge of  
deponent MARIA J MIRO

That the owner LOUIS G. RAMIREZ consents to the granting of the authority sought in the above application.

Sworn to before me this \_\_\_\_\_ day  
of \_\_\_\_\_, 20 \_\_\_\_\_.

Notary Public \_\_\_\_\_

[Signature]  
Signature  
LOUIS G. RAMIREZ.

In Matter of the Application of Louis G. Ramirez  
170 N. Main Street, Freeport, N.Y. 11520

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CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY

**Continuation #4:**

**Village Ordinance 210-6A.** No building or land shall hereafter be used or occupied and no building or part thereof shall be erected, moved or altered unless the Conformity with the regulations herein specified for the district in which it is located.

**Village Ordinance 210-172A.** Parking required. The following number of parking spaces shall be provided and satisfactorily maintained for each building lot or combination thereof; restaurants, discotheques, cabarets and bars: At least one (1) parking space for each three (3) authorized occupants. The application submitted shows the addition of sixteen (16) fixed seats in the establishment. This requires six (6) parking spaces. The application will need a variance for six (6) parking spaces.

**Continuation #8:**

**Village Ordinance 210-6A.** No building or land shall hereafter be used or occupied and no building or part thereof shall be erected, moved or altered unless the Conformity with the regulations herein specified for the district in which it is located.

**Village Ordinance 210-172A.** Parking required. The following number of parking spaces shall be provided and satisfactorily maintained for each building lot or combination thereof; restaurants, discotheques, cabarets and bars: At least one (1) parking space for each three (3) authorized occupants. The application submitted shows the addition of sixteen (16) fixed seats in the establishment. This requires six (6) parking spaces. The application will need a variance for six (6) parking spaces.

**Continuation #10:**

**Village Ordinance 210-6A.** No building or land shall hereafter be used or occupied and no building or part thereof shall be erected, moved or altered unless the Conformity with the regulations herein specified for the district in which it is located.

**Village Ordinance 210-172A.** Parking required. The following number of parking spaces shall be provided and satisfactorily maintained for each building lot or combination thereof; restaurants, discotheques, cabarets and bars: At least one (1) parking space for each three (3) authorized occupants. The application submitted shows the addition of sixteen (16) fixed seats in the establishment. This requires six (6) parking spaces. The application will need a variance for six (6) parking spaces.

# DEPARTMENT OF BUILDINGS

OF THE VILLAGE OF FREEPORT, N.Y.

APPLICATION NO. 20210315

Filing Date 7-1-2021

## Application for Erection of Buildings or Alterations

**IMPORTANT** - Applicant to complete all items in sections: I, II, III, IV, V

**RECEIVED**  
2022 AUG 24 P 4:15

**I. LOCATION OF BUILDING**  
 AT (LOCATION) 4:15 N Main St. (No.) (Street) ZONING DISTRICT Service Business  
 CLERK'S OFFICE Westbury (Cross Street) AND \_\_\_\_\_ (Cross Street)  
 SECTION 555 BLOCK 258 LOT 149-150 APPROX. LOT SIZE 40 x 175.8 LOT AREA 7,032

**II. TYPE AND COST OF BUILDING** - All applicants complete Parts A - D

<p><b>A. TYPE OF IMPROVEMENT</b></p> <p>1     New building</p> <p>2     Addition-Alteration (If residential, enter number of new housing units added. If non-state none _____)</p> <p>3     Swimming Pool</p> <p>4     Repair (replacement)</p> <p>5     Bulkhead (New, Repair)</p> <p>6     Fence</p> <p>7     Moving (relocation)</p>	<p><b>B. PROPOSED OR EXISTING USE</b></p> <table style="width: 100%;"> <tr> <td style="width: 50%; vertical-align: top;"> <p><b>RESIDENTIAL</b></p> <p>11     One Family</p> <p>12     Two families</p> <p>13     Apartment - Enter No. of Units _____</p> <p>14     Transient hotel, motel, or dormitory - Enter No. of Units _____</p> <p>15     Garage or Accessory Structure</p> <p>16     Other - Specify _____</p> </td> <td style="width: 50%; vertical-align: top;"> <p><b>NON RESIDENTIAL - Complete Part "E"</b></p> <p>17     Industrial</p> <p>18     Office, bank, professional</p> <p>19     Stores, mercantile</p> <p>20     Church, other religious</p> <p>21     Hospital, institutional</p> <p>22     Other - Specify _____</p> </td> </tr> </table>	<p><b>RESIDENTIAL</b></p> <p>11     One Family</p> <p>12     Two families</p> <p>13     Apartment - Enter No. of Units _____</p> <p>14     Transient hotel, motel, or dormitory - Enter No. of Units _____</p> <p>15     Garage or Accessory Structure</p> <p>16     Other - Specify _____</p>	<p><b>NON RESIDENTIAL - Complete Part "E"</b></p> <p>17     Industrial</p> <p>18     Office, bank, professional</p> <p>19     Stores, mercantile</p> <p>20     Church, other religious</p> <p>21     Hospital, institutional</p> <p>22     Other - Specify _____</p>
<p><b>RESIDENTIAL</b></p> <p>11     One Family</p> <p>12     Two families</p> <p>13     Apartment - Enter No. of Units _____</p> <p>14     Transient hotel, motel, or dormitory - Enter No. of Units _____</p> <p>15     Garage or Accessory Structure</p> <p>16     Other - Specify _____</p>	<p><b>NON RESIDENTIAL - Complete Part "E"</b></p> <p>17     Industrial</p> <p>18     Office, bank, professional</p> <p>19     Stores, mercantile</p> <p>20     Church, other religious</p> <p>21     Hospital, institutional</p> <p>22     Other - Specify _____</p>		

<p><b>C. COST</b></p> <p>10 TOTAL COST OF IMPROVEMENT \$ <u>1,000</u></p>	<p><b>D. DESCRIPTION OF PROJECT</b></p> <p><u>Interior Alterations to existing Deli / Grocery - Increase Seating 10 Seats to 16 Seats</u></p>
---	---

**III. IDENTIFICATION** - To be completed by all applicants

NAME	MAILING ADDRESS - Number, street, city and state, Zip	TEL. NO.
1. Owner or Lessee <u>Louis G. Ramirez</u>	<u>170 N. Main St.</u> <u>Freeport, NY 11520</u>	<u>516-378-0070</u>
2. Contractor <u>North Main Food</u>	<u>170 N Main St</u> <u>Freeport, NY 11520</u>	<u>378-0070</u>
3. Architect or Engineer <u>James Lerner</u> <u>Architect</u>	<u>424 Madison St.</u> <u>Westbury, NY 11590</u>	<u>876-6521</u>

<p><b>IV. OWNER - CONTRACTOR STATEMENT</b></p> <p>Building permit is issued subject to the provisions of Section 57 of the Workmen's Compensation Law.</p> <p>Workmen's Compensation Certificate No. _____ Company _____ Exp. Date _____</p> <p>Contractor or Owner <u>Louis G. Ramirez</u> (Print)          Address <u>170 N Main St, Freeport</u>          Phone <u>516-378-0070</u></p> <p>State of New York            County of Nassau    <u>Louis G. Ramirez - Diti</u> being duly sworn, says that <u>He</u> is the contractor or owner of the above mentioned building. That the items of the above application also the estimated cost of said building or alteration, is correct to the best of <u>His</u> knowledge and belief and agrees to conform to all applicable laws of this jurisdiction. (His or Her)</p> <p>Sworn to before me this <u>15<sup>th</sup></u> day of <u>July</u>, 20<u>21</u></p> <p>_____          Notary Public, County, N.Y. (Applicant Signature)</p>	<p><b>V. FLOOD ZONE</b></p> <p>IS PROJECT LOCATED WITHIN A DESIGNATED FLOOD HAZARD ZONE?          YES _____ NO <input checked="" type="checkbox"/>          IF YES, WHICH ZONE? _____</p> <p>IS PROJECT TO REPAIR FLOOD DAMAGE?          YES _____ NO <input checked="" type="checkbox"/></p> <p><b>PROJECT DESCRIPTION</b></p> <p>Total/First Flr Square Feet <input type="text"/></p> <p>Upper Flrs Square Feet <input type="text"/></p> <p># of Fixtures <input type="text"/></p> <p># of Floors <input type="text"/></p> <p>Occup. Type <input type="text"/></p>
---	--

**VI. VALIDATION (Official Use Only)**

<p>Building Permit Number _____</p> <p>Building Permit Issued _____</p> <p>Building Permit Fee \$ _____</p>	<p>Approved by: _____</p> <p>Superintendent of Buildings</p>
---	--

617.20  
Appendix B  
Short Environmental Assessment Form

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Instructions for Completing

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

INC. VILLAGE OF FREEPORT NY

<b>Part 1 - Project and Sponsor Information</b>			
Name of Action or Project: <i>N Main Food</i>			
Project Location (describe, and attach a location map): <i>170 N Main St., Freeport NY 11520</i>			
Brief Description of Proposed Action: <i>Interior Alterations to Exist Deli / Grocery Increase Seating 10 Seats to 16</i>			
Name of Applicant or Sponsor:		Telephone:	
Address:		E-Mail:	
City/PO:		State:	Zip Code:
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO	YES
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: <i>Village of Freeport</i>		NO	YES
3.a. Total acreage of the site of the proposed action? _____ acres			
b. Total acreage to be physically disturbed? _____ acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres			
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

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2022 AUG 24 P 4:15  
CLEAN'S OFFICE  
VILLAGE OF FREEPORT, NY

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
		/	
b. Consistent with the adopted comprehensive plan?		/	
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
		/	
7. Is the site of the proposed action located in, or does it adjoin a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
		/	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
		/	
b. Are public transportation service(s) available at or near the site of the proposed action?		/	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?		/	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	
		/	
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing potable water: _____	NO	YES	
		/	
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	NO	YES	
		/	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	
		/	
b. Is the proposed action located in an archeological sensitive area?		/	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
		/	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____		/	
		/	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
		/	
16. Is the project site located in the 100 year flood plain?	NO	YES	
		/	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	NO	YES	
		/	
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ <i>Drywells + Catch basins</i>		/	
		/	

VILLAGE OF FREEPORT, NY

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES

**I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE**

Applicant/sponsor name: Eddie Kerak Date: 7/1/21  
 Signature: XX [Signature]

**Part 2 - Impact Assessment.** The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?		
2. Will the proposed action result in a change in the use or intensity of use of land?		
3. Will the proposed action impair the character or quality of the existing community?		
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?		
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?		
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?		
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?		
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?		
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?		

VILLAGE OF FERRISburgh DEPARTMENT OF BUILDINGS

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	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?		
11. Will the proposed action create a hazard to environmental resources or human health?		

**Part 3 - Determination of significance.** The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

VILLAGE OF FREEPORT BY  
DEPARTMENT OF BUILDINGS

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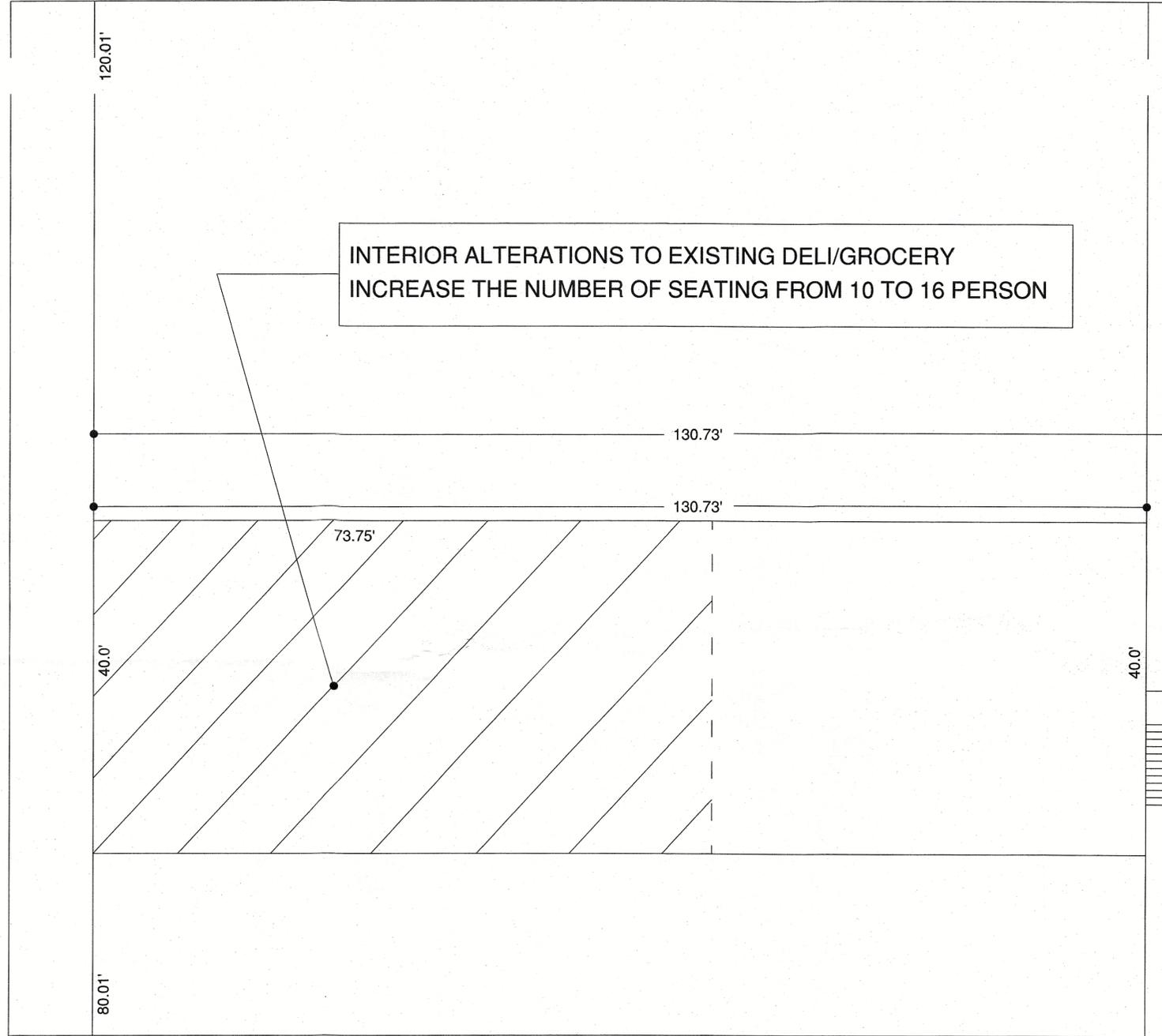
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<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

EAST DEAN AVENUE

NORTH MAIN STREET



EAST LENA AVENUE

**Plot Plan**  
Sc. 1/8"=1'-0"

GENERAL NOTES

- Designed in accordance with ASCE 7-98 Minimum Loads for Buildings and Other Structures.
- All work shall be in compliance with the 2020 Building Codes of the State of New York & Fire Prevention Codes, NYS DEC, Board of Fire Underwriters, Village of Freeport and any other authorities having jurisdiction.
  - The work in this contract shall consist of the labor, equipment and materials necessary for the construction of the work as noted on these drawings. The entire work is to be constructed and finished in every part in a good substantial and workmanlike manner in accordance with the accompanying drawings and specifications to the full intent and meaning thereof. All work is to be done in a finished manner. It is the intention of these drawings, particularly that the smaller details necessary for workmanlike job are to be included by the Contractor. All materials to be stored, installed and maintained during the course of the work in strict accordance with the manufacturer's instructions.
  - The Contractor shall verify all dimensions and conditions and shall report any discrepancies to the Architect prior to commencing work.
  - The Contractor is solely responsible for the means, methods and all aspects of construction and shall take all necessary precautions to insure the safety of all occupants, employees and general public. Any materials and property not included in the scope of work shall be similarly protected against damage and if necessary, shall be restored to its original state.
  - The Contractor shall maintain workman's compensation, disability, and public liability, (each type and in any amount to satisfy the law and the Owner) for protection from any claims for damages arising from the contractor's operations under this project.
  - All Plumbing, Electrical and other work as required is to be performed by approved Village of Freeport, licensed contractors.
  - The Contractor shall at all times keep the site free from the accumulating of waste material or rubbish caused by operations. At the completion of the work, all waste materials, rubbish, equipment and surplus material shall be removed and the site left in a "broom clean" condition.

CARBON MONOXIDE DETECTOR NOTES

Carbon Monoxide detectors/alarms shall be listed and labeled as complying with UL 2034-2002 and shall be installed in accordance with the manufacturer's installation instructions. Detectors shall be hard wired to the building's wiring system and shall have a battery back up system. Detectors shall be interconnected so that if a single detector is triggered all alarms that are part of the system shall sound. Alarm sound emitted by the detector shall be differentiated from other types of alarms installed in the building, (smoke, fire, security, etc.)

ELECTRICAL NOTES

All electrical work shall be done by a Village of Freeport Licensed electrician. All work shall conform to the New York State Building Code & NEC, the requirements of the Village of Freeport, and Nassau County. The electrician shall file for all required permits and present copies of all work permits, certifications, and municipal sign offs and an Underwriters' Lab Certificate to the Owner.

PLUMBING NOTES

All plumbing work shall be done by a Village of Freeport Licensed plumber. All work shall conform to the New York State Building and Plumbing Codes, the requirements of a Village of Freeport Water Dept., and Nassau County. The plumber shall file for all required permits and present copies of all work permits, certifications, and municipal sign offs to the Owner.

ZONING INFORMATION

BUSINESS B ZONE (NO CHANGE)  
EXISTING DELI/GROCERY (10 SEATS)  
PROPOSED DELI/GROCERY (INCREASE TO 16 SEATS)

SEE OCCUPANCY PLAN & CALCULATIONS SHEET 3 OF 3

PLOT AREA = 80' X 40' = 3,200 S.F. (NO CHANGE)  
BUILDING AREA = 130.15' X 40' = 5,206 S.F. (NO CHANGE)

PORTION OF BUILDING USED AS DELI/GROCERY 40' X 73'-9" = 2,950 S.F.

PARKING CALCULATIONS:  
5206 S.F. - 2,950 = 2,256 S.F. / 200 = 11.28  
12 PARKING SPACES REQUIRED FOR OTHER LANDLORD SPACE  
2,950 / 100 = 29.5, 30 SPACES REQUIRED FOR DELI/GROCERY  
30 REQ'D PKG. + 12 REQ'D PKG = 42 REQUIRED

OR 16 SEATS / 3 SEATS = 5.33, 6 PKG. SPACES  
42 IS GREATER THAN 16, 42 REQUIRED SPACES  
PARKING SPACES PROVIDED = 0

Sheet Legend

Sht. #	Description
1 of 3	Plot Plan and Zoning Calculations General Notes & Specifications
2 of 3	Floor Plan / Reflected Ceiling Plan
3 of 3	Wall Details, Plumbing Riser Diagram Occupancy Calculations

Legend

Sht. #	Description
	Existing Interior Walls
	Acoustical Ceiling
	1x6 Fluorescent Light
	2x2 Fluorescent Light
	2x2 Fluorescent Light
	Surface Mtd. Fluorescent Light
	Elevation #
	Section #
	Mechanical Vent (M.V.)
	SD = Smoke Detector
	CD = Carbon Monoxide Detector
	Illuminated Exit Sign

Note: All Conditions Existing unless otherwise noted.

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Existing Deli / Grocery (Increase Seating 10 to 16 Person)

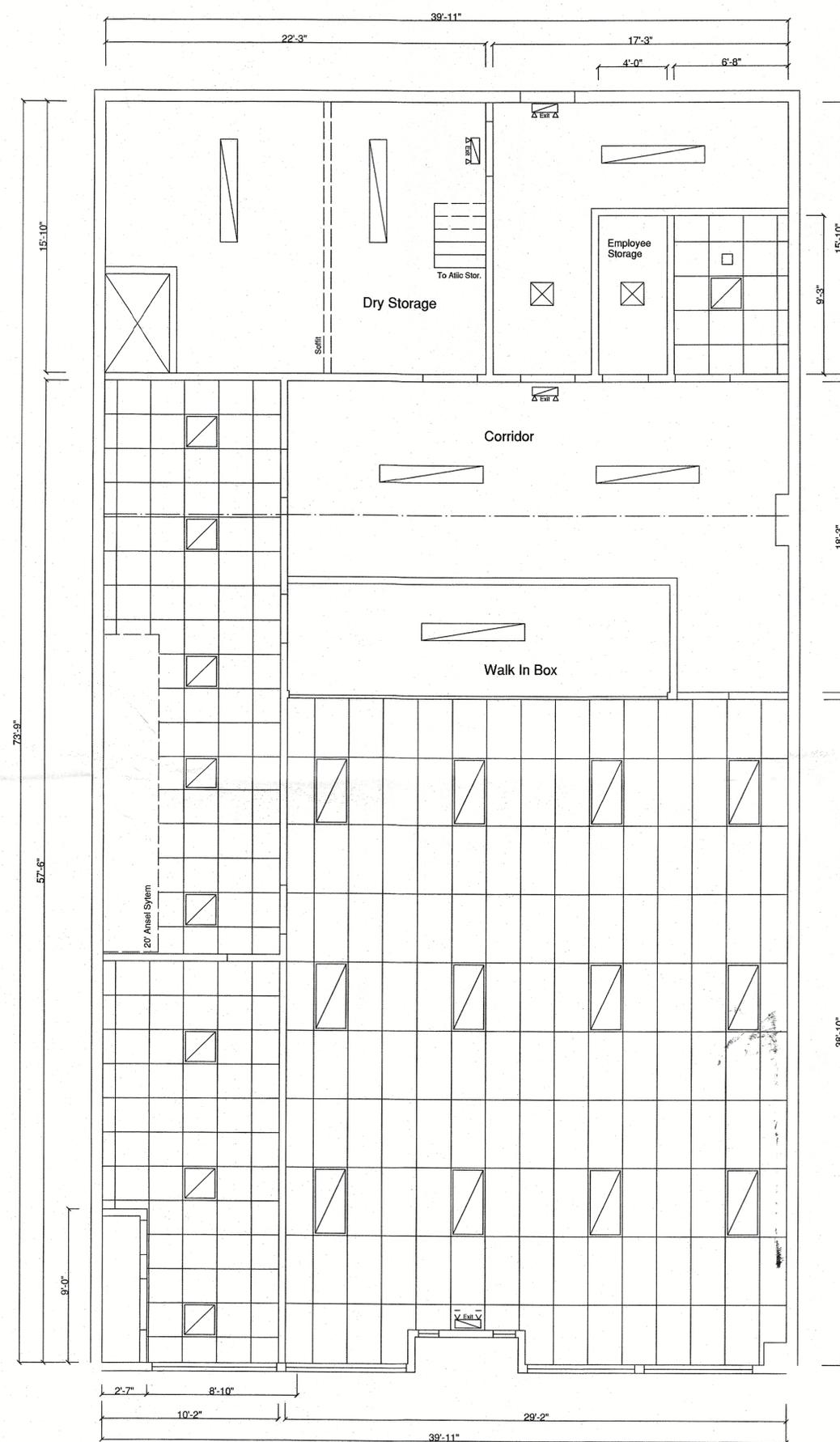
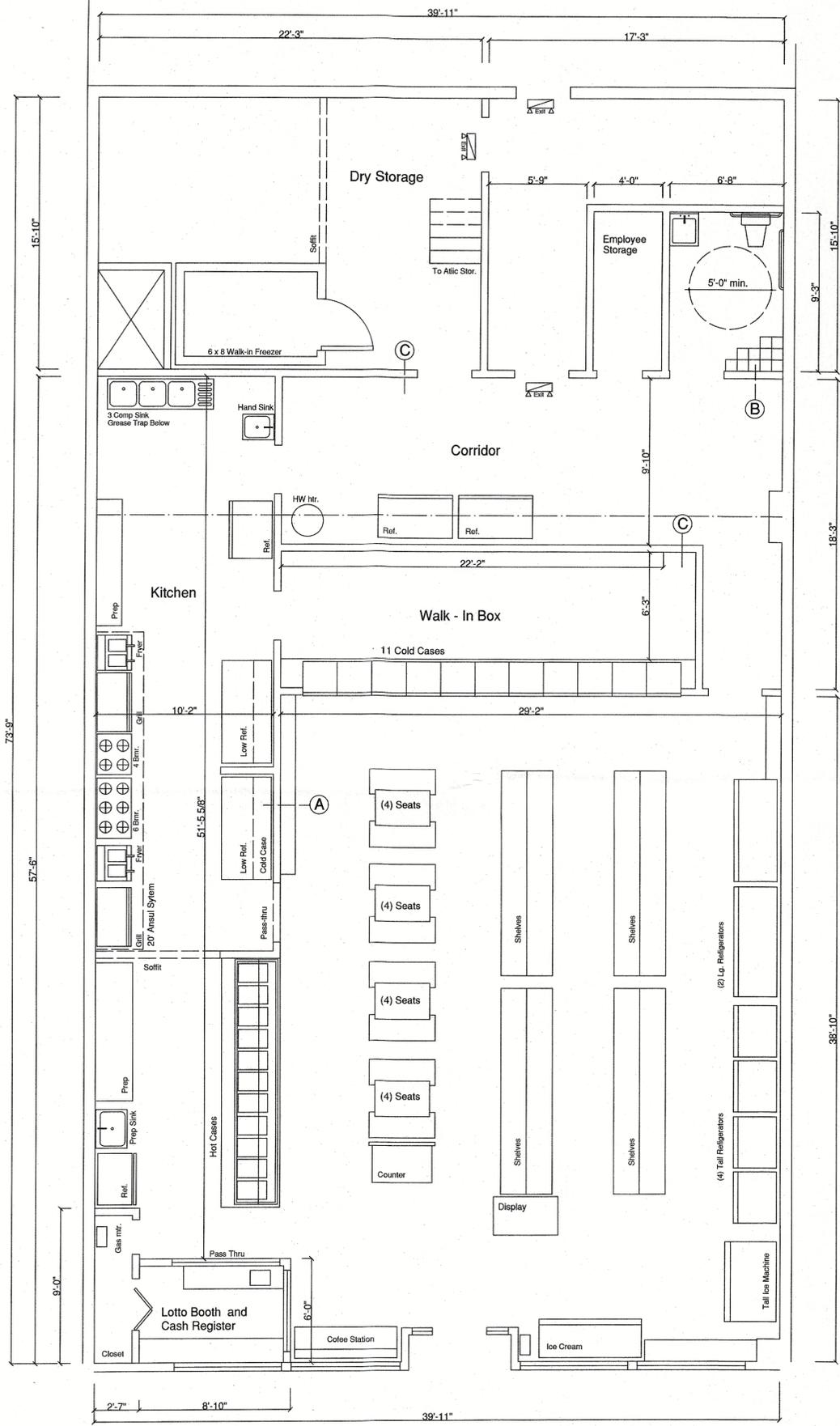
North Main Food  
170 North Main St.  
Freeport, New York



James Lerner, Architect  
424 Madison Street  
Westbury, NY 11590  
Tel. (516) 876-6521

Maria J. Miro Design and Drafting  
1002 Merrick Ave.  
N. Merrick, NY 11566  
Tel. (516) 547-5251 Email: kemdk89@aol.com

Project: North Main Food  
170 North Main St.  
Freeport, New York  
Scale: AS NOTED  
Date: 8/11/21  
Drawn by: M.J.M.  
Checked by: J.L.  
Sheet No.: 1 of 3



**Floor Plan**  
Sc. 1/4"=1'-0"

**Reflected Ceiling Plan**  
Sc. 1/4"=1'-0"

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VILLAGE OF FREEPORT, NY

**Existing Deli / Grocery (Increase Seating 10 to 16 Person)**

North Main Food  
170 North Main St.  
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N. Merrick, NY 11566  
Tel. (516) 547-5251 Email: kandkd@aol.com



Project: North Main Food  
170 North Main St.  
Freeport, New York  
Scale: as noted  
Date: 6/11/21  
Drawn by: MJM  
Checked by: JL  
Sheet No: **2 of 3**





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2022 SEP 13 A 10:24

**INC. VILLAGE OF FREEPORT**

**Department of Buildings**  
46 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK 11520  
(516) 377-2242  
FAX (516) 377-2493

CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY

ROBERT T. KENNEDY  
MAYOR

E-MAIL [BUILDINGDEPT@FREEPORTNY.GOV](mailto:BUILDINGDEPT@FREEPORTNY.GOV)

SERGIO A. MAURAS  
SUPERINTENDENT OF BUILDINGS

August 22, 2022  
**LETTER OF DENIAL**

Joseph Micculli  
635 Nassau Avenue  
Freeport, NY 11520

**RE: 635 Nassau Avenue, Freeport, NY**  
**Zoning District: Residence A Sec 62 Blk 186 Lot 127**  
**Building Permit Application #20222929**  
**Description: Construct a new 407 sq. ft. deck**

Dear Sir/Madam:

Your application has been reviewed by the Building Department and it has been determined that the above captioned building permit application must be denied for the following reason(s):

**1) Village Ordinance §210-6A. Conformity required:** No building or land shall hereafter be used or occupied and no building or part thereof shall be erected, moved or altered unless in conformity with the regulations herein specified for the district in which it is located. The proposed plan that you have submitted indicates that the property will not be in conformity.

**2) Village Ordinance §210-43. Required Yards.** Front yard depth: Minimum 20 ft. or the average depth of all residential front yards on the same side of the street within 200 ft. in either direction, whichever is greater, but in no case more than 40 ft. The drawings that were submitted with this application indicate a 6 ft. front yard depth. Accordingly, you will be seeking a variance for front yard depth.

Please be further advised that if you intend to appeal this decision you must file an application within sixty (60) days of the date of this letter. For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the **Village Clerk's Office at 516-377-2202** to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's office. **Only after this initial appointment should the additional copies be made.**

RE: 635 Nassau Avenue, Freeport, NY

Be further advised that you must submit an application to the Zoning Board of Appeals within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Zoning Board of Appeals Application, please call the VILLAGE CLERK'S OFFICE at 377-2300.

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VILLAGE OF FREEPORT, NY

Very truly yours,



Sergio A. Mauras  
Superintendent of Buildings

Enclosure

cc: Village Clerk

Robert A. Bennett, P.E.

SITE PLAN APPROVAL NEEDED

Yes: X No: \_\_\_\_\_

VILLAGE OF FREEPORT  
Department of Buildings  
Recommendation

Notice

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Positive Declaration

X Negative Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.  
(See reasons below)

Project :

Building Permit App. 20222929

Location: 635 Nassau Avenue, Freeport, NY

Applicant: Joseph Micciulli

Description: Construct a 407 sq. ft. deck

Lead Agency: Department of Buildings  
for the Board of Trustees  
Village of Freeport  
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:  
Superintendent of Buildings  
(516) 377-2242

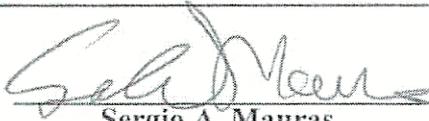
REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) \_\_\_\_\_  
\_\_\_\_\_

B) Possible environment effects identified:  
(only if positive determination)

Dated: August 22, 2022

  
Sergio A. Mauras  
Superintendent of Buildings

**IMPORTANT:** This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

01/20  
 Appendix B  
 Short Environmental Assessment Form

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Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: Second Story Deck			
Project Location (describe, and attach a location map): 635 Nassau Ave Freeport N.Y. 11520			
Brief Description of Proposed Action: ADD Second Story Deck 4074			
Name of Applicant or Sponsor: JOSEPH Micciulli		Telephone: (516) 639-2296	E-Mail: jmicciulli59@gmail.com
Address: 635 Nassau Ave			
City/PO: Freeport		State: N.Y.	Zip Code: 11520
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO YES
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO YES
3.a. Total acreage of the site of the proposed action? _____ acres			RECEIVED JUL 28 2022 FREEPORT BUILDING DEPT
b. Total acreage to be physically disturbed? _____ acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres			
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations?		<input checked="" type="checkbox"/>	
b. Consistent with the adopted comprehensive plan?		<input checked="" type="checkbox"/>	
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	<input checked="" type="checkbox"/>	YES
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	<input checked="" type="checkbox"/>	YES
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	<input checked="" type="checkbox"/>	YES
b. Are public transportation service(s) available at or near the site of the proposed action?		<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?		<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO		YES <input checked="" type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing potable water: _____	NO	<input checked="" type="checkbox"/>	YES
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	NO	<input checked="" type="checkbox"/>	YES
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	<input checked="" type="checkbox"/>	YES
b. Is the proposed action located in an archeological sensitive area?		<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO		YES <input checked="" type="checkbox"/>
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____		<input checked="" type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban	RECEIVED 111-8-3022 FREEPORT BUILDING DEPT.		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	<input checked="" type="checkbox"/>	YES
16. Is the project site located in the 100 year flood plain?	NO		YES
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	NO	<input checked="" type="checkbox"/>	YES

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>Joseph Micculli</u>		Date: <u>July 13 2022</u>
Signature: <u>Joseph Micculli</u>		

**Part 2 - Impact Assessment.** The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

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	NO, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?		
11. Will the proposed action create a hazard to environmental resources or human health?		

**Part 3 - Determination of significance.** The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

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JUL 28 2022  
FREEPORT BUILDING DEPT.

Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.

Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

Name of Lead Agency	Date
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

# DEPARTMENT OF BUILDINGS

OF THE VILLAGE OF FREEPORT, N.Y.

APPLICATION NO. 2022-1929  
Filing Date 7-28-22

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## Application for Erection of Buildings or Alterations

2022 SEP 13 4:10:25

APPLICANT TO COMPLETE ALL ITEMS IN SECTIONS I, II, III, IV, V

<b>I. LOCATION OF BUILDING</b>	AT LOCATION: <u>635 Nassau Ave.</u> (Street) ZONING DISTRICT: <u>Res. A</u>
	SECTORS: <u>VILLAGE OF FREEPORT, NY</u> AND <u>Mullet Ave</u> (Cross Street)
	SECTION: <u>62</u> BLOCK: <u>186</u> LOT: <u>533</u> APPROX. LOT SIZE: <u>80' x 95'</u> LOT AREA: <u>5928</u>

II. TYPE AND COST OF BUILDING - All applicants complete Parts A - D

<p><b>A. TYPE OF IMPROVEMENT</b></p> <p>1   New building</p> <p>2   Addition-Alteration (If residential, enter number of new housing units added. If none-state none)</p> <p>3   Swimming Pool</p> <p>4   Repair (Replacement)</p> <p>5   Bulkhead (New, Repair)</p> <p>6   Fence</p> <p>7   Moving (relocation)</p>	<p><b>B. PROPOSED OR EXISTING USE</b></p> <p><b>RESIDENTIAL</b></p> <p>11   One Family</p> <p>12   Two families</p> <p>13   Apartment - Enter No. of Units</p> <p>14   Transient hotel, motel, or dormitory - Enter No. of Units</p> <p>15   Garage or Accessory Structure</p> <p>16   Other - Specify</p>	<p style="text-align: center; font-size: 1.2em; color: blue;">RECEIVED</p> <p style="text-align: center;">JUL 28 2022</p> <p style="text-align: center; font-size: 0.8em;">NON RESIDENTIAL - Complete Part "E"</p> <p style="text-align: center; font-size: 0.8em;">FREEPORT EXCLUDING DISTRICT</p> <p>18   Office, Bank, professional</p> <p>19   Stores, mercantile</p> <p>20   Church, other religious</p> <p>21   Hospital, institutional</p> <p>22   Other - Specify</p>
--	--	---

<p><b>C. COST</b></p> <p>10 TOTAL COST OF IMPROVEMENT: <del>16,280</del> <sup>74</sup> <u>16,280</u></p>	<p><b>D. DESCRIPTION OF PROJECT</b></p> <p><u>Build new deck</u></p> <p><u>407 sq</u></p>
--	---

III. IDENTIFICATION - To be completed by all applicants

NAME	MAILING ADDRESS - Number, street, city and state, Zip	TEL. NO.
1. Owner or Lessee <u>JOSEPH Micciulli</u>	<u>635 Nassau Ave.</u> <u>Freeport N.Y. 11520</u>	<u>(516)</u> <u>639-2296</u>
2. Contractor <u>Bens General Contracting Corp</u>	<u>19 Suffolk St Freeport ny 11520</u>	<u>516-623-2945</u>
3. Architect or Engineer <u>Rabco Engineering</u>	<u>8 W. Herrick Rd. Suite 219</u> <u>Freeport N.Y. 11520</u>	<u>(516)</u> <u>867-2036</u>

IV. OWNER - CONTRACTOR STATEMENT

Building permit is issued subject to the provisions of Section 67 of the Workmen's Compensation Law.

Workmen's Compensation Certificate No. 856147 Company NYSR Exp. Date 4/1/2023

TARA COLLETTI  
NOTARY PUBLIC-STATE OF NEW YORK  
No. 01C06309284  
Qualified in Nassau County  
My Commission Expires 08-11-2022

Contractor or Owner: Bens General Contracting Corp  
Address: 19 Suffolk St Freeport ny 11520  
Phone: 516-623-2945

State of New York  
County of Nassau  
Joseph Micciulli being duly sworn, says that he is the contractor or owner of the above mentioned building. That the items of the above application also the estimated cost of said building or alteration, is correct to the best of his knowledge and belief and agrees to conform to all applicable laws of this jurisdiction.

Sworn to before me this 26th day of July, 2022

Tara Colletti  
Notary Public, County, N.Y.

Joseph Micciulli  
(Applicant Signature)

V. FLOOD ZONE

IS PROJECT LOCATED WITHIN A DESIGNATED FLOOD HAZARD ZONE?  
YES  NO   
IF YES, WHICH ZONE? AE

IS PROJECT TO REPAIR FLOOD DAMAGE?  
YES  NO

PROJECT DESCRIPTION

Total/First Fir Square Feet

Upper Firs Square Feet

# of Fixtures

# of Floors

Occup. Type

VI. VALIDATION (Official Use Only)

<p>Building Permits Number _____</p> <p>Building Permit Issued _____</p> <p>Building Permit Fee \$ _____</p>	<p>Approved by: _____</p> <p>Superintendent of Buildings</p>
--	--

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2022 SEP 13 A 10:25

SEC. 62 BLK. 186 LOT. 127

CLERK'S OFFICE  
BOARD OF APPEALS OF THE VILLAGE OF FREEPORT  
VILLAGE OF FREEPORT, NY

In the Matter  
Of  
the Application of

To The Board of Appeals of the Village of Freeport, New York

Index No. \_\_\_\_\_

COMPLY WITH  
ORIGINAL NOTES

The application of Joseph Mitziulli

respectfully states and alleges:

Strike out  
inapplicable  
phrase

1. That the applicant (~~resides~~ at) (has its principal office for the conducting of its business at)

635 Nassau Ave Freeport NY 11520

State whether  
applicant is owner,  
lessee, or has option  
or contract. If other  
than owner, state  
briefly terms of  
agreement.

2. That the premises affected by this application is located at **Land Map of Nassau County**

635 Nassau Ave Freeport NY 11520 Sec. 62 Blk. 186 Lot(s) 127

and that the interest which the applicant has in the property concerned is that of \_\_\_\_\_

the owner.

3. That (~~the applicant~~) (the applicant's duly authorized \_\_\_\_\_) on or about the

28<sup>th</sup> day of July 2022, filed in the office of the Department of Buildings of the Village of Freeport, New York, an application for a Building Permit. Documents filed with said application were

as follows:

Survey, drawings.

Obtain reason for  
denial from  
Department of  
Buildings.

4. That on or about the 22<sup>nd</sup> day of August, 2022, the Department of Buildings denied said application; upon information and belief that the reason for said denial was as follows: \_\_\_\_\_

village ordinance. 210-69, 210-43.

Describe by  
construction and  
number of stories. If  
none, so state.

5. That the nature of the improvements now upon said premises is as follows: \_\_\_\_\_

add side deck to residence

State nature of use of  
property. If a  
business, give brief  
description.

6. That said premises are now being used as follows: \_\_\_\_\_

residence

Describe fully and  
clearly the use  
desired.

7. That the applicant seeks authority to make use of said premises as follows: \_\_\_\_\_

add side deck to residence

Strike out whichever  
word is not  
applicable. Follow  
language in  
ordinance.

8. Upon information and belief that a (permit) (variance) for such use may be granted by this Board by virtue of the following sections of the said Zoning Code of The Village of Freeport or statutes of the State of New York \_\_\_\_\_

Refer where possible  
to paragraphs and  
section by numbers.

9. That the following is a statement of other factual information deemed pertinent by the applicant. If the application involves a subdivision of property, describe the existing property: no

If more space is needed annex statement on separate sheet and refer to it here with following words: "See annexed statement which is made a part hereof." Save opinions for the hearing.

10. That the grounds for this application are as follows: DECIS IN SIDE YARD SET BACK ARE VERY COMMON IN IMAGE OF PRECAT

11. That any deed restrictions running with the land prohibiting the desired use are as follows: NA.

If non-conforming use is claimed, set forth uses made of premises and dates thereof in chronological order.

12. That (the applicant has made no previous application to this Board for the authority sought herein) (upon information and belief a previous application was made for the same or similar authority sought herein and denied by this Board, but that this application contains facts not alleged or shown in any previous preceding before this Board).

WHEREFORE, the applicant respectfully prays that the authority sought herein be granted.

Dated: September 2nd 2022  
TARA COLLETTI  
NOTARY PUBLIC-STATE OF NEW YORK  
No. 01CO6309284  
Qualified in Nassau County  
My Commission Expires 08-11-2026

Joseph J. Healy  
BY: \_\_\_\_\_  
ITS: \_\_\_\_\_

If this verification is made by an officer of a corporation or an Association or by a legal representative of an estate, his name and office should be designated on the first line.

State of New York )  
County of Nassau ) ss:

The applicant \_\_\_\_\_ named in the foregoing application, being duly sworn, depose and say that \_\_\_\_\_ read the foregoing application subscribed by \_\_\_\_\_ and know the contents thereof; and that the same is true to \_\_\_\_\_ own knowledge except as to the matters therein stated to be alleged on information and belief, and that as to those matters \_\_\_\_\_ believe \_\_\_\_\_ to be true.

Sworn to before me this \_\_\_\_\_ day  
of \_\_\_\_\_, 20\_\_\_\_\_.

Signature of Applicant

Notary Public \_\_\_\_\_

**Notice  
Conflict of Interest**

I have read Section 809 of the General Municipal Law concerning disclosure of and conflict of interest and hereby certify that there are no conflicts in respect to this application requiring disclosure.

\_\_\_\_\_, 20\_\_\_\_\_  
Date Year

\_\_\_\_\_  
Signature

**Affidavit of Owner**

To be completed only if the owner is not the applicant.

State of New York )  
County of Nassau ) ss:

I \_\_\_\_\_ being duly sworn, depose and say:

That he/she (the owner of \_\_\_\_\_) (is the \_\_\_\_\_ of \_\_\_\_\_ the property concerned is correct to the best of the knowledge of deponent \_\_\_\_\_.)

That the owner \_\_\_\_\_ consents to the granting of the authority sought in the above application.

Sworn to before me this \_\_\_\_\_ day  
of \_\_\_\_\_, 20\_\_\_\_\_.

\_\_\_\_\_  
Signature

Notary Public \_\_\_\_\_

RECEIVED

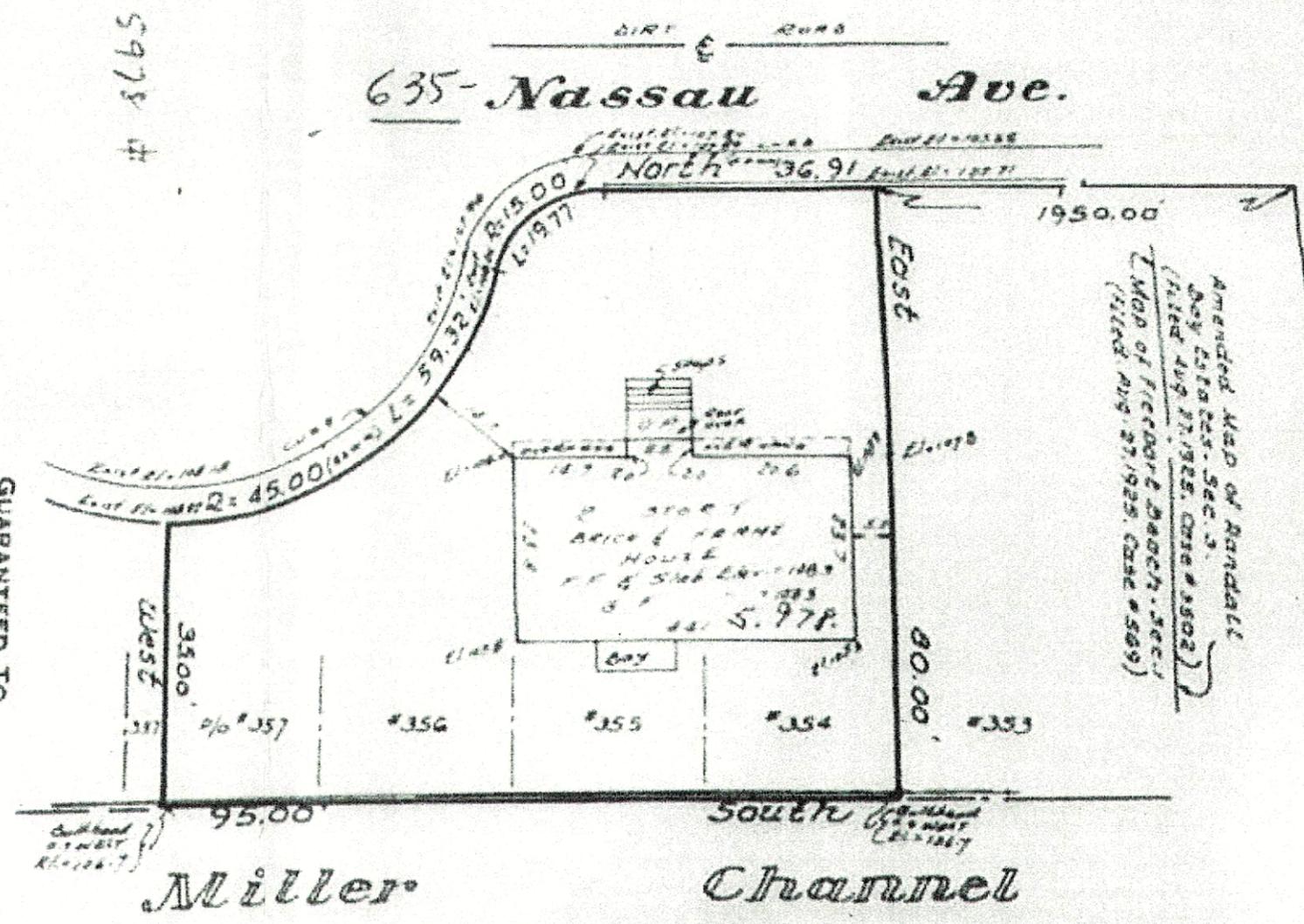
2022 SEP 13 A 10:25

CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY

TITLE NUMBER

BUILDER'S NO. 23

Suffolk St.

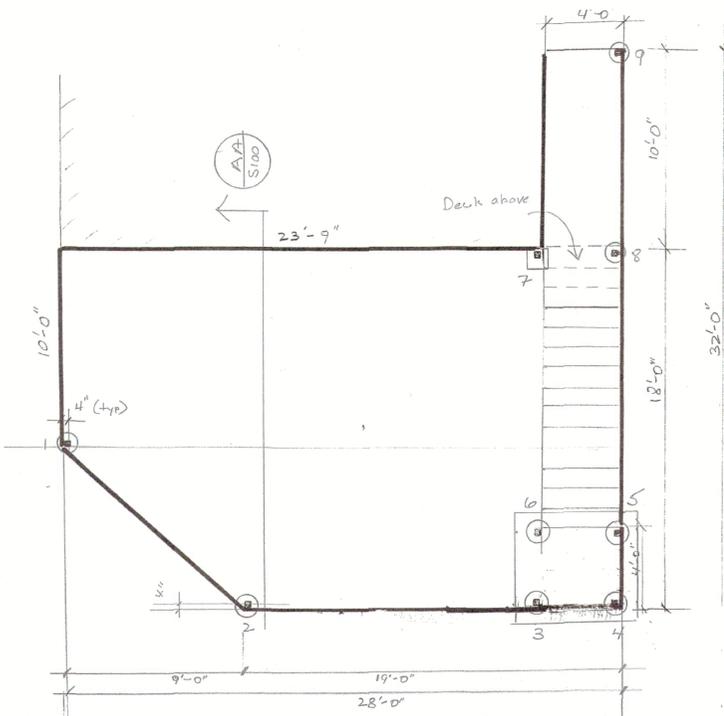


GUARANTEED TO  
SECURITY TITLE & GUARANTY CO.  
DIME SAVINGS BANK OF BROOKLYN

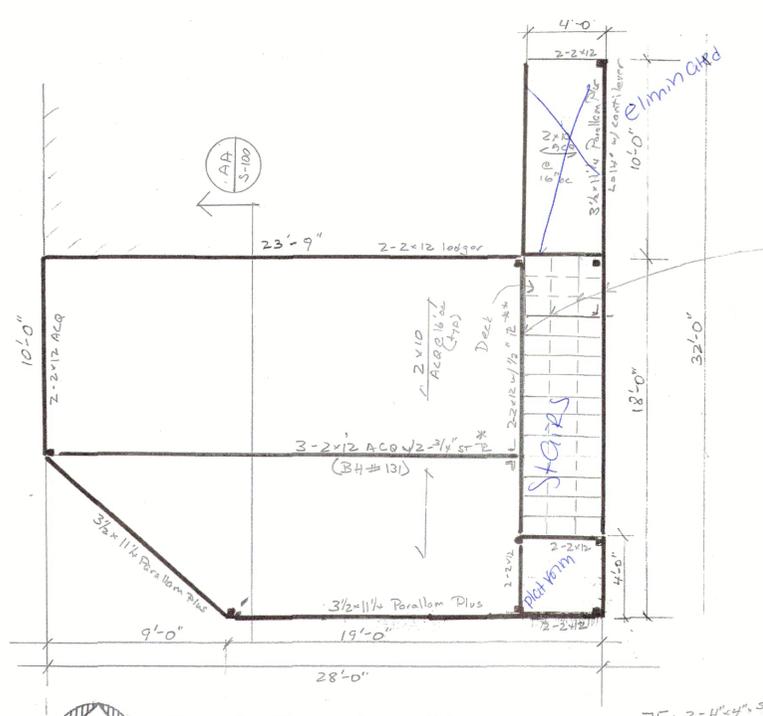
SURVEY NO. F 2181  
SURVEY OF Port of Lots #355, 356 & 357 and  
ALL of  
LOT NO. 354  
BLOCK NO. 1  
AS SHOWN ON THE MAP OF  
TEAS AND STEINBRENNER  
SURVEYORS

125 CHURCH ST., MALVERNE, N. Y.  
AND  
552 ROUTE 111, HAUPPAUGE, N. Y.  
DATE *April 26, 1965*  
NASSAU CO. N. Y.  
SCALE 1 IN = 20 FT.

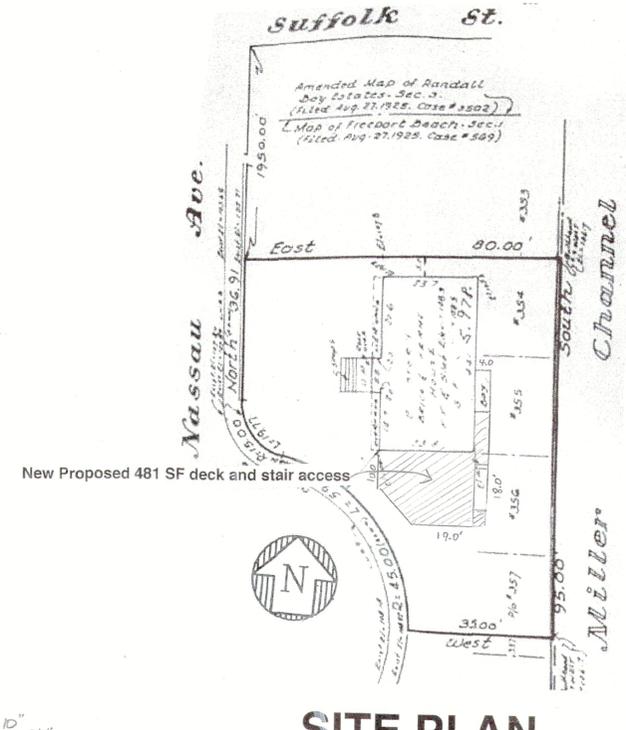
PREPARED BY THE ENGINEER  
AS SHOWN ON THE MAP OF  
TEAS AND STEINBRENNER  
SURVEYORS  
CHECKED BY *TEAS*  
LOCATION *TEAS*  
FINAL *TEAS*



**Deck Foundation Plan**  
1/4" = 1'



**Deck Framing Plan**  
1/4" = 1'

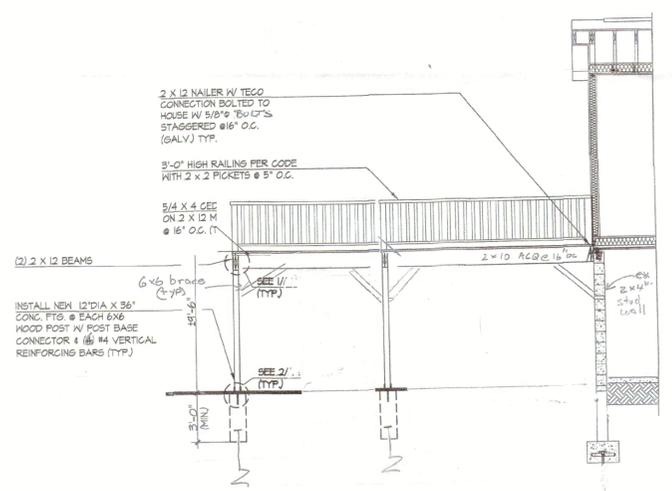


**SITE PLAN**  
1" = 20'

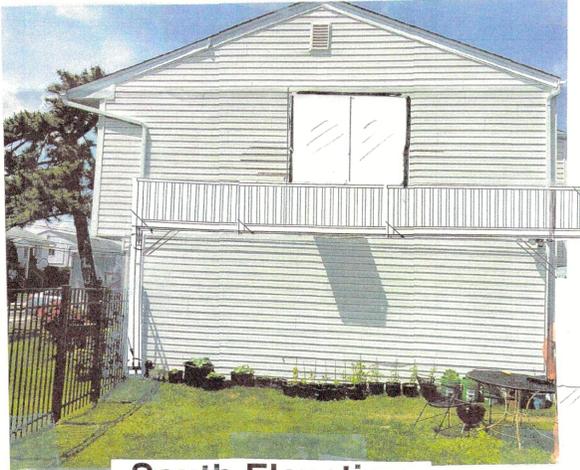
excerpted from survey by Teas and Steinbrenner  
last dated 4/26/65

**GENERAL NOTES**

- All work shall be in compliance with codes of the Village of Freeport, the 2020 NY State Building code, and any other authorities having jurisdiction.
  - The work in this contract shall consist of the labor, equipment and materials necessary for the construction of the work as noted on these drawings. The entire work is to be constructed and finished in every part in a good substantial and workmanlike manner in accordance with the accompanying drawings and specifications to the full intent and meaning thereof. All work is to be done in a finished manner. It is the intention of these drawings, particularly that the smaller details necessary for a workmanlike job are to be included by the contractor. All materials are to be stored, installed and maintained during the course of the work in strict accordance with the manufacturer's instructions.
  - Contractor shall verify all dimensions and all conditions and shall report any discrepancies to Engineer prior to commencing work.
  - The contractor is solely responsible for the means, methods and all aspects of construction and shall take all necessary precautions to ensure the safety of all occupants, employees and the general public. Any materials and property not included in the scope of work shall be similarly protected from damage and if necessary, shall be restored to its original pre-construction state.
  - The contractor shall maintain workman's compensation, disability, and public liability insurance, (each of a type and in an amount to satisfy the law and the owner) for protection from any claims for damages arising from the contractor's operations under this project.
  - All plumbing, electrical, and other work as required is to be performed by licensed contractors approved by the Village of Freeport or any other required agency.
  - Contractor shall at all times keep the site free from accumulation of waste materials or rubbish caused by his operations. At the completion of the work, all waste materials, rubbish, tools, equipment, and surplus materials shall be removed and the site left in a "broom clean" condition.
  - The Engineer has not been retained for special inspections only as indicated in this drawing.
- Concrete and Masonry**
- Provide cast-in place concrete, including formwork and reinforcement as required to complete the construction shown on the Drawings and as specified herein.
  - Comply with ACI 301, Specifications for Structural Concrete for Building, except as may be modified herein.
  - Provide transit-mix concrete complying with ASTM C94, to the compressive strength of 4000 psi. All cast-in place concrete shall be tested by a pre-approved concrete testing laboratory.
  - Provide reinforcement of the types shown on the Drawings, and complying with ASTM A615, grade 60, unless otherwise indicated.
  - Consolidate concrete in accordance with ACI 309.
  - Provide concrete that is dense and free from honeycomb and other defects. Repair defective concrete in accordance with ACI 301, Chapter 9.
  - Leave slab surfaces free from trowel marks, uniform in appearance, and with a surface plane tolerance not exceeding 1/8" in 10'-0" when tested with a 10'-0" straightedge.
  - Concrete masonry units shall be grade S for exposure. Solid load bearing block to comply with ASTM C-145-1966T.
  - The mortar is to comply with ASTM C-270-1964; Type M. Walls are to be bonded integrally with Dur-O-Wal reinforcing and vertical #4 reinforcing at 32" o.c.
  - Brick must conform to the requirements for grade MW or SW as specified in ASTM C62 or C216. Mortar shall comply with either M, S, or N types as outlined in ASTM C270.
- Carpentry and Finish Work**
- Materials (other than non stress grade lumber), design, and construction methods shall comply with NY State Building Code. All lumber used for structural elements shall bear an identifying mark of an approved grading bureau or agency prior to its delivery at the site.
  - All structural lumber (except microlam beams) is to be Douglas fir, or southern pine, #1, all with a minimum bending fb of 850 psi and modulus of elasticity of E=1,000,000. Microlam beams shall have fb of 3100 psi and modulus of elasticity E=2,000,000.



**Section A-A**  
1/4" = 1'

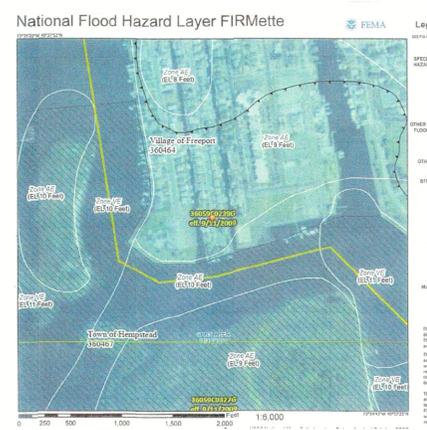
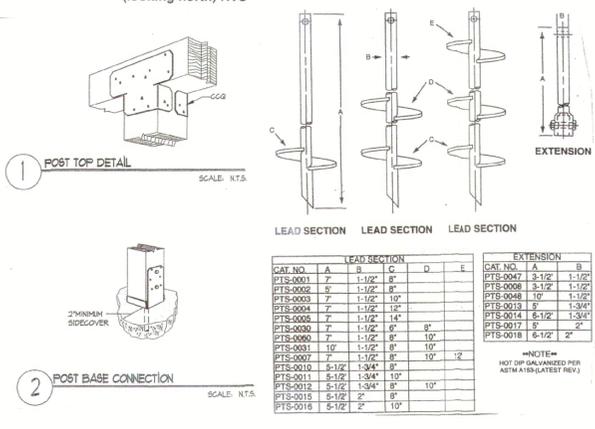


**South Elevation**  
(looking north) NTS

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA		CODE ANALYSIS	
GROUND SNOW LOAD	25 PSF	OCCUPANCY, RESIDENTIAL ONE FAMILY DWELLING	
SPEED (mph)	150	REFERENCE STANDARDS	
TOPOGRAPHIC EFFECTS	NO	RESIDENTIAL CODE OF NEW YORK STATE (2020)	
SPECIAL WIND REGION	NO	WOOD FRAME CONSTRUCTION MANUAL, AF 1 1/2 2018 EDITION	
WIND-BORNE DEBRIS ZONE	YES	CLIMATE ZONE: IIB	
SEISMIC DESIGN CATEGORY	C	DEGREE DAYS: 5750	
WEATHERING	SEVERE	DESIGN LOADS	
FROST LINE DEPTH	3'-0"	DECKS: 60 PSF	
TERMINITE	MODERATE-TO HEAVY	ATTICS: 20 PSF	
WINTER DESIGN TEMP	19°F	ROOMS OTHER THAN SLEEPING ROOMS: 40 PSF	
ICE SHIELD UNDERLAYMENT REQUIRED	YES	SLEEPING ROOMS: 30 PSF	
FLOOD HAZARDS	YES	STAIRS: 40 PSF	
AIR FREEZING INDEX	446	HANDRAILS: 200#	
MEAN ANNUAL TEMP	52.4 F	ROOF: 48 PSF	
		BASIC WIND SPEED: 150 MPH	
		UPLIFT: 10#	
		DEAD LOADS: 10 PSF	
		WIND UPLIFT, PER PRESCRIPTIVE DESIGN TABLE 3.10 (WOOD FRAME CONSTRUCTION MANUAL FOR ONE AND TWO FAMILY DWELLINGS)	
		DEFLECTION LIMITS:	
		RAFTERS WITH NO FIN CEILING ATTACHED: L/260	
		L/80 FLOORS	

**Additional Notes**

- New deck to be 6" below existing 2nd level floor.
- Proposed new 6' wide x 7' high sliding door. Install new 3.5" x 11.25" LVL header above.
- Helical piles (9) to be 15 ton ultimate (7.5 ton design).
- Four (4) 2" x 12" ACQ stair stringers w/ bottom flush sister 2" x 4" member.
- In lieu of large 3-2" x 12" ACQ w/ 2-3/4" steel plates for 24' span (marked \* on framing plan), an additional midspan helical pile, pier and post may be provided, then girders can be reduced to 13' maximum span 5.25" x 11.25" Parallam Plus. Transverse support member (marked \*\* on framing plan) also 5.25" x 11.25" Parallam Plus.



**VILLAGE OF FREEPORT ZONING TABLE**

Zoning Section	permitted/required Res A	existing Res A	proposed Res A	comments	Variance required
Section	62	62	62	no change	
Block	186	186	186	no change	
Lot	533	533	533	no change	
Lot Area	min 5,000 SF	5,875 SF	5,875 SF	no change	
Lot Coverage	30% of 5,890=1,767	1,134 SF	1,134 SF	OK	
Height	35'	25'	25'	no change	
Floor area ratio	50% of 5,890= 2,945 SF	2,208 or 37.5%	2,208 or 37.5%	37.5% no change	
front yard setback	20'	34'	34'	no change	
rear yard setback	20'	20'	20'	no change	
side yard setback	5.0'	5.0'	5.0'	no change	
side yard aggregate	25% lot width= 23.75	50'	50'	no change	
Deck front yard setback	20'	n/a	6'	Dead End/ Cup de sac	YES
Deck rear yard setback	3.5'	n/a	27'		
Deck rear yard setback	highhead	n/a	16'		
sky exposure plane F/R	1/1			N/A no change	
sky exposure plane side	2/1			N/A no change	

It is a violation of New York State Education Law Article 145 section 7209, for any person, unless he or she is acting under the direction of a licensed professional engineer or land surveyor, to alter an item in any way, if an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his or her seal and the notation "altered by" followed by his or her signature and the date of such alteration, and a specific description of the alteration.

The purpose of this drawing is to provide the general specifications and details for constructing a new elevated side yard timber deck at grade. All work should be coordinated with these drawings as well as compliance with the Village of Freeport, NY State Building code, and any other agencies with jurisdiction. No other work, change in use, or occupancy of the property is shown or intended.

**Rabco Engineering, P.C.**  
Engineering - Inspection - Construction Management

**RAECO ENGINEERING P.C.** Robert A. Bennett P.E. Principal

Tel: (516) 887-2036 8 W. Merrick Rd. Suite 219  
Fax: (516) 887-2027 Freeport, New York 11520  
Email: rabco@lnn.com www.rabcoengineering.com

TOLERANCES (EXCEPT AS NOTED)	REVISIONS			New side yard elevated deck	
	NO.	DATE	BY	SCALE	MATERIAL
DECIMAL	1			as shown	
FRACTIONAL	2				
ANGULAR	3				
	4				
	5				
	6				

DRWN BY: RAB  
CHKD BY: J.S. Shown  
DATE: 7-8-22  
APPD: [Signature]  
DRAWING NO.: S-100



2022 SEP 13 A 10:25  
CLEARED OFFICE  
VILLAGE OF FREEPORT, NY

RECEIVED

# M<sup>c</sup>Laughlin & Stern

Christian Browne, Esq.  
Partner  
cbrowne@mclaughlinstern.com

1122 FRANKLIN AVE., SUITE 300  
GARDEN CITY, NEW YORK 11530  
(516) 829-6900  
FAX (516) 829-6966  
www.mclaughlinstern.com

NEW YORK, NY  
MILLBROOK, NY  
WESTPORT, CT  
WEST PALM BEACH, FL  
NAPLES, FL  
CLARK, NJ

September 12, 2022

## VIA FEDERAL EXPRESS

Ms. Robin Cantelli  
Secretary to the Zoning Board of Appeals  
Village of Freeport  
Village Clerk's Office  
46 North Ocean Avenue  
Freeport, New York 11520

RECEIVED  
2022 SEP 13 A 11:12  
CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY

**Re: Application of Look North Together, Inc.  
87-89 S. Main Street, Freeport, New York  
Section: 55 Block: 205 Lot: 127**

Dear Ms. Cantelli:

This law firm represents the Applicant on the above-referenced zoning application.

Enclosed please find twelve (12) sets of Zoning Board of Appeals Application packages together with our client's check in the sum of \$3,045.00 representing the filing fee for same. Kindly file same accordingly and advise of a public hearing date.

If you have any questions, please feel free to contact me.

Sincerely,

  
Christian Browne

CB:cn  
Enclosures

{N0512731.1}



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2022 SEP 13 A 11: 13

CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY

**INC. VILLAGE OF FREEPORT**

**Department of Buildings**

46 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK 11520  
(516) 377-2242  
FAX (516) 377-2493

ROBERT T. KENNEDY  
MAYOR

E-MAIL [BUILDINGDEPT@FREEPORTNY.GOV](mailto:BUILDINGDEPT@FREEPORTNY.GOV)

SERGIO A. MAURAS  
SUPERINTENDENT OF BUILDINGS

August 19, 2022  
**LETTER OF DENIAL**

Meridian Lights Inc.  
1488 Deer Park Avenue – Suite 364  
North Babylon, NY 11703

**RE: 87-89 S. Main Street, Freeport, NY**

**Zoning District: Business B Sec 55 Blk 205 Lot 127**

**Building Permit Application #20222921**

**Description: Construct a new 4-story mixed use building,**

**1<sup>st</sup> story to be used as retail & 2<sup>nd</sup> story, 3<sup>rd</sup> story & 4<sup>th</sup> story used as residential apartments**

Dear Sir/Madam:

Your application has been reviewed by the Building Department and it has been determined that the above captioned building permit application must be denied for the following reason(s):

**1) Village Ordinance §210-6A. Conformity required:** No building or land shall hereafter be used or occupied and no building or part thereof shall be erected, moved or altered unless in conformity with the regulations herein specified for the district in which it is located. The proposed plan that you have submitted indicates that the property will not be in conformity.

**2) Village Ordinance §210-80A.** All uses are permitted in Residence AA, Residence A, Business AA, and Business A except for residential. The proposed application calls for residential on the 4th floor. On 10/27/2017, the Zoning Board approved this property for mixed use with a 2nd floor of residential apartments. On 10/25/2019, the Zoning Board approved this property for mixed use with a 2<sup>nd</sup> and 3<sup>rd</sup> floor of residential apartments. In the current application, the applicant is seeking a variance for mixed use for the 2<sup>nd</sup> floor, 3<sup>rd</sup> floor and 4<sup>th</sup> floor residential apartments, with retail on the 1st floor. The proposed 4th story would have 4 apartments (3 one-bedroom apartments and 1 two-bedroom apartment).

**3) Village Ordinance §210-172A2a. Required parking.** Apartment house and multifamily residences parking spaces accessible to all tenants shall be provided on the premises in accordance with the following schedule: 2-bedroom apartments – 2 spaces, 1-bedroom apartments – 1.5 spaces. In 2017 and 2019 the applicant was approved for a total of six (6) 2-bedroom apartments and two (2) 1-bedroom apartments, requiring a total of 15 parking spaces for residential use, where three parking spaces were provided. The proposed apartments on the 4<sup>th</sup> floor would require an additional 6.5 parking spaces beyond what was previously been approved.

**4) Village Ordinance §210-172A12. Required Parking.** All nonresidential buildings in any zoning district

RE: 87-89 S. Main Street, Freeport, NY

except as otherwise required in this section: at least one parking space for each 400 sq. ft. of the floor area of the building or structure plus parking space for two cars for each individual store, shop or business in the building or structure. The proposed application has 2 retail stores. One store with 1,200 sq. ft. and the other store with 1,800 sq. ft. totaling 3000 sq. ft. The total footprint for the first floor is 4,000 sq. ft. The proposed first floor requires fourteen (14) total spaces for which a variance was previously approved in 2017 and 2019.

To summarize the parking variance issue: In 2017 the Board approved a 24 parking space variance (should have been 18, when 3 were provided and 21 were required). In 2019, when applicant added a third floor of housing, the applicant was required to have 29 parking spaces and 3 parking spaces were provided. The Board approved this variance, now totaling 26 parking spaces. In the current application, the applicant is seeking an additional 6.5 parking space variance. For the current configuration of the project, 35.5 parking spaces are required. Three (3) parking spaces are provided, and the applicant has a prior 26 parking variance.

5) **Village Ordinance §210-49C. Open space.** Open space, out-of-doors and uncovered, shall be provided at the ration of at least on sq. ft. of open space to each two sq. ft. of residential floor area which excludes the basement or cellar, In 2019 the proposed application showed a total residential square footage of 6,640 sq. ft., requiring open space of 3,320 sq. ft. where 201.5 sq. ft. were provided. This variance was granted. In the current application, there is an additional 2,213 sq. ft. of residential floor footage, requiring open space of 4,426 sq. ft. when 201.5 sq. ft. are provided. A variance is needed for the additional 1,106 sq. ft. of open space.

6) **Village Ordinance §210-49D. Recreation space.** Open recreation space, out of doors, shall be provided on the basis of 1/6 of the open space requirement in a single contiguous area other than the front yard, This requirement is a part of the open space requirement. Open recreation space shall use a portion of the open space required by Subsection c above. In 2019, the application was approved for a variance of the 553 sq. ft. of open recreation space when 0 was provided. The current application would require 738 sq. ft. of open recreation space, where 0 is required. A variance is needed for the additional 185 sq. ft. of open recreation space.

Please be further advised that if you intend to appeal this decision you must file an application within sixty (60) days of the date of this letter. For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the **Village Clerk's Office at 516-377-2202** to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Zoning Board of Appeals within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Zoning Board of Appeals Application, please call the **VILLAGE CLERK'S OFFICE** at 377-2300.

Very truly yours,

  
Sergio A. Mauras  
Superintendent of Buildings

Enclosure

cc: Village Clerk  
Impact Architecture

SITE PLAN APPROVAL NEEDED

Yes: X No: \_\_\_\_\_

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2022 SEP 13 A 11: 13  
CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY

VILLAGE OF FREEPORT

Department of Buildings

Recommendation

RECEIVED

2022 SEP 13 A 11: 13

Notice

X

Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement. (See reasons below)

Project :

Building Permit App. 20222900

Location: 87-89 S. Main Street, Freeport, NY

Applicant: Meridian Lights Inc.

Description: Construct a new 4-story mixed use building, 1st story to be used as retail & 2nd story, 3rd story & 4th story used as residential apartments

Lead Agency: Department of Buildings for the Board of Trustees Village of Freeport 46 North Ocean Avenue, Freeport, NY

Agency Contact Person: Superintendent of Buildings (516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) \_\_\_\_\_

B) Possible environment effects identified: (only if positive determination)

\_\_\_\_\_

Dated: August 19, 2022

Sergio A. Mauras Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

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SEC. \_\_\_ BLK. \_\_\_ LOT. \_\_\_

2022 SEP 13 A 11: 12

CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY

BOARD OF APPEALS OF THE VILLAGE OF FREEPORT

In the Matter  
Of  
the Application of  
MERIDIAN LIGHTS, INC.  
To The Board of Appeals of the Village of Freeport, New York

Index No. \_\_\_\_\_

COMPLY WITH  
ORIGINAL NOTES

The application of MERIDIAN LIGHTS, INC.

respectfully states and alleges:

Strike out  
inapplicable  
phrase

1. That the applicant (~~resides at~~) (has its principal office for the conducting of its business at)  
1488 Deer Park Avenue, Suite 364, North Babylon, NY 11703

State whether  
applicant is owner,  
lessee, or has option  
or contract. If other  
than owner, state  
briefly terms of  
agreement.

2. That the premises affected by this application is located at 87-89 S. Main Street, Freeport, NY **Land Map of Nassau County**  
**Sec. 55 Blk. 205 Lot(s) 127**  
and that the interest which the applicant has in the property concerned is that of fee owner.

Obtain reason for  
denial from  
Department of  
Buildings.

3. That (the applicant) (the applicant's duly authorized architect) on or about the  
5th day of July 20 22, filed in the office of the Department of Buildings of the Village of  
Freeport, New York, an application for a Building Permit. Documents filed with said application were  
as follows:

Plans to construct 4th floor with 4 apartments to previously approved permitted mixed use  
building with 1st floor retail and 2nd, 3rd, and 4th stories for use as residential apartments.

Describe by  
construction and  
number of stories. If  
none, so state.

4. That on or about the 19th day of August, 20 22, the Department of Buildings denied said  
application; upon information and belief that the reason for said denial was as follows: Village  
Ordinance Sections 210-6A, conformity required; 210-80A; 210-172A2a, parking;  
210-172A12, parking; 210-49C, open space; and 210-49D, recreation space

State nature of use of  
property. If a  
business, give brief  
description.

5. That the nature of the improvements now upon said premises is as follows: \_\_\_\_\_  
The building is currently under construction.

Describe fully and  
clearly the use  
desired.

6. That said premises are now being used as follows: The building is currently under construction.

Strike out whichever  
word is not  
applicable. Follow  
language in  
ordinance.

7. That the applicant seeks authority to make use of said premises as follows: See #3 above.

Refer where possible  
to paragraphs and  
section by numbers.

8. Upon information and belief that a (permit) (variance) for such use may be granted by this Board by  
virtue of the following sections of the said Zoning Code of The Village of Freeport or statutes of the  
State of New York Village Ordinance Sections 210-6A, 210-80A; 210-172A2a,  
210-172A12, 210-49C, and 210-49D.

9. That the following is a statement of other factual information deemed pertinent by the applicant. If the  
application involves a subdivision of property, describe the existing property: N/A

If more space is needed annex statement on separate sheet and refer to it here with following words: "See annexed statement which is made a part hereof." Save opinions for the hearing.

If non-conforming use is claimed, set forth uses made of premises and dates thereof in chronological order.

10. That the grounds for this application are as follows: Application is in conformity with area character.

11. That any deed restrictions running with the land prohibiting the desired use are as follows: None

12. That ~~(the applicant has made no previous application to this Board for the authority sought herein)~~ (upon information and belief a previous application was made for the same or similar authority sought herein and denied by this Board, but that this application contains facts not alleged or shown in any previous proceeding before this Board).

WHEREFORE, the applicant respectfully prays that the authority sought herein be granted.

Dated: September 8, 2022

MERIDIAN LIGHTS, INC.

BY: Alexander Onasis

IITS: \_\_\_\_\_

If this verification is made by an officer of a corporation or an Association or by a legal representative of an estate, his name and office should be designated on the first line.

State of New York )  
County of Nassau ) ss:

The applicant Alexander Onasis named in the foregoing application, being duly sworn, depose and say that she read the foregoing application subscribed by Meridian Lights Inc the contents thereof; and that the same is true to her own knowledge except as to the matters therein stated to be alleged on information and belief, and that as to those matters she believes them to be true.

Sworn to before me this 8 day September, 20 22  
of September, 20 22  
Notary Public Isabella Anatolia  
ISABELLA ANATOLIA  
NOTARY PUBLIC, STATE OF NEW YORK  
Registration No. 01AN6339518  
Qualified in Suffolk County  
Commission Expires April 4, 2024

**Notice  
Conflict of Interest**

I have read Section 809 of the General Municipal Law concerning disclosure of and conflict of interest and hereby certify that there are no conflicts in respect to this application requiring disclosure.

\_\_\_\_\_, 20\_\_\_\_, \_\_\_\_\_  
Date Year Signature

**Affidavit of Owner**

To be completed only if the owner is not the applicant.

State of New York )  
County of Nassau ) ss:

I \_\_\_\_\_ being duly sworn, depose and say:

That he/she (the owner of \_\_\_\_\_) (is the \_\_\_\_\_ of \_\_\_\_\_ the property concerned is correct to the best of the knowledge of deponent \_\_\_\_\_.)

That the owner \_\_\_\_\_ consents to the granting of the authority sought in the above application

Sworn to before me this \_\_\_\_\_ day  
of \_\_\_\_\_, 20\_\_\_\_.  
Notary Public \_\_\_\_\_  
Signature \_\_\_\_\_

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617.20 Appendix B Short Environmental Assessment Form

20220921

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INSTRUCTIONS PAGE OF FREEPORT, NY

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

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FREEPORT BUILDING DEPT

Complete all items in Part 1. You may also provide any additional information which you believe will be useful by or useful to the lead agency; attach additional pages as necessary to supplement any item.

**Part 1 - Project and Sponsor Information**

Name of Action or Project: LAURA COLETT, RA 90 Impact Architecture PLLC

Project Location (describe, and attach a location map): 87-89 S MAIN ST FREEPORT NY 11520

Brief Description of Proposed Action: Addition of 4<sup>th</sup> Floor w/ (4) Apartments to existing permitted mixed use Bldg.

Name of Applicant or Sponsor: LAURA COLETT, RA 90 Impact Architecture PLLC Telephone: 516 339 0596 E-Mail: laura@90impact.com

Address: 399 Conklin Street Suite 208

City/PO: Farmingdale State: NY Zip Code: 11735

1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.	NO	YES
	X	
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:	NO	YES
	X	

3.a. Total acreage of the site of the proposed action? 1.08 acres

b. Total acreage to be physically disturbed? \_\_\_\_\_ acres

c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 1.32 acres

4. Check all land uses that occur on, adjoining and near the proposed action.

Urban  Rural (non-agriculture)  Industrial  Commercial  Residential (suburban)

Forest  Agriculture  Aquatic  Other (specify): \_\_\_\_\_

Parkland

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VILLAGE OF FREEPORT, NY

5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	NO <input checked="" type="checkbox"/>	YES	N/A
6. Is the proposed action consistent with the predominant character of the existing public/private landscape?		NO	YES <input checked="" type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____		NO	YES <input checked="" type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation service(s) available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	NO <input checked="" type="checkbox"/>	YES	<input checked="" type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	<input checked="" type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing potable water: _____	NO	YES	<input checked="" type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	NO	YES	<input checked="" type="checkbox"/>
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places? b. Is the proposed action located in an archeological sensitive area?	NO <input checked="" type="checkbox"/>	YES	<input checked="" type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	NO <input checked="" type="checkbox"/>	YES	<input checked="" type="checkbox"/>
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO <input checked="" type="checkbox"/>	YES	
16. Is the project site located in the 100 year flood plain?	NO <input checked="" type="checkbox"/>	YES	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES	NO <input checked="" type="checkbox"/>	YES	<input checked="" type="checkbox"/>
Drainage structures will be provided for storm water			

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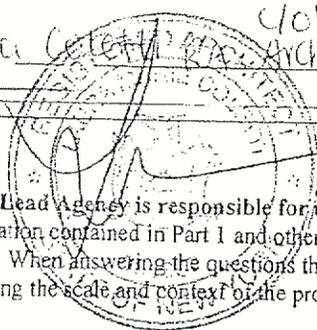
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18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoons, etc.)? If Yes, explain purpose and size: _____	NO	YES
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES

I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

Applicant/sponsor name: Kaura Celestia, LLC U/Impact Architecture PLLC Date: 1/2/19  
Signature: [Signature]



Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?		
2. Will the proposed action result in a change in the use or intensity of use of land?		
3. Will the proposed action impair the character or quality of the existing community?		
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?		
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?		
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?		
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?		
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?		
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?		

VILLAGE OF FREEPORT  
Department of Buildings  
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.  
(See reasons below)

Project :

Building Permit App. 20222921

Location: 87-89 S. Main Street, Freeport, NY

Applicant: Meridian Lights Inc.

Description: Construct a new 4-story mixed use building, 1<sup>st</sup> story to be used as retail & 2<sup>nd</sup> story, 3<sup>rd</sup> story & 4<sup>th</sup> story used as residential apartments

Lead Agency: Department of Buildings  
for the Board of Trustees  
Village of Freeport  
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:  
Superintendent of Buildings  
(516) 377-2242

**REASON(S) FOR DETERMINATION**

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) \_\_\_\_\_  
\_\_\_\_\_

B) Possible environment effects identified:  
(only if positive determination)

\_\_\_\_\_  
\_\_\_\_\_

**Dated:** August 19, 2022

\_\_\_\_\_  
**Sergio A. Mauras**  
**Superintendent of Buildings**

**IMPORTANT:** This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?		
11. Will the proposed action create a hazard to environmental resources or human health?		

**Part 3 - Determination of significance.** The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

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Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.

Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

\_\_\_\_\_  
 Name of Lead Agency

\_\_\_\_\_  
 Date

\_\_\_\_\_  
 Print or Type Name of Responsible Officer in Lead Agency

\_\_\_\_\_  
 Title of Responsible Officer

\_\_\_\_\_  
 Signature of Responsible Officer in Lead Agency

\_\_\_\_\_  
 Signature of Preparer (if different from Responsible Officer)

# DEPARTMENT OF BUILDINGS

OF THE VILLAGE OF FREEPORT, N.Y.

APPLICATION NO. 2022 2921

Filing Date \_\_\_\_\_

## Application for Erection of Buildings or Alterations

**IMPORTANT - Applicant to complete all items in sections I, II, III, IV, V**

LOCATION OF BUILDING	AT LOCATION: <u>8789 S. MAIN ST</u> (No.) (Street)	EDINING DISTRICT: <u>Business B</u>
	BETWEEN <u>Newton Blvd.</u> (Cross Street) AND <u>East Merrick Rd.</u> (Cross Street)	
	SECTION: <u>55</u> BLOCK: <u>205</u> LOT: <u>127</u>	APPROX. LOT SIZE: <u>150</u> x <u>39.5</u> LOT AREA: <u>5760 SF</u>

<b>A. TYPE OF IMPROVEMENT</b> <input type="checkbox"/> 1 New building <input checked="" type="checkbox"/> 2 Addition/Alteration (if residential, enter number of add housing units added. If non-residential enter _____) <input type="checkbox"/> 3 Rebuilding Foot <input type="checkbox"/> 4 Repair (ceiling, paint, etc.) <input type="checkbox"/> 5 Relocated (New, Repair) <input type="checkbox"/> 6 Demolition <input type="checkbox"/> 7 Moving (relocation)		<b>B. PROPOSED OR EXISTING USE</b> <b>RESIDENTIAL</b> <input type="checkbox"/> 11 One Family <input type="checkbox"/> 12 Two Families <input checked="" type="checkbox"/> 13 Apartments - Enter No. of Units <u>8</u> <input type="checkbox"/> 14 Transient hotel, motel, or temporary - Enter No. of Units _____ <input type="checkbox"/> 15 Garage or Accessory Structure <input type="checkbox"/> 16 Other - Specify _____ <b>NON-RESIDENTIAL - Complete Part "E"</b> <input type="checkbox"/> 17 Industrial <input type="checkbox"/> 18 Office, bank, professional <input checked="" type="checkbox"/> 19 Store, mercantile <input type="checkbox"/> 20 Church, other religious <input type="checkbox"/> 21 Hospital, institution <input type="checkbox"/> 22 Other - Specify _____	
--	--	---	--

<b>C. COST</b> 1. TOTAL COST OF IMPROVEMENT: <u>\$180,000.00</u>	<b>D. DESCRIPTION OF PROJECT</b> <u>ADDITION OF 4TH FLOOR W/ (4) APARTMENTS TO PREVIOUSLY APPROVED PERMITTED MIXED USE BLDG W/ 1ST FLOOR RETAIL 2ND &amp; 3RD FLOOR APARTMENTS.</u>
---	--

III. IDENTIFICATION - To be completed by all applicants		
NAME	MAILING ADDRESS - Number, street, city and state, zip	TEL. NO.
1. Owner or Lessee <u>MERIDIAN LIGHTS INC</u>	<u>1488 DEER PARK AVE SUITE 364 NORTH BABYLON, NY 11703</u>	<u>347-837-3660</u>
2. Contractor		
3. Architect or Engineer <u>LAWKACOLTH, RAGO IMPART ARCHITECTURE PLLC</u>	<u>399 CONKUN ST. SUITE 208 FARMINGDALE, NY 11735</u>	<u>631-351-0590</u>

<b>IV. OWNER - CONTRACTOR STATEMENT</b> Building permit is issued subject to the provisions of Section 63 of the Workmen's Compensation Law. Workmen's Compensation Certificate No. _____ Company _____ Exp. Date _____ Contractor or Owner _____ Address _____ Phone _____ State of New York _____ County of Hempstead _____ I, <u>ALEXANDER ONASIS</u> , (Print) <u>HC</u> (Signature) is the contractor or owner of the above mentioned building. That the terms of the above application and the estimated cost of said building or alterations, is correct to the best of <u>HIS</u> (His or Her) knowledge and belief and agree to conform to all applicable laws of this jurisdiction. Signed on this <u>15th</u> day of <u>July</u> 20 <u>22</u> <u>Melody L. Catalano</u> (Signature) Notary Public, County, N.Y. _____	<b>V. FLOOD ZONE</b> IS PROJECT LOCATED WITHIN A DESIGNATED FLOOD HAZARD ZONE? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> IF YES, WHICH ZONE? _____ IS PROJECT TO REPAIR FLOOD DAMAGE? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> <b>PROJECT DESCRIPTION</b> Total/Floor Fire Square Feet <u>40363 SF</u> Upper Fire Square Feet <u>13,761 SF</u> # of Features <u>48</u> # of Floors <u>4</u> Occup. Type <u>MU</u>
---	---

<b>VI. VALUATION (Circle the Best)</b> Building _____ Building _____ Building _____ Building _____ Building _____	Approved by: _____ Superintendent of Buildings
--	---

FREEPORT VILLAGE DEPT. OF BUILDINGS  
 11/15/2022

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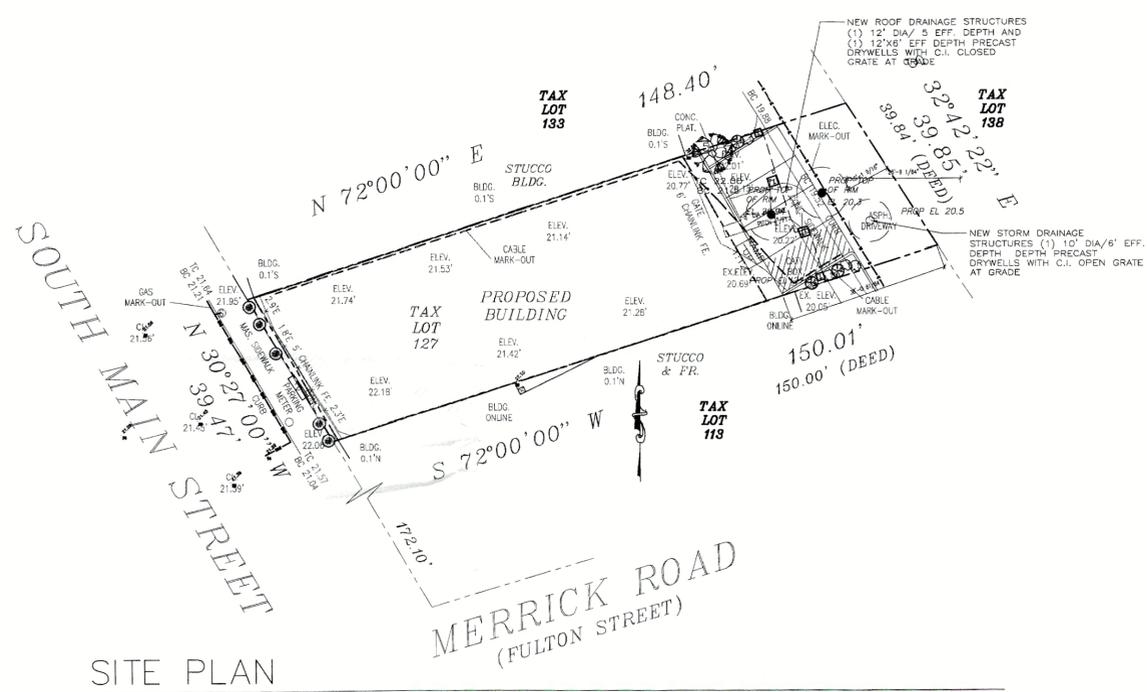
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 VILLAGE OF FREEPORT

MELODY L. CATALANO  
 Notary Public, State of New York  
 No. 01CA6145786  
 Qualified in Suffolk County  
 Commission Expires MAY 15, 2026

# NEW CONSTRUCTION OF RETAIL/HOUSING

## 4th FLOOR ADDITION

### 87-89 SOUTH MAIN STREET FREEPORT NY, 11520 VILLAGE OF FREEPORT



SCALE 1:20

### SITE CONSTRUCTION NOTES

- THE CONTRACTOR SHALL VERIFY ALL LOCATIONS, DIMENSIONS, SIZES AND QUANTITIES OF ALL MATERIALS PRIOR TO THE START OF ANY WORK, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR A DECISION. ALL PROPOSED WORK SHALL BE LOCATED AND MARKED OUT FOR APPROVAL BY THE ARCHITECT PRIOR TO THE START OF ANY CONSTRUCTION.
- THE CONTRACTOR SHALL EXECUTE THE WORK IN SUCH MANNER THAT NO DAMAGE OR INJURY SHALL OCCUR TO PERSONS, EXISTING BUILDINGS AND STRUCTURES, CURBS, ROADS, ATHLETIC FIELDS, WALKS, PIPES, CONDUITS, POLES AND ANY AND ALL OTHER PROPERTY ABOVE AND BELOW GRADE. ANY DAMAGE OR INJURY RESULTING FROM THIS WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, WHO SHALL MAKE GOOD SUCH DAMAGE AND ASSUME ALL RESPONSIBILITY FOR EACH INJURY WITHOUT ADDITIONAL COST TO THE OWNER.
- THE CONTRACTORS SHALL BE HELD DIRECTLY RESPONSIBLE FOR ANY DAMAGE WHICH MAY BE CAUSED THEREBY TO ANY PART OF THE EXISTING SITE TO REMAIN. ALL SURFACES DAMAGED DURING THESE DEMOLITION AND CONSTRUCTION PROCESS SHALL BE PATCHED OR REPAIRED TO ARCHITECTS SATISFACTION TO MATCH EXISTING CONDITIONS IN COLOR, SIZE, SHAPE, MATERIAL AND TEXTURE.
- THE LOCATION OF ALL EXISTING UNDERGROUND STRUCTURES, WELLS, POOLS, LINES, CONDUIT, ETC. ARE APPROXIMATE AND MUST BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF ANY WORK OR EXCAVATION. ANY DISCREPANCIES IN THE INFORMATION SHOWN, OR IF ANY OTHER STRUCTURES ARE ENCOUNTERED, NOTIFY THE ARCHITECT AND THE DISTRICT IMMEDIATELY.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES ABOVE AND BELOW GRADE THAT MAY INTERFERE WITH THE NEW WORK AND FOR NOTIFYING THE PROPER UTILITY COMPANIES THAT NEW WORK IS PROPOSED FOR THIS AREA.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADES, GUARDS, WARNING LIGHTS, SIGNS, ETC., TO INSURE THE SAFETY OF THE WORK AREA. THE ENTIRE AREA OF NEW WORK SHALL BE ENCLOSED AND SECURED WITH A TEMPORARY 6" HIGH CHAIN-LINK CONSTRUCTION FENCE AS DETAILED IN THE SITE WORK SPECIFICATION SECTION 02B33. THE CONSTRUCTION FENCE REPRESENTS THE CONTRACT LIMITATION LINE.
- ALL REMOVED MATERIAL (EARTH, CONCRETE, ASPHALT PAVEMENT FILL, ETC.) SHALL BE LEGALLY DISPOSED OF OFF SITE AT THE CONTRACTOR'S EXPENSE.
- SUB GRADE FILL TO BE COMPACTED AS PER NOTES ON DWG. S-1.
- ALL EDGES OF EXISTING ASPHALT PAVEMENT TO BE REMOVED SHALL BE SAW-CUT WITH A MASONRY SAW FOR A STRAIGHT EDGE.
- ALL DISTURBED GRASS AREAS SHALL BE TOP SOILED (MINIMUM 6" DEPTH; FURNISHED FROM OFFSITE AS REQUIRED), FINE GRADED, SOIL CONDITIONERS ADDED AND SEEDED. THE CONTRACTOR SHALL SUBMIT SAMPLE SEED MIXTURE FORMULA TO ARCHITECT FOR APPROVAL. THE CONTRACTOR SHALL WATER / CARE NEW GRASS AREAS TO MATURITY AND PROVIDE A MINIMUM OF TWO (2) MOWINGS OF AN ACCEPTABLE STAND OF GRASS.

### SITE DATA

SITE PLAN BASED ON SURVEY BY MICHAEL J SCALISE, SCALISE LAND SURVEYORS, LICENSED LAND SURVEYOR, DATED 3-27-17

SECTION 55 ; BLOCK 205 ; LOT 127

ZONING "B"

REQ LOT AREAS----- 5,000 SQ.FT.  
EX. LOT AREAS----- 5,751 SQ.FT.  
EX. LOT COVERAGE----- 0 %  
PROP LOT COVERAGE----- 70.02 %  
EXISTING BLDG. FOOT PRINT----- 0 SQ.FT.  
PROPOSED BLDG. FOOT PRINT----- 4,038 SQ.FT.  
PAVED AREA----- 1511.5 SQ.FT.  
PROPOSED LANDSCAPED/LAWN AREA----- 201.5 SQ.FT.  
REQUIRED OPEN AREA----- 4,980 SQ.FT.  
REQUIRED RECREATIONAL AREA----- 630 SQ.FT.  
PROPOSED THREE STORY MASONRY BUILDING 17,797 TOTAL S.F.  
PROPOSED USE----- MERCANTILE/RESIDENTIAL  
PROPOSED 12 APARTMENTS AT MIN 800 SF EACH, TOTAL SF = 9960  
PROPOSED 2 RETAIL SPACES (1) @ 1200 SF; (1) @ 1800 SF

### PARKING DATA

PARKING CALCULATIONS:	PARKING REQUIRED	PARKING PROVIDED
PROPOSED 4 STORY BUILDING:		
APARTMENT (9) 1 BED,(3) 2 BED	19.5 SPACES	3 SPACES
NONRESIDENTIAL	11.5 SPACES	0 SPACES
TOTAL SPACES:	31 SPACES	3 SPACES

### BUILDING CODE ANALYSIS

PROJECT NAME & ADDRESS  
87-89 SOUTH MAIN ST  
FREEPORT, NY 11520  
ZONE: BUSINESS B

DESCRIPTION  
EXISTING 3 STORY RETAIL/HOUSING  
PROPOSED USE: RETAIL/HOUSING  
FOUR STORY MASONRY/STEEL  
PARKING: SEE PARKING CALCULATIONS

APPLICABLE CODES  
ICC A117.1-2009 ACCESSIBLE AND USEABLE BUILDINGS AND FACILITIES WITH THE NYS NEWLY ADOPTED ACCESSIBILITY SIGN  
2020 NYSBC  
2020 NYSRC  
2020 NYSPC  
2020 NYSEBC  
2020 NYSEC  
2020 NYSFGC  
2020 NYSMC  
2020 NYSFC  
2020 NYSPMC  
2020 NYSECCC

USE & OCCUPANCY CLASSIFICATION (CHAPTER 3)  
BUSINESS GROUP M AND RESIDENTIAL GROUP R-2 (SEC 309 AND 310)

HEIGHT & AREA (CHAPTER 5)  
TABLE 504.3, 504.4 AND 506.2: WITH SPRINKLERS  
MAX ALLOWABLE: HEIGHT 75 FT; 5 STORIES; AREA: 52,500SF  
PROVIDED: 4 STORY ; 50'; TO PENTHOUSE; AREA: 17,797 SF

TYPE OF CONSTRUCTION (CHAPTER 6)  
TYPE IIB- (602.2)  
TABLE 601

BUILDING ELEMENT	REQ	PROVIDED
STRUCTURAL FRAME	0	0
EXT BEARING WALLS	0	0
INT BEARING WALLS	0	0
FLOOR CONSTRUCTION	0	0
ROOF CONSTRUCTION	0	0

TABLE 602 (M/IBB)

	REQ	PROVIDED
< 5'	1	1
>=5'; <10'	1	1
>=10'; <30'	0	0
>=30'	0	0

FIRE RATE CONSTRUCTION (CHAPTER 7)

INTERIOR FINISHES (CHAPTER 8)  
TABLE 803.4 CLASS C OR GREATER REQUIRED  
CLASS C OR GREATER PROVIDED

FIRE PROTECTION (CHAPTER 9)  
SPRINKLERS REQUIRED (903.2.8)  
GROUP M OCCUPANCY  
GROUP R-2 OCCUPANCY

FIRE ALARMS (907.2.9)  
FIRE ALARM SYSTEMS AND SMOKE ALARMS ARE REQUIRED

### BUILDING PLAN REVIEW NOTE:

TOWN PLANS EXAMINER SHALL REVIEW THE ENCLOSED DOCUMENT FOR MINIMUM ACCEPTABLE PLAN SUBMITTAL REQUIREMENTS OF THE TOWN AS SPECIFIED IN THE 2016 SUPPLEMENTAL BUILDING CODE OF THE STATE OF NEW YORK AND 2015 ICC. THIS REVIEW DOES NOT GUARANTEE COMPLIANCE WITH THAT CODE. THE SEAL AND SIGNATURE OF THE DESIGN PROFESSIONAL HAS BEEN INTERPRETED AS AN ATTESTATION THAT, TO THE BEST OF THE LICENSEE'S BELIEF AND INFORMATION, THE WORK IN THE DOCUMENT IS: ACCURATE, CONFORMS WITH GOVERNING CODES APPLICABLE AT THE TIME OF SUBMISSION, CONFORMS WITH REASONABLE STANDARDS OF PRACTICE AND WITH VIEW TO THE SAFEGUARDING OF LIFE, HEALTH PROPERTY AND PUBLIC WELFARE IS THE RESPONSIBILITY OF THE LICENSEE

### KEY MAP



### IMPACT Architecture

399 MAIN ST SUITE 208, FARMINGDALE NY 11735  
631-589-0565  
WWW.IMPACTARCHITECTURE.COM

NO.	REASON FOR ISSUE	DATE
	SUBMIT FOR DENIAL	7-7-22
	RESUBMIT FOR DENIAL	8-10-22

### NEW CONSTRUCTION OF: RETAIL/HOUSING 87-89 SOUTH MAIN STREET FREEPORT NY 11520

- COVER SHEET
- BUILDING PLAN REVIEW & CERTIF.
- SCHEDULE OF DRAWINGS
- SITE PLAN

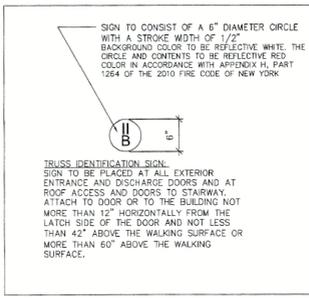
DRAWN BY: LMC	DATE: PROJECT No. 2236	PRELIMINARY CON DOCS FINAL
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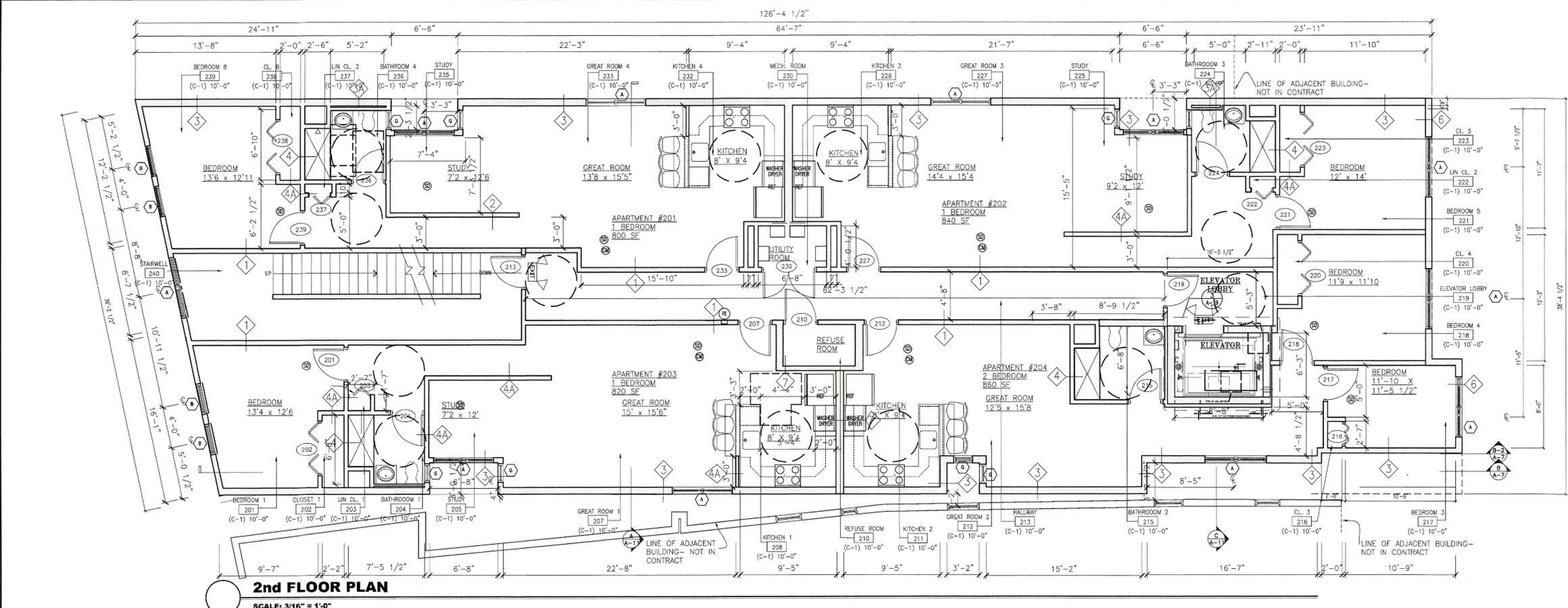
A-0

### SCHEDULE OF DRAWINGS

- A-0 COVER SHEET, CERTIFICATIONS, SITE PLAN, SCHEDULE OF DRAWINGS,
- ARCHITECTURAL**
- A-1 BASEMENT & 1st FLOOR PLAN
  - A-2 2nd & 3rd FLOOR PLAN
  - A-3 PROPOSED 4TH FLOOR PLAN AND ROOF PLAN
  - A-4 EXTERIOR ELEVATION
  - A-5 EXTERIOR ELEVATION
  - A-6 EXTERIOR ELEVATIONS





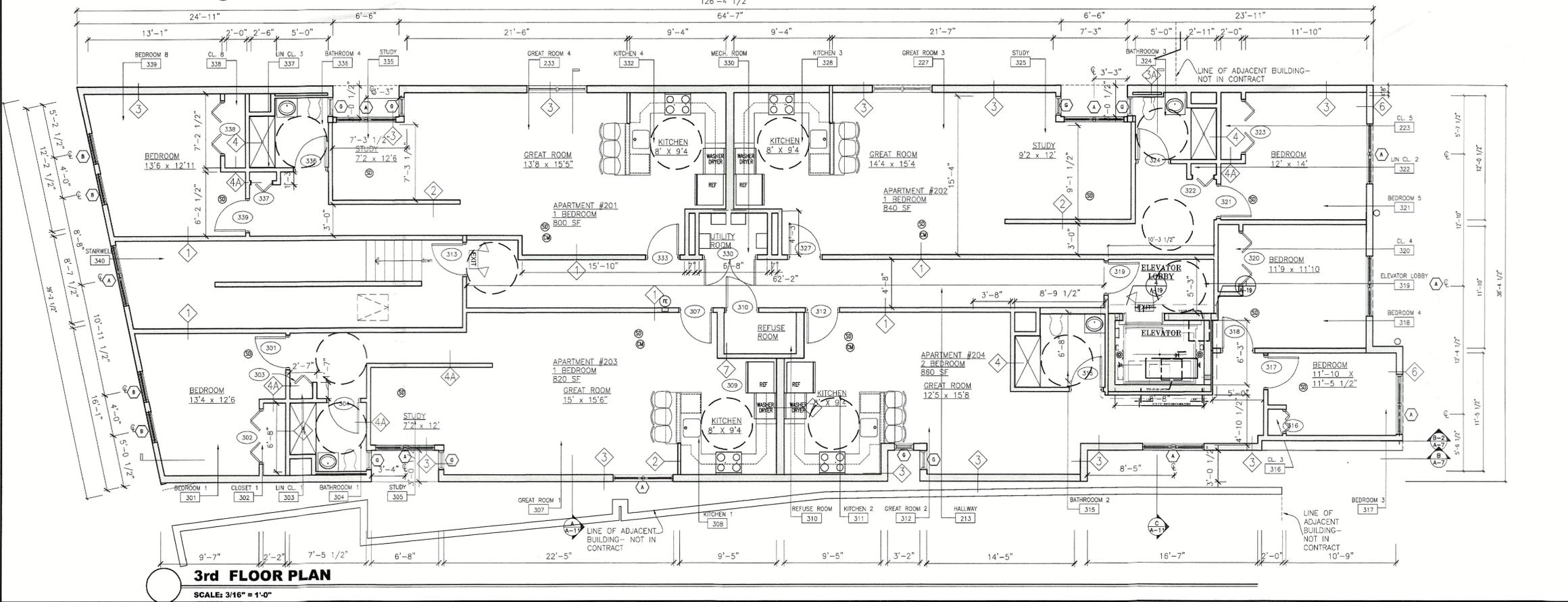


**SYMBOLS LEGEND**

	EXISTING TO REMAIN
	EXISTING TO BE REMOVED
	NEW WALL TAPE, SPACKLE, & PAINT 3 COATS
	WINDOW TAG
	ROOM NAME
	ROOM TAG
	SURFACE MOUNTED FIRE EXTINGUISHER
	WALL TAG
	ELEVATION SYMBOL
	EXHAUST FAN WITH LIGHT
	DOOR TAG
	NEW DOOR
	EXIST. DOOR TO REMAIN

ALL NEW BATHROOMS SHALL RECEIVE TILE. TILE PATTERNS, SIZE, COLOR, SHAPE SELECTED BY OWNER. FIXTURES/APPLIANCES SELECTED BY OWNER PROVIDE LATICRETE WATERPROOF MEMBRANE (OR EQUAL) SEE DETAIL.

ALL NEW KITCHEN FIXTURES/APPLIANCES AND CABINETS AS SELECTED BY OWNER. ALL FINISHES SELECTED BY OWNER.



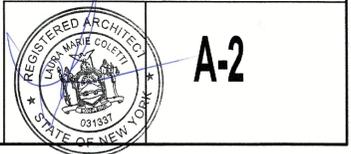
**IMPACT Architecture**  
399 MAIN ST SUITE 208, FARMINGDALE NY 11735  
631-339-9539

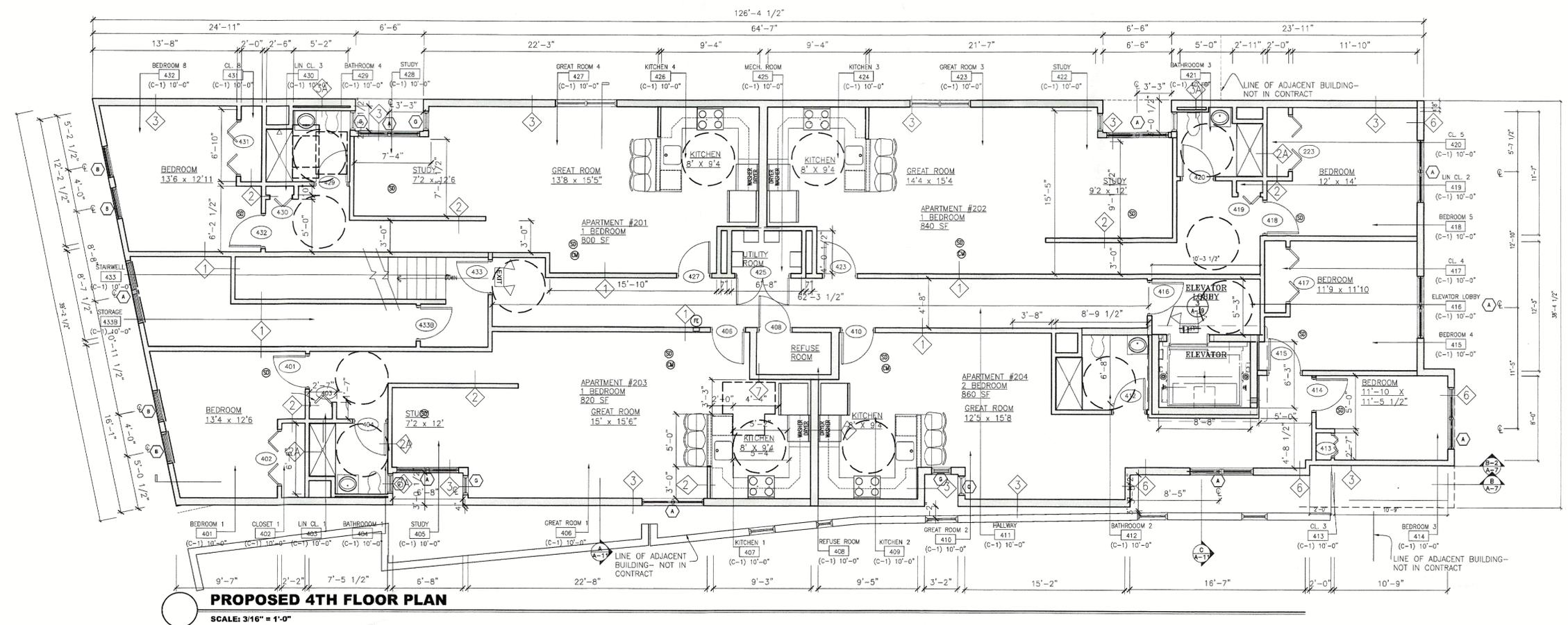
NO.	REASON FOR ISSUE	DATE
	SUBMIT FOR DENIAL	7-7-22
	RESUBMIT FOR DENIAL	8-10-22

**NEW CONSTRUCTION OF:  
RETAIL/HOUSING**  
87-89 SOUTH MAIN STREET  
FREEPORT NY 11520

- 2nd FLOOR PLAN
- 3rd FLOOR PLAN

<b>DRAWN BY:</b> LMC	<b>DATE:</b>	<b>PRELIMINARY CON DOCS</b>
<b>CHECKED:</b> LMC	<b>PROJECT No.</b> 2236	<b>FINAL</b>



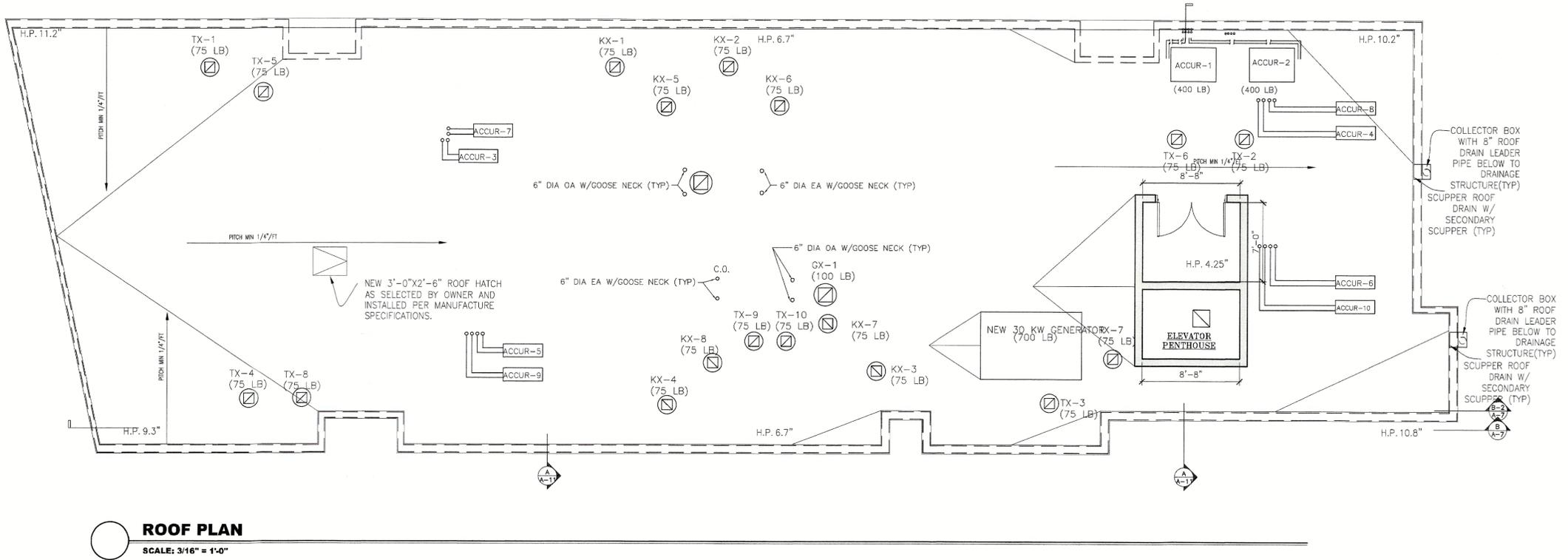


**SYMBOLS LEGEND**

- EXISTING TO REMAIN
- EXISTING TO BE REMOVED
- NEW WALL TAPE, SPACKLE, & PAINT 3 COATS
- WINDOW TAG
- ROOM NAME
- ROOM TAG
- SURFACE MOUNTED FIRE EXTINGUISHER
- WALL TAG
- ELEVATION SYMBOL
- EXHAUST FAN WITH LIGHT
- DOOR TAG
- NEW DOOR
- EXIST. DOOR TO REMAIN

ALL NEW BATHROOMS SHALL RECEIVE TILE, TILE PATTERNS, SIZE, COLOR, SHAPE SELECTED BY OWNER. FIXTURES/APPLIANCES SELECTED BY OWNER PROVIDE LATICRETE WATERPROOF MEMBRANE (OR EQUAL) SEE DETAIL.

ALL NEW KITCHEN FIXTURES/APPLIANCES AND CABINETS AS SELECTED BY OWNER. ALL FINISHES SELECTED BY OWNER.



**IMPACT Architecture**  
309 MAIN ST SUITE 208, FARMINGDALE NY 11735  
631-339-0900 WWW.IMPACTARCHITECTURE.COM

NO.	REASON FOR ISSUE	DATE
	SUBMIT FOR DENIAL	7-7-22
	RESUBMIT FOR DENIAL	8-10-22

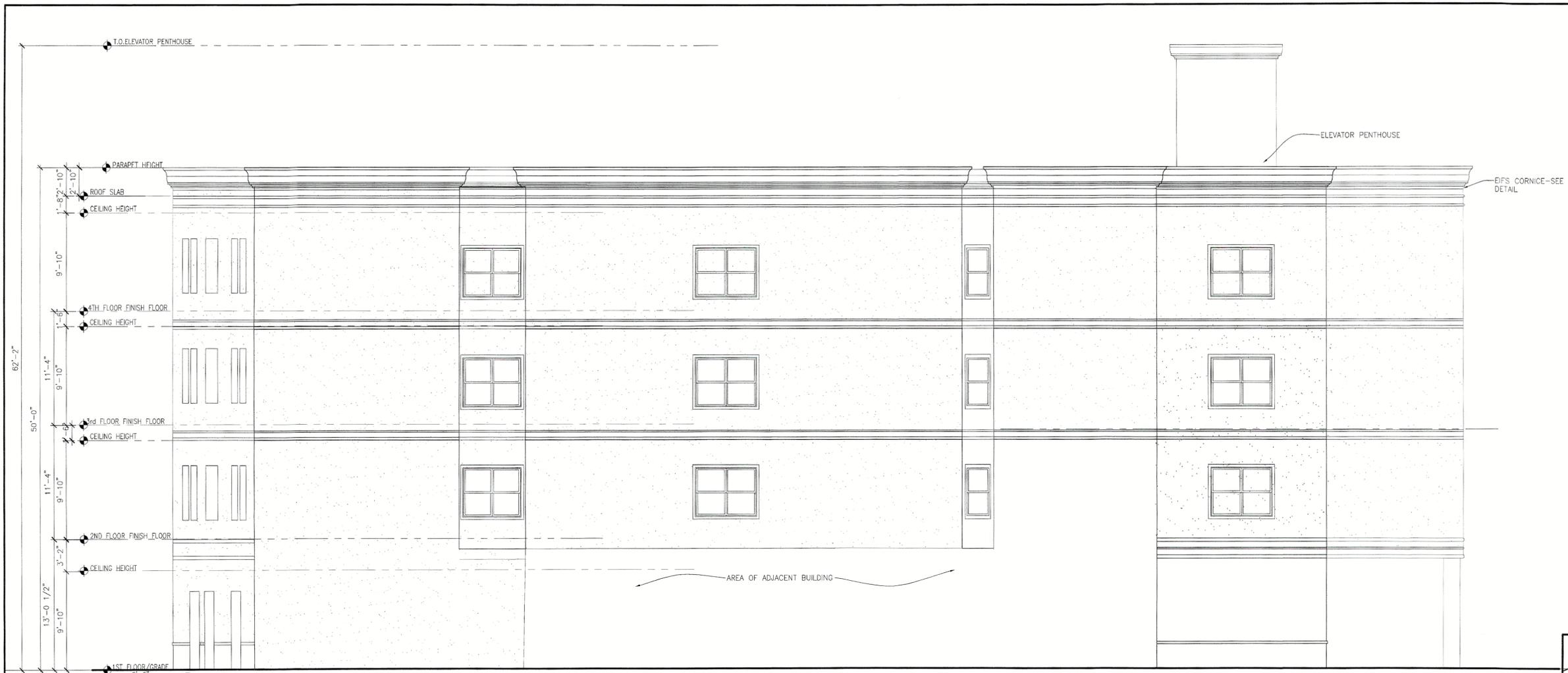
**NEW CONSTRUCTION OF:  
RETAIL/HOUSING  
87-89 SOUTH MAIN STREET  
FREEPORT NY 11520**

- 4TH FLOOR PLAN
- ROOF PLAN

<b>DRAWN BY:</b> LMC	<b>DATE:</b>	<b>PRELIMINARY CON DOCS FINAL</b>
<b>CHECKED:</b> LMC	<b>PROJECT No.</b> 2236	

REGISTERED ARCHITECT  
ANNAMARIE COLETTI  
STATE OF NEW YORK  
031937

**A-3**



**SOUTH SIDE ELEVATION**  
 SCALE: 3/16" = 1'-0"

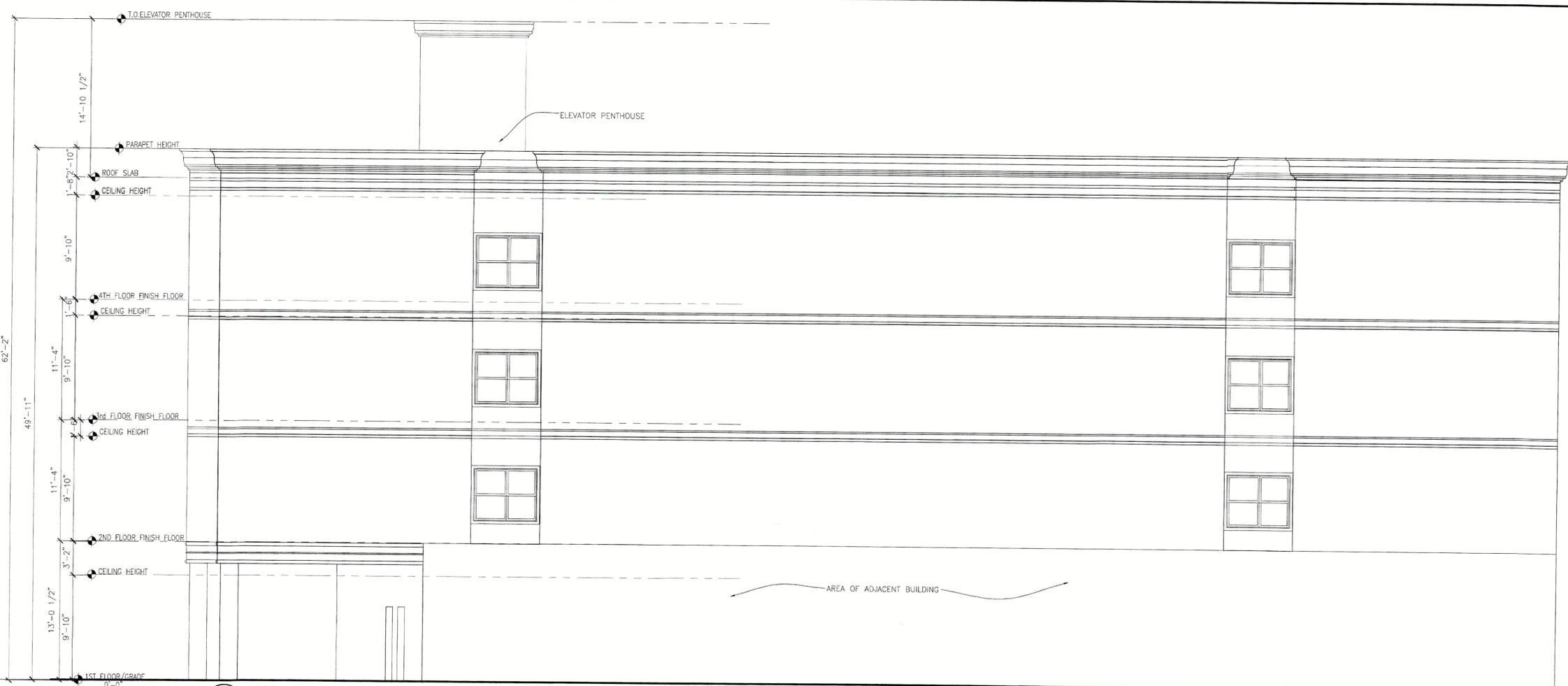
<b>IMPACT Architecture</b>		
399 MAIN ST SUITE 208, FARMINGDALE NY 11735 631-379-2666 www.impactarchitect.com		
NO.	REASON FOR ISSUE	DATE
	SUBMIT FOR DENIAL	7-7-22
	RESUBMIT FOR DENIAL	8-10-22

**NEW CONSTRUCTION OF:  
 RETAIL/HOUSING**  
 87-89 SOUTH MAIN STREET  
 FREEPORT NY 11520

- EXTERIOR ELEVATIONS
- FRONT ELEVATION
- 
- 

<b>DRAWN BY:</b> LMC	<b>DATE:</b>	<b>PRELIMINARY CON DOCS</b> <input type="checkbox"/>
<b>CHECKED:</b> LMC	<b>PROJECT No.</b> 2236	<b>FINAL</b> <input type="checkbox"/>

A-4



**NORTH SIDE ELEVATION**  
 SCALE: 3/16" = 1'-0"

**IMPACT Architecture**  
 399 MAIN ST SUITE 208, FARMINGDALE NY 11735  
 631-339-8999 www.impactarchitecture.com

NO.	REASON FOR ISSUE	DATE
	SUBMIT FOR DENIAL	7-7-22
	RESUBMIT FOR DENIAL	8-10-22

**NEW CONSTRUCTION OF:  
 RETAIL/HOUSING**  
 87-89 SOUTH MAIN STREET  
 FREEPORT NY 11520

- NORTH ELEVATION
- 
- 
- 
- 

<b>DRAWN BY:</b> LMC	<b>DATE:</b>	<b>PRELIMINARY CON DOCS</b> <input type="checkbox"/>
<b>CHECKED:</b> LMC	<b>PROJECT No.</b> 2236	<b>FINAL</b> <input type="checkbox"/>

REGISTERED ARCHITECT  
 LARRY MARIE BOLETTI  
 081337  
 STATE OF NEW YORK

**A-5**



**VILLAGE OF FREEPORT**  
**Department of Buildings**  
**Recommendation**

Notice

X      Negative Declaration

\_\_\_\_\_ Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X      The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

\_\_\_\_\_ The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.  
(See reasons below)

Project :

Building Permit App. 20222921

Location: 87-89 S. Main Street, Freeport, NY

Applicant: Meridian Lights Inc.

Description: Construct a new 4-story mixed use building, 1<sup>st</sup> story to be used as retail & 2<sup>nd</sup> story, 3<sup>rd</sup> story & 4<sup>th</sup> story used as residential apartments

Lead Agency: Department of Buildings  
for the Board of Trustees  
Village of Freeport  
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:  
Superintendent of Buildings  
(516) 377-2242

**REASON(S) FOR DETERMINATION**

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) \_\_\_\_\_  
\_\_\_\_\_

B) Possible environment effects identified:  
(only if positive determination)

\_\_\_\_\_  
\_\_\_\_\_

**Dated:** August 19, 2022

\_\_\_\_\_  
**Sergio A. Mauras**  
**Superintendent of Buildings**

**IMPORTANT:** This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

2022-39

3



**INC. VILLAGE OF FREEPORT**

**Department of Buildings**

46 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK 11520

(516) 377-2242

FAX (516) 377-2493

E-MAIL [BUILDINGDEPT@FREEPORTNY.GOV](mailto:BUILDINGDEPT@FREEPORTNY.GOV)

ROBERT T. KENNEDY  
MAYOR

SERGIO A. MAURAS  
SUPERINTENDENT OF BUILDINGS

SEPTEMBER 21, 2022  
AMENDED LETTER OF DENIAL

**Vishon Ganesh**  
**68 Hampton Place**  
**Freeport, NY 11520**

RE: **68 Hampton Place**  
**Freeport, NY 11520**  
**Zoning District – Marine Industrial**  
**Sec: 54 Blk: 319 Lot: 234**  
**Building Permit Application #20212424**  
**Description: Maintain Pergola in Rear Yard**

Dear Sir/Madam:

Please be advised that the above captioned Building Permit Application must be denied for the following reason(s):

**Village Ordinance §210-6A:** Non Conforming. No building or land shall hereafter be used or occupied and no building or part thereof shall be erected, moved or altered unless in conformity with the regulations herein specified for the district in which it is located.

**Village Ordinance §210-43A(2):** Required Yards. Yards of the following depths or widths shall be provided for the principal building on the lot: Rear Yard Depth: Minimum 20 feet or 20% of the lot depth whichever is greater, with the exception that for lots abutting canals and other navigable bodies of water, the rear yard depth shall equal the average depths of all residential rear yards abutting the water on the same side of canal or navigable body of water on the same side of the canal or navigable body of water within 200 feet in either direction or 20 feet measured landwards of the average line of the bulkhead whichever is greater, or, if no bulkhead exists, measured 20 feet landwards of the rear property line, whichever is greater. For the purposes of setback, this office will use the 20' measurement. The plans submitted with this application indicates a setback of only 3.5 feet. Accordingly, you will be seeking a variance for rear yard setback.

Please be further advised that if you intend to appeal this decision, you must make application to the Zoning Board of Appeals within sixty (60) days of the date of this letter. For your convenience, enclosed please find an application, together with an instruction sheet for filing, which includes the

current fee schedule. The completed applications, together with the required documentation and fee, are to be submitted to the Village Clerk's Office.

If you should have any questions or require additional information with reference to the Zoning Board Application, please contact the Village Clerk's Office at 377-2300. In the event that you do not make application within the allotted sixty (60) days, this Letter of Denial will expire and the Building Permit Application in conjunction with same will be cancelled.

Very truly yours,



Sergio A. Mauras  
Superintendent of Buildings  
Joseph Madigan, Plans Examiner

/mw

encl.

c: Village Clerk

SITE PLAN APPROVAL NEEDED

Yes: \_\_\_\_\_ No X



SEC. \_\_\_\_\_ BLK. \_\_\_\_\_ LOT. \_\_\_\_\_

BOARD OF APPEALS OF THE VILLAGE OF FREEPORT

In the Matter  
Of  
the Application of

To The Board of Appeals of the Village of Freeport, New York

Index No. \_\_\_\_\_

COMPLY WITH  
ORIGINAL NOTES

The application of VISHWAN GANESH

respectfully states and alleges:

Strike out  
inapplicable  
phrase

1 That the applicant (resides at) (has its principal office for the conducting of its business at)  
68 Hampton Place, Freeport, NY 11520

State whether  
applicant is owner,  
lessee, or has option  
or contract. If other  
than owner, state  
briefly terms of  
agreement.

2 That the premises affected by this application is located at Land Map of Nassau County  
Sec. 54 Blk. 319 Lot(s) 234  
and that the interest which the applicant has in the property concerned is that of Owner

Obtain reason for  
denial from  
Department of  
Buildings.

3 That (the applicant) (the applicant's duly authorized Kevin Escourse) on or about the  
07 day of 09 2021, filed in the office of the Department of Buildings of the Village of  
Freeport, New York, an application for a Building Permit. Documents filed with said application were  
as follows: Plans and Application

Describe by  
construction and  
number of stories. If  
none, so state.

4 That on or about the 12 day of August, 2022, the Department of Buildings denied said  
application; upon information and belief that the reason for said denial was as follows:  
No building or land shall hereafter be used or occupied  
and no building or part thereof shall be erected

State nature of use of  
property. If a  
business, give brief  
description.

5 That the nature of the improvements now upon said premises is as follows:  
Pergola/Gazebo for Sun Shade  
over the Summer

Describe fully and  
clearly the use  
desired.

6 That said premises are now being used as follows: Residential  
Accessory use of Pergola in rear yard.

Strike out whichever  
word is not  
applicable. Follow  
language in  
ordinance.

7 That the applicant seeks authority to make use of said premises as follows:  
Seek Authority to maintain Accessory Structure  
uses

Refer where possible  
to paragraphs and  
section by numbers.

8 Upon information and belief that a (~~permit~~) (variance) for such use may be granted by this Board by  
virtue of the following sections of the said Zoning Code of The Village of Freeport or statutes of the  
State of New York \_\_\_\_\_

9 That the following is a statement of other factual information deemed pertinent by the applicant. If the  
application involves a subdivision of property, describe the existing property: N/A.

If more space is needed annex statement on separate sheet and refer to it here with following words: "See annexed statement which is made a part hereof." Save opinions for the hearing.

If non-conforming use is claimed, set forth uses made of premises and dates thereof in chronological order.

10. That the grounds for this application are as follows: To Maintain Accessory use of Pergola in Rearyard. No change to use bulk or egress.

11. That any deed restrictions running with the land prohibiting the desired use are as follows: N/A

12. That (the applicant has made no previous application to this Board for the authority sought herein) (upon information and belief a previous application was made for the same or similar authority sought herein and denied by this Board, but that this application contains facts not alleged or shown in any previous proceeding before this Board).

WHEREFORE, the applicant respectfully prays that the authority sought herein be granted.

Dated: 09/21, 20 22.

[Signature]

BY: Vishon Ganes H  
ITS: Vishon Ganes H

If this verification is made by an officer of a corporation or an Association or by a legal representative of an estate, his name and office should be designated on the first line.

State of New York )  
County of Nassau ) ss:

The applicant Vishon Ganes H named in the foregoing application, being duly sworn, depose and say that V. Ganes H read the foregoing application subscribed by V. Ganes H and know the contents thereof; and that the same is true to V. Ganes H own knowledge except as to the matters therein stated to be alleged on information and belief, and that as to those matters believe to be true.

Sworn to before me this 21<sup>st</sup> day  
of September, 20 22.

Notary Public Anastasia von Walkenberg

[Signature]  
ANASTASIA VON WALKENBERG  
NOTARY PUBLIC-STATE OF NEW YORK  
No. 01V06348313  
Qualified in New York County  
My Commission Expires 09-06-2024

Notice  
Conflict of Interest

I have read Section 809 of the General Municipal Law concerning disclosure of and conflict of interest and hereby certify that there are no conflicts in respect to this application requiring disclosure.

09/21, 20 22  
Date Year

X  
Signature

Affidavit of Owner

To be completed only if the owner is not the applicant.

State of New York )  
County of Nassau ) ss:

I \_\_\_\_\_ being duly sworn, depose and say:

That he/she (the owner of \_\_\_\_\_) (is the \_\_\_\_\_ of \_\_\_\_\_ the property concerned is correct to the best of the knowledge of deponent \_\_\_\_\_.)

That the owner \_\_\_\_\_ consents to the granting of the authority sought in the above application.

Sworn to before me this \_\_\_\_\_ day  
of \_\_\_\_\_, 20 \_\_\_\_\_.

\_\_\_\_\_  
Signature

Notary Public \_\_\_\_\_

VILLAGE OF FREEPORT  
Department of Buildings  
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

     The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.  
(See reasons below)

**Project:**

Building Application # 20212424

**Location:** 68 Hanpton Place, Freeport, NY 11520

**Applicant:** Vishon Ganesh

**Description:** Maintain Pergola in Rear Yard

**Lead Agency:** Department of Buildings  
for the Board of Trustees  
Village of Freeport  
46 North Ocean Avenue

**Agency Contact Person:**  
Superintendent of Buildings  
(516) 377-2242

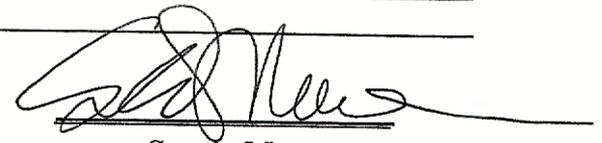
**REASON(S) FOR DETERMINATION**

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A)

B) Possible environment effects identified:  
(only if positive determination)

**DATED:** Freeport, New York  
September 21, 2022



**Sergio Mauras**  
Superintendent of Buildings

**IMPORTANT:** This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

# DEPARTMENT OF BUILDINGS

OF THE VILLAGE OF FREEPORT, N.Y.

APPLICATION NO. 2021246

Filing Date 0907-21

## Application for Erection of Buildings or Alterations

**IMPORTANT** - Applicant to complete all items in sections: I, II, III, IV, V

I. LOCATION OF BUILDING	AT (LOCATION) <u>68 HAMPTON PLACE</u> (No.) (Street)	ZONING DISTRICT <u>Marine Industrial</u>
	BETWEEN <u>WESTEND AVENUE</u> (Cross Street) AND <u>WESTEND AVENUE</u> (Cross Street)	
	SECTION <u>54</u> BLOCK <u>319</u> LOT <u>234</u>	APPROX. LOT SIZE <u>92.4</u> x <u>92.4</u> LOT AREA <u>5088</u>

**II. TYPE AND COST OF BUILDING** - All applicants complete Parts A - D.

<b>A. TYPE OF IMPROVEMENT</b> 1 <input type="checkbox"/> New building 2 <input type="checkbox"/> Addition-Alteration (If residential, enter number of new housing units added. If none-state none) 3 <input type="checkbox"/> Swimming Pool 4 <input type="checkbox"/> Repair (replacement) 5 <input type="checkbox"/> Bulkhead (New, Repair) 6 <input type="checkbox"/> Fence 7 <input type="checkbox"/> Moving (relocation)		<b>B. PROPOSED OR EXISTING USE</b> <b>RESIDENTIAL</b> 11 <input type="checkbox"/> One Family 12 <input type="checkbox"/> Two families 13 <input type="checkbox"/> Apartment - Enter No. of Units _____ 14 <input type="checkbox"/> Transient hotel, motel, or dormitory - Enter No. of Units _____ 15 <input checked="" type="checkbox"/> Garage or Accessory Structure 16 <input type="checkbox"/> Other - Specify _____ <b>NON RESIDENTIAL - Complete Part "E"</b> 17 <input type="checkbox"/> Industrial 18 <input type="checkbox"/> Office, bank, professional 19 <input type="checkbox"/> Stores, mercantile 20 <input type="checkbox"/> Church, other religious 21 <input type="checkbox"/> Hospital, Institutional 22 <input type="checkbox"/> Other - Specify _____	
<b>C. COST</b> 10 TOTAL COST OF IMPROVEMENT \$ <u>3000.00</u>		<b>D. DESCRIPTION OF PROJECT</b> <u>FILING TO MAINTAIN ACCESSORY USE PERGOLA IN REAR YARD. NO CHANGE TO USE BULK OR EGRESS.</u>	

**III. IDENTIFICATION** - To be completed by all applicants

	NAME	MAILING ADDRESS - Number, street, city and state, Zip	TEL. NO.
1. Owner or Lessee	VISHON GANESH	68 HAMPTON PL. FREEPORT NY 11520	
2. Contractor	<i>Owner</i>		
3. Architect or Engineer	JAHMAL SABAHA	52 SAINT MARKS AVENUE BROOKLYN NY 11217	

<p><b>IV. OWNER - CONTRACTOR STATEMENT</b></p> <p>Building permit is issued subject to the provisions of Section 57 of the Workmen's Compensation Law.</p> <p>Workmen's Compensation Certificate No. _____ Company _____ Exp. Date _____</p> <p>Representative of Professional Engineer <u>Kevin Escourse</u> Contractor or Owner <u>Kevin Escourse</u></p> <p>Address <u>108-20 Liberty Avenue Queens NY</u> Phone <u>718-848-080</u></p> <p>State of New York                  County of Nassau <u>Kevin Escourse</u> being duly sworn, says that <u>he</u> is the contractor or owner of the above mentioned building. That the items of the above application also the estimated cost of said building or alteration, is correct to the best of <u>his</u> knowledge and belief and agrees to conform to all applicable laws of this jurisdiction.</p> <p>Sworn to before me this <u>7th</u> day of <u>September</u>, 20<u>21</u></p> <p><u>Carolyn Dean</u> Notary Public, State of New York                  Reg. No. 0TDE5036122                  Qualified in Nassau County                  Commission Expires November 21, 20<u>22</u></p> <p><u>[Signature]</u> (Applicant Signature)</p>	<p><b>V. FLOOD ZONE</b></p> <p>IS PROJECT LOCATED WITHIN A DESIGNATED FLOOD HAZARD ZONE?                  YES <u>YES</u> NO _____                  IF YES, WHICH ZONE? <u>AE</u></p> <p>IS PROJECT TO REPAIR FLOOD DAMAGE?                  YES _____ NO <u>NO</u></p> <p><b>PROJECT DESCRIPTION</b></p> <p>Total/First Flr Square Feet <input type="text"/></p> <p>Upper Flrs Square Feet <input type="text"/></p> <p># of Fixtures <input type="text"/></p> <p># of Floors <input type="text"/></p> <p>Occup. Type <input type="text"/></p>
--	---

**VI. VALIDATION (Official Use Only)**

Building Permit Number _____ Building Permit Issued _____ Building Permit Fee \$ _____	Approved by: _____ Superintendent of Buildings
--	---

617.20  
Appendix B  
Short Environmental Assessment Form

**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>							
Name of Action or Project: <p style="text-align: center; font-size: 1.2em;">PERGOLA .</p>							
Project Location (describe, and attach a location map): <p style="text-align: center; font-size: 1.2em;">68 HAMPTON PLACE .</p>							
Brief Description of Proposed Action: <p style="font-size: 1.1em;">Filing to maintain accessory use pergola in rear yard . NO change to use, bulk or egress .</p>							
Name of Applicant or Sponsor: <p style="font-size: 1.1em;">Kevin Escurse .</p>		Telephone: 718-848-0080 . E-Mail: kimsdraftingcorp@gmail.com					
Address: <p style="font-size: 1.1em;">108-20 Liberty Avenue</p>							
City/PO: <p style="font-size: 1.1em;">Richmond Mill</p>		State: <p style="font-size: 1.1em;">NY</p>	Zip Code: <p style="font-size: 1.1em;">11419</p>				
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 50%;">NO</th> <th style="width: 50%;">YES</th> </tr> <tr> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 50%;">NO</th> <th style="width: 50%;">YES</th> </tr> <tr> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input checked="" type="checkbox"/></td> </tr> </table>	NO	YES	<input type="checkbox"/>	<input checked="" type="checkbox"/>
NO	YES						
<input type="checkbox"/>	<input checked="" type="checkbox"/>						
3.a. Total acreage of the site of the proposed action?		2.12 . acres					
b. Total acreage to be physically disturbed?		0.014 . acres					
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ acres					
4. Check all land uses that occur on, adjoining and near the proposed action.							
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)							
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input checked="" type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____							
<input type="checkbox"/> Parkland							

5. Is the proposed action, a. A permitted use under the zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Are public transportation service(s) available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing potable water: _____	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100 year flood plain?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor name: <u>Kevin Escouse</u>		Date: <u>9/07/2021</u>
Signature: 		

**Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2.** Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

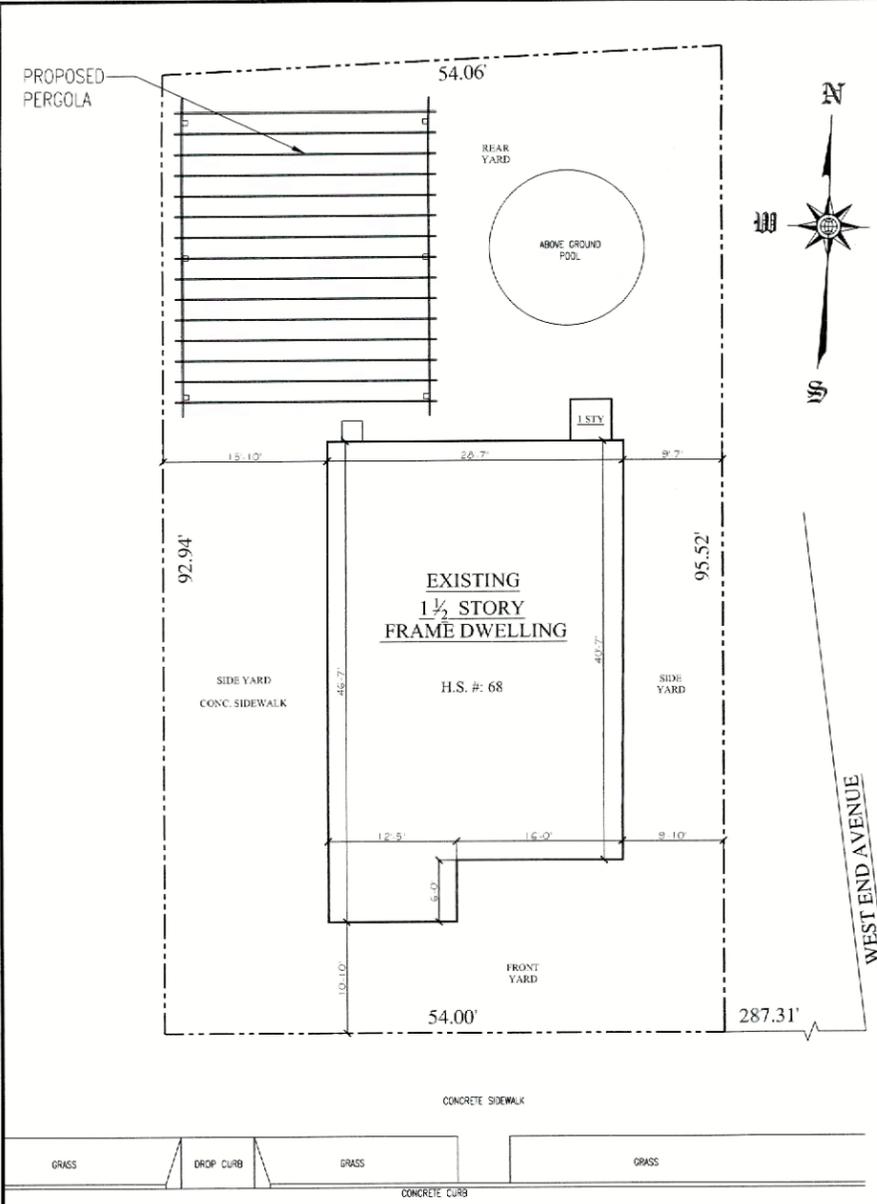
	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:		
a. public / private water supplies?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

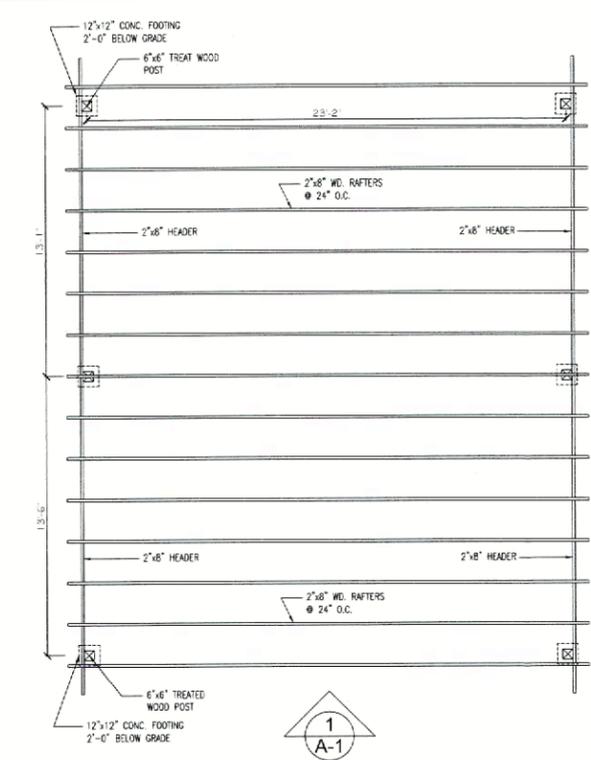
**Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3.** For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
_____ Name of Lead Agency	_____ Date
_____ Print or Type Name of Responsible Officer in Lead Agency	_____ Title of Responsible Officer
_____ Signature of Responsible Officer in Lead Agency	_____ Signature of Preparer (if different from Responsible Officer)

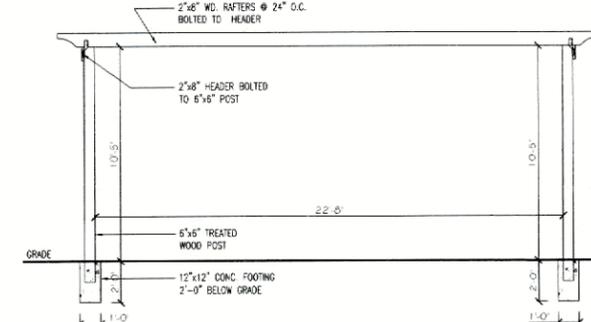




**SITE PLAN**  
SCALE: 1/8" = 1'-0"



**PROPOSED PERGOLA PLAN**  
SCALE: 1/4" = 1'-0"



**ELEVATION 1**  
SCALE: 1/4" = 1'-0"

LIST OF ABBREVIATIONS	FND.	FOUNDATION	PART.	PARTITION
A/C	FL	FIRE CODE	PLAM	PLASTIC LAMINATE
ASPH.	F.C.	FIRE PROOF SELF CLOSING	PLATE	PLATE
A.F.F.	F.P.S.C.	FIRE PROOF FLOOR DRAIN	PLY.	PLYWOOD
ACT.	F.D.	FRESH AIR INTAKE	P.V.C.	POLY VINYL CHLORIDE
A.D.	F.A.I.	GENERAL CONTRACTOR	P.C.F.	POUNDS PER CUBIC FEET
BSMT.	G.C.	GLASS BLOCK	P.S.F.	POUNDS PER SQUARE FEET
BD.	CL.BLK.	GYP.SUM WALL BOARD	P.S.I.	POUNDS PER SQUARE INCH
B.C.	GYP.BD.	GAUGE	P.	PROPERTY LINE
BRS.	GA.	GRADE	RAD.	RADIUS
B.O.	GR.	HEADER	REF.	REFERENCE
BOTT.	HBR.	HEAT, VENT./A-C	REG.	REGISTER
B.P.	H.V.A.C.	HEAVY DUTY	R.O.W.	RIGHT OF WAY
CAB.	H.D.	HEIGHT	R.	RISE
C.F.M.	H.T.	HOLLOW CORE	R.D.	ROOF DRAIN
CL.G.	H.C.	HOLLOW METAL	RM.	ROOM
COL.	H.M.	HOSE BIB	R.O.	ROUGH OPENING
C.M.U.	H.B.	INSULATION	R.L.	ROOF LEADER
C.O.	CONC.	KIT.	SEC.	SECTION
C.	INSUL.	KITTE.	SM.	SIMILAR
C.W.	INV.	KITCHEN	S.C.	SOLID CORED
CONC.	CONC.	KITCHENETTE	S.D.	SQUARE
DET.	KIT.	KITCHEN SINK	SPEC.	SPECIFICATION
DIAM.	K.S.	LEADER	STD.	STANDARD
DRWG.	LDR.	LEGAL GRADE	STR.	STRUCTURAL
DN.	L.G.	MANUFACTURER	S.S.	SOIL STACK
D.W.	MFR.	MASONRY	TEL.	TELEPHONE
ELEV.	MAS.	MASONRY OPENING	THK.	THICKNESS
EL.	M.I.S.C.	MISCELLANEOUS	T & G	TONGUE AND GROOVE
EXT.	M.T.L.	NOT TO SCALE	T.O.S.	TOP OF SLAB
EA.	N.T.S.	NON BEARING	T.TRD.	TREAD
E.W.	N.B.	ON CENTER	T.C.	TOP OF CURB
F.B.	O.C.	OUTSIDE DIAMETER	T.O.	TOP OF
F.O.S.	O.D.	FACE OF STUDS	TYP.	TYPICAL
FIN.	W.C.	FINISH	W.	WATER CLOSET
F.P.	W/O	FIRE PROTECTED	W/O	WITHOUT
	W.		WOOD	WOOD
	W.W.M.		WELDED WIRE MESH	

**GENERAL NOTES:**

- ALL WORK IS TO CONFORM TO THE RULES AND REGULATIONS OF THE NEW YORK CITY BUILDING CODE AND THE NEW YORK STATE BUILDING AND CONSTRUCTION CODE FOR ONE AND TWO-FAMILY DWELLINGS.
- THESE PLANS ARE IN GENERAL COMPLIANCE WITH THE NEW YORK STATE ENERGY CONSERVATION CODE 2014.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COMPLIANCE WITH ALL APPLICABLE LAWS, ORDINANCES, RULES AND REGULATIONS OF THE NEW YORK CITY BUILDING CODE AND THE NEW YORK STATE ENERGY CODE AND SHALL PROVIDE ALL REQUIRED CRITERIA AS OUTLINED IN THE CODE AS PERTAINS TO ALL RELATED EQUIPMENT, MATERIALS, AND THEIR INSTALLATION AT THE JOB SITE.
- ALL MATERIALS, ASSEMBLIES, FORMS AND METHOD OF CONSTRUCTION SHALL MEET THE FOLLOWING REQUIREMENT:  
A) IT SHALL HAVE BEEN ACCEPTABLE PRIOR TO THE EFFECTIVE DATE OF THE CODE BY THE BOARD, OR  
B) SHALL HAVE BEEN ACCEPTED FOR USE UNDER THE PRESCRIBED CODE TEST METHODS BY THE COMMISSIONER, OR  
C) APPROVED BY THE BOARD OF STANDARD AND APPEALS (C26-106.2)
- THESE PLANS ARE SUBJECT TO REVIEW BY ALL CITY AGENCIES HAVING JURISDICTION OVER THEM.
- THE CONTRACTOR SHALL PRODUCE AND PAY ALL COST ASSOCIATED WITH SECURING ALL NECESSARY WORK PERMITS, INSPECTIONS, TEST, AND APPROVALS FOR ALL TRADES REQUIRED BY ALL CITY DEPARTMENTS. HE IS ALSO REQUIRED TO OBTAIN ALL INSPECTOR'S SIGN-OFFS FROM THE DEPARTMENT OF BUILDINGS.
- FIVE DAYS PRIOR TO FILING OF PERMIT APPLICATION, WRITTEN NOTICE SHALL BE GIVEN TO THE OWNERS OF ADJOINING LOTS, BUILDING AND SERVICE FACILITIES WHICH MAY BE AFFECTED BY THE FOUNDATION OR EARTH-WORK OPERATION PER SECTION C26-112.3.
- AT LEAST 24-HRS WRITTEN NOTICE SHALL BE GIVEN TO THE COMMISSIONER BEFORE THE COMMENCEMENT OF ANY WORK FOR WHICH A PERMIT HAS BEEN ISSUED. BEFORE ANY WORK IS COMMENCED ON AN ITEM OF CONSTRUCTION REQUIRING CONTROLLED INSPECTION ALL PERSONS RESPONSIBLE FOR SUCH CONTROLLED INSPECTION SHALL BE NOTIFIED IN WRITING AT LEAST 72 HRS PRIOR TO SUCH COMMENCEMENT C26-118.5.
- THE CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS, NOTES, WORK, HEREIN SHOWN AND CONDITIONS AT THE SITE BEFORE ANY CONSTRUCTION WORK IS STARTED. REPORT ANY AND ALL DISCREPANCIES TO THE ARCHITECT. DO NOT SCALE DIMENSIONS.
- ALL FOUNDATION AND EARTHWORK OPERATION SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 11 AND 19 OF THE CODE. AND ALL LOTS, BUILDINGS AND SERVICE FACILITIES ADJOINING THE FOUNDATION AND EARTHWORK AREA SHALL BE PROTECTED AND SUPPORTED AS PER C26-112.4.
- AN ACCURATE AND COMPLETE LOT SURVEY, MADE BY A LICENSED SURVEYOR SHALL BE SUBMITTED AFTER COMPLETION OF THE WORKS SHOWING THE LOCATION OF ALL NEW BUILDINGS AND/OR ANY EXTENSION TO AN EXISTING BUILDING, THE ELEVATION OF FIRST FLOOR, THE FINISH GRADES OF ALL OPEN SPACES ON THE LOT, THE LOCATION AND CONTROLLING GRADES OF WATER COURSES, SWALES, AND SIMILAR ABOVE GRADE METHODS OF STORM WATER DISPOSAL, WHEN PERMITTED BY THE CODE, THE LOCATION OF ALL CATCH BASINS ON THE PROPERTY, THE ESTABLISHED CURB LEVEL, AND THE LOCATION OF ALL OTHER STRUCTURE ON THE LOT, TOGETHER WITH THE LOCATION AND THE BOUNDARIES OF THE LOT OR PLOT UPON.
- ALL BUILDING AND LOT LINE LINES, ELEVATIONS AND GRADES AREA TO BE LOCATED BY A LICENSED SURVEYOR.
- ALL ELEVATION SHALL BE REFERRED TO US COAST AND GEODETIC SURVEY MEAN SEA LEVEL DATUM OF 1929 C26-110.3.
- ALL SIGNS, TANKS, PUMPS, AND INDIVIDUAL STORM WATER AND SANITARY SEWAGE DISPOSAL SYSTEM (IF REQUIRED) SHALL BE FILED FOR UNDER SEPARATE APPLICATIONS UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS TO PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, AND SERVICES REQUIRED TO FURNISH AND INSTALL ALL OF THE WORK AS SHOWN AND DESCRIBED ON THESE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING HIS BEST SKILLS AND ATTENTION. HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR THE COORDINATION OF ALL PORTION OF THE WORK.
- THE CONTRACTOR IS TO INCLUDE IN HIS SCOPE OF WORK OTHER AREAS NOT SPECIFICALLY OUTLINED ON THE DRAWINGS, AS PRESCRIBED BY FIELD CONDITIONS, OR AS REQUIRED FOR PROPER EXECUTION OF THE WORK INDICATED.
- THE CONTRACTOR ASSUMES RESPONSIBILITY FOR HAVING ALL SUBCONTRACTORS REVIEW ALL DOCUMENTS FOR THERE COMPLETE SCOPE OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTION, AND MISALIGNMENT IN ACCORDANCE WITH THE NEW YORK CITY BUILDING CODE, STANDARD AND GOOD PRACTICE.
- IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF JOB SITE INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING THE PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE REQUIREMENTS OF ARTICLE 19 "SAFETY OF PUBLIC AND PROPERTY DURING CONSTRUCTION OPERATIONS" AND SHALL BE HELD RESPONSIBLE FOR THE SAFE MAINTENANCE AS PRESCRIBED THEREIN UNTIL COMPLETION OF ALL WORK.
- THE CONTRACTOR OR PERSONS WHO SUPERVISED OR SUPERINTEND WORK IS REQUIRED TO BE PRESENT AT FINAL INSPECTION WITH BUILDING DEPARTMENT INSPECTOR AS PER C26-120.6.
- THE ARCHITECT/ENGINEER HAS BEEN RETAINED TO SUPERVISE ANY CONSTRUCTION OR INSTALLATION OF ANY EQUIPMENT.
- THE OWNER SHALL BE RESPONSIBLE FOR THE SAFE MAINTENANCE OF THE BUILDING AND ITS FACILITIES C26-105.0
- THE GENERAL NOTES CONTAINED HEREIN ARE PART OF THE PLANS AND SPECIFICATIONS AND ARE TO BE COMPLIED WITH IN ALL ASPECTS. MORE RESTRICTIVE NOTES SPECIFIED ELSEWHERE ARE TO TAKE PRECEDENCE OVER THOSE LISTED BELOW.

**ENGINEER NOTES:**

- ALL WORK IN THIS CONTRACT IS ASSUMED TO BE NEW UNLESS NOTED TO BE EXISTING.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SUPERSEDE SCALED DIMENSIONS.
- THE LICENSED PROFESSIONAL ENGINEER'S SERVICES AND RESPONSIBILITIES ARE LIMITED TO THE PREPARATION OF PLANS, BUILDING DEPARTMENT FILINGS TO OBTAIN APPROVAL AND CARRY OUT CONTROL INSPECTIONS.
- IT IS THE INTENTION OF THESE DRAWINGS AND NOTES TO PROVIDE FOR THE COMPLETE CONSTRUCTION OF THE WORKS. SHOULD ANYTHING BE OMITTED FROM THE DRAWINGS NECESSARY FOR THE PROPER CONSTRUCTION OF WORK HEREIN DESCRIBED, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE PE.
- THE PE MAY IN HIS ABSOLUTE DISCRETION ISSUE FURTHER DRAWINGS, DETAILS AND/OR WRITTEN INSTRUCTIONS, DIRECTION AND EXPLANATIONS IN REGARD TO: (A) THE VARIATION OF THE DESIGN OR THE OMISSION OR SUBSTITUTION OF ANY WORK, (B) THE OPENING UP FOR INSPECTION OF ANY WORK COVERED UP, (C) THE AMENDING AND MAKING GOOD OF ANY DEFECTS OR OTHER FAULTS DUE TO MATERIAL AND WORKMANSHIP NOT IN ACCORDANCE WITH THIS CONTRACT ARE MADE BY THE CONTRACTOR AT HIS OWN COST.
- THE PE SHALL DETERMINE ANY LEVELS, WHICH MAY BE REQUIRED FOR THE EXECUTION OF THE WORK AND SHALL FURNISH TO THE CONTRACTOR BY WAY OF DIMENSIONAL DRAWINGS.

**LIMITATION NOTES:**

THESE PLANS ARE APPROVED ONLY FOR THE WORK INDICATED ON THE APPLICATION SPECIFICATION SHEET. ALL OTHER MATTERS SHOWN ARE NOT TO BE RELEAD UPON OR TO BE CONSIDERED EITHER APPROVED OR IN ACCORDANCE WITH APPLICABLE CODE. NO CHANGE IN USE, EGRESS OR OCCUPANCY.

**BUILDING DEPARTMENT NOTES:**

- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS BEFORE ANY CONSTRUCTION WORK IS STARTED.
- AT LEAST 24 HOURS WRITTEN NOTICE SHALL BE GIVEN TO COMMISSIONER PRIOR TO COMMENCEMENT OF ANY WORK SEC. C26-118.5
- UNLESS SUPPORTING MASONRY WALLS OVER 4'-0" SHALL BE FIRE PROTECTED WITH MATERIALS HAVING THE REQUIRED FIRE RESISTIVE RATING OF THE WALL.
- SUSPENDED CEILING SHALL HAVE HANGERS AND SUPPORTING GRIDS OF NON-COMBUSTIBLE MATERIALS, SEC C26-504.12
- INTERIOR FINISHES TO COMPLY WITH SEC C26-504.10 TABLE 5-4.
- ALL PARTITIONS ENCLOSED TENANT SPACES AND EXIT CORRIDORS SHALL BE CONSTRUCTED OF 5/8" GYPSUM BOARD FOR CODE "C" TOW LAYERS ON EACH SIDE OF 3/8" METAL STUDS. PARTITIONS SEPARATING TENANTS AND PUBLIC HALL PARTITIONS SHALL BE CARRIED THRU TO UNDERSIDE OF FLOOR ABOVE.
- WHERE NON-COMBUSTIBLE PIPES AND CONDUITS PASS THROUGH RATED CONSTRUCTION, THE AREA OF SUCH OPENING MAY NOT EXCEED 25 SQ. IN. OF ANY 100 SQ. FT. OF WALL OR FLOOR AREA. THE SPACE BETWEEN THE PIPE AND ITS SLEEVE OR OPENING MAY NOT EXCEED 1/2" AND WILL BE PACKED WITH NON-COMBUSTIBLE MATERIAL, SUCH AS MINERAL WOOL, SEC 27-345.
- CONCEALED SPACES WITHIN PARTITIONS, WALLS, FLOORS, STAIRS, FURRING, PIPE, ETC., THAT WOULD PERMIT PASSAGE OF FLAME, SMOKE, FUMES, OR HOT GASES FROM ONE FLOOR TO ANOTHER, OR FROM ONE CONCEALED AREA TO ANOTHER SHALL BE FIRESSTOPPED TO FORM AN EFFECTIVE DRAFT BARRIERS OR SHALL BE FILLED WITH NON-COMBUSTIBLE MATERIAL, SEC. 27-345.
- PLUMBING VENTS SHALL EXTEND ABOVE AS PER SEC. P104-4(A)
- ALL ELECTRICAL OUTLETS TO MEET ALL REQUIREMENTS OF THE NYC ELECTRICAL CODE.
- THE CONTRACTOR MUST OBTAIN A CERTIFICATE OF OCCUPANCY UPON COMPLETION OF ALL WORK ON THIS PLAN TO COMPLY WITH THE BUILDING CODE SUB ARTICLE 121.0
- CONTROLLED INSPECTION ITEMS: THE FOLLOWING ITEMS OF WORK SHALL BE SUBJECT TO CONTROLLED INSPECTION MADE WITNESSED BY OR UNDER DIRECT SUPERVISION OF AN ARCHITECT OR ENGINEER RETAINED BY THE OWNER WHO SHALL BE ACCEPTABLE TO THE ARCHITECT:  
A. TEST REPORT AND CERTIFICATE OF INSPECTION SHALL BE FILED WITH THE BUILDING DEPARTMENT.  
B. ALL MATERIALS, ASSEMBLIES AND METHODS OF CONSTRUCTION REGULATED BY THE CODE AND NOT LISTED ABOVE SHALL BE SUBJECT TO SEMI CONTROLLED INSPECTION BY THE PERSON SUPERINTENDING THE CONSTRUCTION.  
C. SIGNED COPIES OF ALL TESTS AND INSPECTION REPORTS SHALL BE FILED THROUGH THE ARCHITECT WITH THE DEPARTMENT.
- DUCT FIRE RETARDING - DUCTS TO BE FIRE RETARDED AS PER PLAN AND TO BE FIRE STOPPED AT EACH TURN WITH 2" MINERAL WOOL. MAINTAIN 1/2" CLEARANCE BETWEEN DUCTS AND SHEETROCK.  
A. ADMINISTRATION  
1. ALL MATERIALS, ASSEMBLIES, FORMS, METHODS OF CONSTRUCTION, AND SERVICE EQUIPMENT SHALL MEET THE FOLLOWING REQUIREMENTS:  
a) IT SHALL HAVE BEEN ACCEPTABLE PRIOR TO THE EFFECTIVE DATE OF THE CODE BY THE BOARD, OR  
b) SHALL HAVE BEEN ACCEPTED FOR USE UNDER THE PRESCRIBED CODE TEST METHODS BY THE COMMISSIONER, OR  
c) APPROVED BY THE BOARD OF STANDARD AND APPEALS, OR BY THE M.E.A. DIVISION OF THE BUILDING DEPARTMENT.  
d) AT LEAST 24 HOURS WRITTEN NOTICE SHALL BE GIVEN TO THE COMMISSIONER BEFORE THE COMMENCEMENT OF THE WORK.  
B. INSPECTION REQUIREMENTS  
1. THE FOLLOWING ITEMS OF WORK SHALL BE SUBJECT TO CONTROLLED INSPECTION, MADE AND WITNESSED BY OR UNDER THE DIRECT SUPERVISION OF AN ARCHITECT OR ENGINEER RETAINED BY THE OWNER WHO SHALL BE ACCEPTABLE TO THE ARCHITECT. TEST REPORT AND CERTIFICATE OF INSPECTION SHALL BE FILED WITH THE BUILDING DEPARTMENT.  
2. ALL MATERIALS, ASSEMBLIES AND METHODS OF CONSTRUCTION REGULATED BY THE CODE AND NOT LISTED ABOVE SHALL BE SUBJECT TO SEMI CONTROLLED INSPECTION BY THE PERSON SUPERINTENDING THE CONSTRUCTION. SIGNED COPIES OF ALL TEST AND INSPECTION REPORTS SHALL BE FILED THROUGH THE ARCHITECT WITH THE BUILDING DEPARTMENT.  
C. FIRE PROTECTION CONSTRUCTION REQUIREMENTS  
1. ALL MATERIALS OR ASSEMBLIES REQUIRED TO HAVE A FIRE RESISTANCE RATING SHALL COMPLY WITH THE FOLLOWING:  
a) IT SHALL CONFORM WITH THE NFPA "FIRE RESISTANCE RATING", OR  
b) IT SHALL HAVE BEEN TESTED IN ACCORDANCE WITH THE "ASTM E-199 STANDARD METHODS OF FIRE TESTS BUILDING CONSTRUCTION MATERIALS" AND ACCEPTED BY THE COMMISSIONER, OR  
c) IT SHALL HAVE BEEN ACCEPTABLE PRIOR TO EFFECTIVE DATE OF THE CODE.  
2. OPENING PROTECTIVES INCLUDING FRAMES, SELF-CLOSING DEVICES AND HARDWARE SHALL COMPLY WITH ASTM E-108, "STANDARD METHODS OF FIRE TEST OF DOOR ASSEMBLY" AND ASTM E-163.  
3. INTERIOR FINISH: ALL MATERIAL SHALL BE CLASSIFIED IN ACCORDANCE WITH THE SURFACE FLAME-SPREAD RATING OBTAINED AS PRESCRIBED IN ASTM E-84 "STANDARD METHOD OF TEST FOR SURFACE BUILDING CHARACTERISTIC OF BUILDING MATERIALS". INTERIOR FINISH SHALL BE GROUPED INTO CLASSES OF THESE SCHEDULES:  
INTERIOR FINISH CLASS / FLAME SPREAD CLASS  
A 0-25  
B 26-75  
C 76-225  
D OVER 225  
INTERIOR FINISH EXCEPT FINISH FLOORING AND FLOOR COVERING, WALL COVERINGS LESS THAN 0.036" IN TOTAL THICKNESS, SHALL HAVE A FLAME SPREAD RATING NOT GREATER THAN THAT LISTED.

**FRAMING AND ROUGH CARPENTRY:**

JOISTS RAFTERS AND STUD SHALL BE 75' CONSTRUCTION GRADE DOUGLAS FIR 1350 PSI/25' COMMON DOUGLAS FIR 1200 PSI. ALL WOOD SILLS AND WOOD IN CONTACT WITH MASONRY SHALL BE CCA TREATED ALL EXTERIOR SHEATHING SHALL BE 5/8" CDX CDX DOUGLAS FIR PLYWOOD NAILED @ 12" O.C. AT EDGES, 60 @ 8" O.C. AT INTERMEDIATE BLOCKING POINTS. SUB-FLOORS TO BE 3/4" CDX PLYWOOD NAILED 80 @ 8" O.C. EXTERIOR SHEATHING TO BE COVERED WITH "TYVEK" HOUSE WRAP OR APPROVED EQUAL. ALL WALLS, BOLTS, RODS, STRAPS, JOIST HANGERS, AND OTHER FRAMING HARDWARE TO BE HOT-DIPPED GALVANIZED. DOUBLE UP JOISTS AROUND ALL OPENINGS AND UNDER PARTITIONS. BLOCK STUD WALLS AT 1/2 STORY HEIGHTS AND AT ALL UNSUPPORTED EDGES OF PLYWOOD. ALL CAP PLATES TO BE DOUBLED AND NAILED 100 @ 18" O.C. NAIL BOTTOM CAP PLATE TO END OF STUDS-2/16D. LAP CAP PLATES AT CORNERS, 10E NAIL JOISTS TO CAP OR BEAM WITH 2/16D. WHERE FLUSH FRAMING OCCURS, USE MIN. 19GA SHEET METAL. JOIST HANGERS BY "TICO" OR APPROVED EQUAL. ALL CORNERS TO BE MINIMUM 1/2x4 STUDS NAILED 160 @ 24" O.C. ALONG THREE FACES. HEADERS SHALL BE MINIMUM 2/2x6 UNLESS NOTED ON PLANS MINIMUM BEARING FOR STUDS. JOISTS ANN BEAMS SHALL 3 1/2" USE DOUBLE JACK STUDS FOR HEADERS OVER FIVE FEET IN LENGTH.

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**JS CONSULTING ENGINEER**  
52 SAINT MARKS AVENUE, TOP FLOOR  
BROOKLYN NY 11217  
PHONE: 212-563-0505, FAX: 347-799-2948

THE ENGINEER SHALL NOT HAVE CONTROL OR CHARGE BEYOND SCOPE OF APPROVED PLANS. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS OR DEVIATIONS. CONSTRUCTION DEVIATION FROM THE APPROVED PLANS MUST BE MADE KNOWN TO THE ENGINEER OR ARCHITECT IN RESPONSIBLE CHARGE OBSERVE DISCREPANCY. ENGINEER IS NOT RESPONSIBLE FOR MAINTAINING SITE AND SAFETY PROGRAMS IN CONNECTION WITH CONTRACTOR. CONTRACTOR/SUBS OR OTHER AUTHORIZED PERSON TO PERFORM WORK ON THIS APPROVED PLAN CONTRACT DOCUMENTS.

ALWAYS USE DIMENSION AS SHOWN DRAWINGS ARE NOT TO BE SCALED.

**KMS DRAFTING CORP**

**PROJECT:**  
65 HAMPTON PLACE  
FREEPORT NY 11520

**OWNER:**  
Vishon Ganesh  
65 HAMPTON PLACE  
FREEPORT NY 11520

**PROPERTY ZONING INFORMATION**

Block 516	
Lot No. 234	
Section 54	
Lot Area: 3088.42 SF	

**ADDITIONAL FILINGS**


**ACTIONS**

REVISION No.	DATE	PURPOSE
No. 1	XXXXXX	PA/AU/D/REVISION
No. 2	XXXXXX	PA/AU/D/REVISION
No. 3	XXXXXX	PA/AU/D/REVISION
No. 4	XXXXXX	PA/AU/D/REVISION
No. 5	XXXXXX	PA/AU/D/REVISION
No. 6	XXXXXX	PA/AU/D/REVISION
No. 7	XXXXXX	PA/AU/D/REVISION
No. 8	XXXXXX	PA/AU/D/REVISION

**SCOPE:**  
FILING TO MAINTAIN ACCESSORY USE PERGOLA IN REAR YARD. NO CHANGE TO USE, BULK OR EGRESS.

**CONTENT:**  
SITE PLAN, PERGOLA PLANS, ELEVATION 1, AND NOTES

**SEAL & SIGNATURE**

DATE: 07/27/2021  
PROJECT No.: 65 HAMPTON PL  
DRAWING BY: KMS  
CHK BY: JS  
DWG. No.: **A-100.00**  
FILE#: 65 HAMPTON PL 1 OF 1

**DEPT. OF BUILDINGS**



## INC. VILLAGE OF FREEPORT

### Department of Buildings

46 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK 11520  
(516) 377-2242  
FAX (516) 377-2493

ROBERT T. KENNEDY  
MAYOR

E-MAIL [BUILDINGDEPT@FREEPORTNY.GOV](mailto:BUILDINGDEPT@FREEPORTNY.GOV)

SERGIO A. MAURAS  
SUPERINTENDENT OF BUILDINGS

August 16, 2022  
**LETTER OF DENIAL**

Shairoon Hosein-Chitaman  
25 East Avenue  
Freeport, NY 11520

**RE: 25 East Avenue, Freeport, NY**  
**Zoning District: Residential A Sec 62 Blk 76 Lot 10**  
**Building Permit Application #20222643**  
**Description: Maintain a 22'x24' detached garage**

Dear Sir/Madam:

Your application has been reviewed by the Building Department and it has been determined that the above captioned building permit application must be denied for the following reasons:

1) **Village Ordinance §210-6A. Conformity required:** No building or land shall hereafter be used or occupied and no building or part thereof shall be erected, moved or altered unless in conformity with the regulations herein specified for the district in which it is located. The proposed plan that you have submitted indicates that the property will not be in conformity.

2) **Village Ordinance §210-39. Building Height.** No accessory building and/or detached garage shall exceed 15 ft. in height if erected with a roof pitched less than six (6) units vertically to 12 units horizontally and 20 ft. in height if erected with a roof pitched six (6) units vertically to 12 units horizontally or steeper. The drawings submitted with this application indicate a roof pitched 3.25 units vertically to 12 units horizontally. The garage should be only 15 ft. in height wherein the garage height is 20.11 ft. Accordingly, you will seek a variance for garage height.

3) **Village Ordinance §210-41. Lot coverage, floor area ratio.** States in part "10% of the total area of the lot may be used for the erection of an accessory building(s) and/or detached garage to be limited a maximum of 500 sq. ft. The plans submitted with this application a detached garage of 528 sq. ft. Accordingly, you will be seeking a variance for lot coverage.

Please be further advised that if you intend to appeal this decision you must file an application within sixty (60) days of the date of this letter. For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the **Village Clerk's Office at 516-377-2202** to make an appointment, during normal business hours, to review the completed

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VILLAGE OF FREEPORT, NY

RE: 25 East Avenue, Freeport, NY

application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Zoning Board of Appeals within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Zoning Board of Appeals Application, please call the **VILLAGE CLERK'S OFFICE** at 377-2300.

Very truly yours,



Sergio A. Mauras  
Superintendent of Buildings

Enclosure

cc: Village Clerk

Christopher L. Gray, R.A.

SITE PLAN APPROVAL NEEDED

Yes: X No: \_\_\_\_\_

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SEC. 62 BLK. 76 LOT. 10

BOARD OF APPEALS OF THE VILLAGE OF FREEPORT  
VILLAGE OF FREEPORT, NY

In the Matter  
Of  
the Application of

To The Board of Appeals of the Village of Freeport, New York

Index No.

COMPLY WITH  
ORIGINAL NOTES

The application of SHAROON HOSEIN-CHITAMIAN

respectfully states and alleges:

Strike out  
inapplicable  
phrase

1. That the applicant (resides at) (~~has its principal office for the conducting of its business at~~)

25 EAST AVE

FREEPORT, NY 11520

State whether  
applicant is owner,  
lessee, or has option  
or contract. If other  
than owner, state  
briefly terms of  
agreement.

2. That the premises affected by this application is located at Land Map of Nassau County

25 EAST AVE

Sec. 62 Blk. 76 Lot(s) 10

and that the interest which the applicant has in the property concerned is that of

OWNER OF 25 EAST AVE

3. That (the applicant) (the applicant's duly authorized AGENT CHRIS GRAY) on or about the 25 day of FEB 2022, filed in the office of the Department of Buildings of the Village of Freeport, New York, an application for a Building Permit. Documents filed with said application were as follows:

DRAWINGS, SURVEY, SHORT ENVIRONMENTAL

Obtain reason for  
denial from  
Department of  
Buildings.

4. That on or about the 16 day of AUGUST, 2022 the Department of Buildings denied said application; upon information and belief that the reason for said denial was as follows:

210-6A CONFORMITY REQUIRED, 210-39 BUILDING HEIGHT, 210-41 LOT COVERAGE, FLOOR AREA RATIO

Describe by  
construction and  
number of stories. If  
none, so state.

5. That the nature of the improvements now upon said premises is as follows:

MAINTAIN EXISTING DETACHED GARAGE

State nature of use of  
property. If a  
business, give brief  
description.

6. That said premises are now being used as follows: 1 FAMILY DWELLING

Describe fully and  
clearly the use  
desired.

7. That the applicant seeks authority to make use of said premises as follows:

1 FAMILY DWELLING

Strike out whichever  
word is not  
applicable. Follow  
language in  
ordinance.

8. Upon information and belief that a (~~permit~~) (variance) for such use may be granted by this Board by virtue of the following sections of the said Zoning Code of The Village of Freeport or statutes of the State of New York

210-6A CONFORMITY REQUIRED

210-39 BUILDING HEIGHT

210-41 LOT COVERAGE, FLOOR AREA RATIO

Refer where possible  
to paragraphs and  
section by numbers.

9. That the following is a statement of other factual information deemed pertinent by the applicant. If the application involves a subdivision of property, describe the existing property:

N/A

ANDREW B. STONE  
VILLAGE CLERK  
VILLAGE OF FREEPORT, NY  
11520

If more space is needed annex statement on separate sheet and refer to it here with following words: "See annexed statement which is made a part hereof." Save opinions for the hearing.

If non-conforming use is claimed, set forth uses made of premises and dates thereof in chronological order.

If this verification is made by an officer of a corporation or an Association or by a legal representative of an estate, his name and office should be designated on the first line.

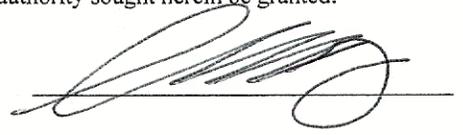
10. That the grounds for this application are as follows: DETACHED GARAGE  
RESULT DUE TO DISREPAIR AND EXPANDED  
WITH REAR DOORWAY

11. That any deed restrictions running with the land prohibiting the desired use are as follows: NONE

12. That (the applicant has made no previous application to this Board for the authority sought herein) ~~(upon information and belief a previous application was made for the same or similar authority sought herein and denied by this Board, but that this application contains facts not alleged or shown in any previous proceeding before this Board).~~

WHEREFORE, the applicant respectfully prays that the authority sought herein be granted.

Dated: SEPT 22, 2022.

  
BY: CHRIS GRAY  
ITS: AGENT

State of New York )  
County of Nassau ) ss:

SHARON HOSEIN-CHITAMAN

The applicant \_\_\_\_\_ named in the foregoing application, being duly sworn, depose and say that SHE read the foregoing application subscribed by CHRIS GRAY and know the contents thereof; and that the same is true to HER own knowledge except as to the matters therein stated to be alleged on information and belief, and that as to those matters SHE believe S to be true.

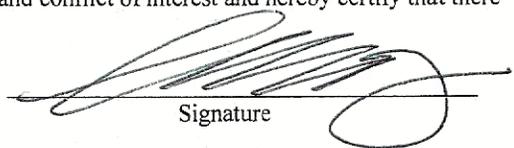
Sworn to before me this 22 day  
of SEPT, 2022.

Notary Public MARALIN MERKLIN GRAY  
Signature of Applicant  
MARALIN MERKLIN GRAY  
Notary Public, State of New York  
No. 01ME6120194  
Qualified in Nassau County  
Commission Expires December 13, 2024

**Notice  
Conflict of Interest**

I have read Section 809 of the General Municipal Law concerning disclosure of and conflict of interest and hereby certify that there are no conflicts in respect to this application requiring disclosure.

SEPT 22, 2022  
Date Year

  
Signature

**Affidavit of Owner**

To be completed only if the owner is not the applicant.

State of New York )  
County of Nassau ) ss:

I SHARON HOSEIN-CHITAMAN  
being duly sworn, depose and say:

That he/she (the owner of \_\_\_\_\_) (is the \_\_\_\_\_) of

25 EAST AVE FREEPORT NY the property concerned is correct to the best of the knowledge of deponent \_\_\_\_\_.)

That the owner SHARON HOSEIN-CHITAMAN consents to the granting of the authority sought in the above application.

Sworn to before me this 2nd day  
of September, 2022.

Sharon Hosein Chitaman  
Signature

Notary Public AM

REVISED 2/2017  
ANDREW M SOTO  
NOTARY PUBLIC, State of New York 2  
No. 01SO6392684  
Qualified in Nassau County  
Commission Expires, June 3, 2023  
State of New York  
County of Nassau

617.20  
Appendix B  
Short Environmental Assessment Form

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**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: <p style="text-align: center; font-size: 1.2em;">CHITAMAH RESIDENCE</p>			
Project Location (describe, and attach a location map): <p style="text-align: center; font-size: 1.2em;">25 EAST AVE FREEPORT, NY 11720</p>			
Brief Description of Proposed Action: <p style="text-align: center; font-size: 1.2em;">MAINTAIN EXISTING DETACHED GARAGE</p>			
Name of Applicant or Sponsor: <p style="text-align: center; font-size: 1.2em;">CHRIS GRAY</p>		Telephone: 679-4722	
		E-Mail: GRAYARCHSERVE@VERIZON.NET	
Address: <p style="text-align: center; font-size: 1.2em;">2401 CAPPI PL</p>			
City/PO: <p style="text-align: center; font-size: 1.2em;">H BELLMORE NY</p>		State:	Zip Code: <p style="text-align: center; font-size: 1.2em;">11710</p>
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		.24 acres	
b. Total acreage to be physically disturbed?		.012 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		.24 acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			

		NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations?			✓	
	b. Consistent with the adopted comprehensive plan?		✓	
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?				✓
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____		✓		
8. a. Will the proposed action result in a substantial increase in traffic above present levels?  b. Are public transportation service(s) available at or near the site of the proposed action?  c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?		✓		
				✓
				✓
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____				NA
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing potable water: <u>NONE</u>		✓		
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing wastewater treatment: <u>NONE</u>		✓		
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?  b. Is the proposed action located in an archeological sensitive area?		✓		
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?  b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____		✓		
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban				
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?		✓		
16. Is the project site located in the 100 year flood plain?		✓		
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES  b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____		✓		

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____	NO	YES
	✓	
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	✓	
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	✓	
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor name: <u>CHRIS GRAY</u>		Date: <u>2-25-22</u>
Signature: _____ 		

**Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2.** Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?		
2. Will the proposed action result in a change in the use or intensity of use of land?		
3. Will the proposed action impair the character or quality of the existing community?		
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?		
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?		
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?		
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?		
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?		
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?		

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems? '		
11. Will the proposed action create a hazard to environmental resources or human health?		

**Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3.** For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

VILLAGE OF FREEPORT  
Department of Buildings  
Recommendation

Notice

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X Negative Declaration

Positive Declaration

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CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.  
(See reasons below)

Project :

Building Permit App. 20222643

Location: 25 East Avenue, Freeport, NY

Applicant: Shairoon Hosein-Chitaman

Description: Maintain a 22' x 24' detached garage

Lead Agency: Department of Buildings  
for the Board of Trustees  
Village of Freeport  
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:  
Superintendent of Buildings  
(516) 377-2242

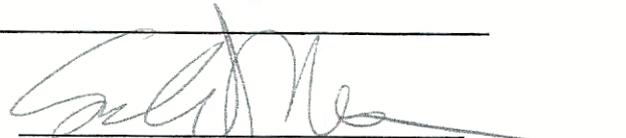
**REASON(S) FOR DETERMINATION**

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A)

B) Possible environment effects identified:  
(only if positive determination)

Dated: August 16, 2022



Sergio A. Mauras  
Superintendent of Buildings

**IMPORTANT:** This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

# DEPARTMENT OF BUILDINGS

OF THE VILLAGE OF FREEPORT, N.Y.

APPLICATION NO. 20222643

Filing Date 2/25/22

1506  
1 Double  
Fee.

## Application for Erection of Buildings or Alterations

**IMPORTANT** - Applicant to complete all items in sections: I, II, III, IV, V

I. LOCATION OF BUILDING	AT (LOCATION) <u>25 EAST AVE FREEPORT</u> ZONING DISTRICT <u>PESA</u>
	BETWEEN <u>SMITH ST</u> AND <u>ARCHER ST</u>
	SECTION <u>62</u> BLOCK <u>76</u> LOT <u>10</u> APPROX. LOT SIZE <u>56</u> x <u>200</u> LOT AREA <u>10,712</u>

II. TYPE AND COST OF BUILDING - All applicants complete Parts A - D.	
A. TYPE OF IMPROVEMENT	B. PROPOSED OR EXISTING USE
1     New building 2   <input checked="" type="checkbox"/> Addition-Alteration (If residential, enter number of new housing units added. If none-state none) 3     Swimming Pool 4     Repair (replacement) 5     Bulkhead (New, Repair) 6     Fence 7     Moving (relocation)	RESIDENTIAL 11   <input checked="" type="checkbox"/> One Family 12     Two families 13     Apartment - Enter No. of Units _____ 14     Transient hotel, motel, or dormitory - Enter No. of Units _____ 15     Garage or Accessory Structure 16     Other - Specify _____ _____
NON RESIDENTIAL - Complete Part "E"	
17     Industrial 18     Office, bank, professional 19     Stores, mercantile 20     Church, other religious 21     Hospital, Institutional 22     Other - Specify _____	
C. COST	D. DESCRIPTION OF PROJECT
10 TOTAL COST OF IMPROVEMENT \$ <u>25,000</u>	<u>MAINTAIN EXISTING DETACHED GARAGE</u>

III. IDENTIFICATION - To be completed by all applicants			
	NAME	MAILING ADDRESS - Number, street, city and state, Zip	TEL. NO.
1. Owner or Lessee	<u>SHAIROON HOSEIN - CHITAMIAN</u>	<u>25 EAST AVE FREEPORT NY 11520</u>	<u>718 8203492</u>
2. Contractor			
3. Architect or Engineer	<u>CHRIS GRAY</u>	<u>2401 CARM PL N BELMORE NY 11710</u>	<u>679 4722</u>

IV. OWNER - CONTRACTOR STATEMENT	
Building permit is issued subject to the provisions of Section 57 of the Workmen's Compensation Law.	
Workmen's Compensation Certificate No. _____ Company _____ Exp. Date _____	
Contractor or Owner <u>SHAIROON HOSEIN - CHITAMIAN</u> (Print)	
Address <u>25 EAST AVE FREEPORT</u>	
Phone <u>718 820-3492</u>	
State of New York	
County of Nassau	
<u>SHAIROON HOSEIN - CHITAMIAN</u> being duly sworn, says that <u>SHE</u> is the contractor or owner of the above mentioned building. That the items of the above application also the estimated cost of said building or alteration, is correct to the best of <u>HER</u> knowledge and belief and agrees to conform to all applicable laws of this jurisdiction.	
Sworn to before me this <u>25</u> day of <u>FEB</u> , 20 <u>22</u>	
Notary Public, State of New York No. 01696108433 Qualified in Nassau County Commission Expires April 19, 20 <u>24</u>	
<u>Shairoon Hosein-Chitama</u> (Applicant Signature) _____ County, N.Y.	

V. FLOOD ZONE	
IS PROJECT LOCATED WITHIN A DESIGNATED FLOOD HAZARD ZONE? YES _____ NO <input checked="" type="checkbox"/>	
IF YES, WHICH ZONE? _____	
IS PROJECT TO REPAIR FLOOD DAMAGE? YES _____ NO <input checked="" type="checkbox"/>	
PROJECT DESCRIPTION	
Total/First Flr Square Feet	<input type="text"/>
Upper Flrs Square Feet	<input type="text"/>
# of Fixtures	<input type="text"/>
# of Floors	<input type="text"/>
Occup. Type	<input type="text"/>

VI. VALIDATION (Official Use Only)	
Building Permit Number _____	Approved by: _____ Superintendent of Buildings
Building Permit Issued _____	
Building Permit Fee \$ _____	

2022 FEB 26 1:54  
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 VILLAGE OF FREEPORT, NY

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DETACHED GARAGE

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**GRAY** ARCHITECTURAL  
SERVICES, P.C.  
2401 CAPRI PL. N. BELLMORE, N.Y. 11710  
516 679-4722 FAX 516 679-2698  
grayarchserv@verizon.net

CHITAMAN RESIDENCE  
25 EAST AVE  
FREEPORT, NY 15520

**PHOTOS**  
2-25-22







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**INC. VILLAGE OF FREEPORT**

2022 SEP 28 A 9 14

**Department of Buildings**  
46 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK 11520  
(516) 377-2242  
FAX (516) 377-2493

CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY

ROBERT T. KENNEDY  
MAYOR

E-MAIL: [BUILDINGDEPT@FREEPORTNY.GOV](mailto:BUILDINGDEPT@FREEPORTNY.GOV)

SERGIO A. MAURAS  
SUPERINTENDENT OF BUILDINGS

August 24, 2022  
**LETTER OF DENIAL**

67 South Jara LLC  
133 Clark Ave  
Massapequa, NY 11757

RE: 67 S. Main St., Freeport, NY  
Zoning District – Bus. B - Sec. 55, Blk. 205 Lot 19  
Building Permit Application #20222789  
Description—Commercial Alterations - 2 retail spaces on 1<sup>st</sup> floor,  
2 bedroom apartment on the 2<sup>nd</sup> floor and no change in basement

Dear Sir/Madam:

Please be advised that the above captioned Building Permit Application must be denied for the following reason(s):

**Village Ordinance §210-6A.** No building or land shall hereafter be used or occupied and no building or part thereof shall be erected, moved or altered unless in conformity with the regulations herein specified for the district in which it is located.

**Village Ordinance §210-80 (A) "Permitted Uses"** All uses permitted in Residence AA, Residence A, Business AA and Business Districts except residential . Accordingly you will be seeking a variance for Residential use.

**Village Ordinance §210- 172A(2)(a) "Required parking spaces:** Apartment houses and multifamily residences; parking spaces accessible to all tenants shall be provided on the premises in accordance with the following schedule:

**(1) Type of Residence:** Two or more bedrooms, number of spaces required per Dwelling Unit is 2 parking spaces. The plans submitted with this application indicate a 2 bedroom apartment. Accordingly you will seeking for a parking variance.

**Village Ordinance §210-172A(12)** All non-residential building in any zoning district except as otherwise required in this section: at least one parking space for each 400 square feet of the floor area of the building or structure plus parking space for two cars for each individual store, or business in the building or structure. The plans submitted with this application indicate 2,967 sq. ft. of retail space/400sq. ft.= 7.41 spaces+ 2 spaces for each individual store +2 for the two bedroom apartment.

Total required parking spaces is 12. The plans submitted with this application indicate zero (0) parking spaces provided. Accordingly you will be seeking a variance for parking.

Please be further advised that if you intend to appeal this decision you must file an application within sixty (60) days of the date of this letter. For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-2202 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Zoning Board of Appeals within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Zoning Board of Appeals Application, please call the VILLAGE CLERK'S OFFICE at 377-2300.

Very truly yours,



Sergio A. Mauras  
Superintendent of Buildings

c: Village Clerk  
Augustine Angba, R.A.

SITE PLAN APPROVAL NEEDED

Yes  X  No \_\_\_\_\_

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VILLAGE OF FREEPORT  
Department of Buildings  
Recommendation

Notice

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X Negative Declaration

Positive Declaration

2022 SEP 28 A 11:40

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.  
(See reasons below)

Project :

Building Permit App. 20222789

Location: 67 S. Main Street, Freeport, NY

Applicant: 67 South Jara LLC

Description: Commercial alterations – 2 retail spaces on 1st. floor, 2 bedroom apartment on the 2<sup>nd</sup> floor and no change in basement

Lead Agency: Department of Buildings  
for the Board of Trustees  
Village of Freeport  
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:  
Superintendent of Buildings  
(516) 377-2242

REASON(S) FOR DETERMINATION

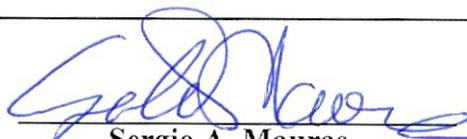
This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) \_\_\_\_\_

B) Possible environment effects identified:  
(only if positive determination)

\_\_\_\_\_

Dated: August 24, 2022



Sergio A. Mauras  
Superintendent of Buildings

**IMPORTANT:** This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

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2022 SEP 28 A 9 15



CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY

SEC. 55 BLK. 205 LOT. 19

BOARD OF APPEALS OF THE VILLAGE OF FREEPORT

In the Matter  
Of  
the Application of

To The Board of Appeals of the Village of Freeport, New York

Index No. \_\_\_\_\_

COMPLY WITH  
ORIGINAL NOTES

The application of 67 South Jara LLC - Commercial Alterations

respectfully states and alleges:

- 2 retail spaces on 1st Floor  
- 2 bedroom apartment on the 2ND Floor  
- No change in basement.

Strike out  
inapplicable  
phrase

1 That the applicant (resides at) ~~(has its principal office for the conducting of its business at)~~  
133 Clark Ave, Massapequa NY 11758

State whether  
applicant is owner,  
lessee, or has option  
or contract. If other  
than owner, state  
briefly terms of  
agreement.

2 That the premises affected by this application is located at 67 South Main Street, Freeport, NY 11520 Land Map of Nassau County  
Sec. 55 Blk. 205 Lot(s) 19

and that the interest which the applicant has in the property concerned is that of

67 South Jara LLC (owner).

3 That (the applicant) ~~(the applicant's duly authorized~~ 67 South Jara LLC ) on or about the  
26 day of April 2022, filed in the office of the Department of Buildings of the Village of  
Freeport, New York, an application for a Building Permit. Documents filed with said application were  
as follows: Application For erection of building or alterations, Short

environmental Assessment Form, Survey, drawings, contractor  
license, worker compensation, Nassau County Assessor sheet.

Obtain reason for  
denial from  
Department of  
Buildings.

That on or about the 24 day of August, 2022, the Department of Buildings denied said  
application; upon information and belief that the reason for said denial was as follows: S210-6A,  
S 210-80(A) and S210-172A(2)(a). Residential use not  
allowed and Required parking spaces.

Describe by  
construction and  
number of stories. If  
none, so state.

That the nature of the improvements now upon said premises is as follows: 1st Floor interior  
renovation two retail spaces. one will be owner occupied and the  
second for rent. 2ND Floor: Convert retail to 1 family residential.

State nature of use of  
property. If a  
business, give brief  
description.

That said premises are now being used as follows: Existing Cellar is storage (No change),  
1st Floor Retail space - 2ND Floor office/storage to be  
re-designed as one family apartment.

Describe fully and  
clearly the use  
desired.

That the applicant seeks authority to make use of said premises as follows: Cellar as Storage,  
1st Floor Commercial and 2ND Floor residential.

Strike out whichever  
word is not  
applicable. Follow  
language in  
ordinance.

4 Upon information and belief that a ~~(permit)~~ (variance) for such use may be granted by this Board by  
virtue of the following sections of the said Zoning Code of The Village of Freeport or statutes of the  
State of New York Village Ordinance 210-6A - Village Ordinance  
210-80(A) "permitted uses" - Village Ordinance 210-172A(2)(A)  
Required parking spaces.

Refer where possible  
to paragraphs and  
section by numbers.

5 That the following is a statement of other factual information deemed pertinent by the applicant. If the  
application involves a subdivision of property, describe the existing property: N/A.

If more space is needed annex statement on separate sheet and refer to it here with following words: "See annexed statement which is made a part hereof." Save opinions for the hearing.

If non-conforming use is claimed, set forth uses made of premises and dates thereof in chronological order.

If this verification is made by an officer of a corporation or an Association or by a legal representative of an estate, his name and office should be designated on the first line.

10. That the grounds for this application are as follows: Allow residential use on the second floor and review required parking spaces.

11. That any deed restrictions running with the land prohibiting the desired use are as follows: N/A.

12. That (the applicant has made no previous application to this Board for the authority sought herein) (upon information and belief a previous application was made for the same or similar authority sought herein and denied by this Board, but that this application contains facts not alleged or shown in any previous proceeding before this Board).

WHEREFORE, the applicant respectfully prays that the authority sought herein be granted.

Dated: 09-27-22, 2022. Beatriz E Firpo.

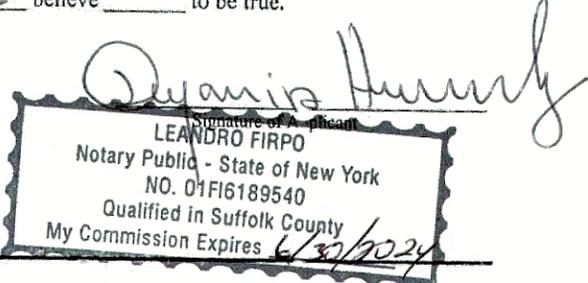
BY: Beatriz E Firpo  
ITS: EXpedite.

State of New York )  
County of Nassau ) ss:

The applicant 67 South Jura LLC named in the foregoing application, being duly sworn, depose and say that I read the foregoing application subscribed by \_\_\_\_\_ and know the contents thereof; and that the same is true to my own knowledge except as to the matters therein stated to be alleged on information and belief, and that as to those matters I believe \_\_\_\_\_ to be true.

Sworn to before me this 27 day  
of 09, 2022.

Notary Public Leandro Firpo



**Notice  
Conflict of Interest**

I have read Section 809 of the General Municipal Law concerning disclosure of and conflict of interest and hereby certify that there are no conflicts in respect to this application requiring disclosure.

9-27, 2022  
Date Year

Beatriz E. Firpo  
Signature

**Affidavit of Owner**

To be completed only if the owner is not the applicant.

State of New York )  
County of Nassau ) ss:

I \_\_\_\_\_ being duly sworn, depose and say:

That he/she (the owner of \_\_\_\_\_) (is the \_\_\_\_\_) of \_\_\_\_\_ the property concerned is correct to the best of the knowledge of deponent \_\_\_\_\_.)

That the owner \_\_\_\_\_ consents to the granting of the authority sought in the above application.

Sworn to before me this \_\_\_\_\_ day  
of \_\_\_\_\_, 20 \_\_\_\_\_.

\_\_\_\_\_  
Signature

Notary Public \_\_\_\_\_

617.20  
Appendix B  
Short Environmental Assessment Form

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**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

2022 SEP 28 A 9:15  
CLEAR'S OFFICE  
VILLAGE OF FREEPORT, NY

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>			
Name of Action or Project: 1st and 2ND Floor Interior Renovation.			
Project Location (describe, and attach a location map): 67 South Main Street Freeport NY 11520			
Brief Description of Proposed Action: Commercial Alterations - 2 Retail Spaces on 1st Floor, 2 bedroom apartment on the 2ND Floor and no change in basement. - 1st Floor, interior metal framing with 5/8 sheet rock for office space. New tile on floor. Replace back door and stair case from basement. Install ceiling tiles through out. - 2ND Floor = Metal stud. Framing and 5/8" sheet rock. Hard wood flooring, ceramic tile for bathrooms and kitchen. fixture installation.			
Name of Applicant or Sponsor: 67 South Jara LLC (DeYuniva Haverly)		Telephone: 516 993 5510	
Address: 133 Clark Ave		E-Mail: msdianahaverly@gmail.com	
City/PO: Muskapequa		State: NY	Zip Code: 11758
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO YES <input checked="" type="checkbox"/> <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO YES <input checked="" type="checkbox"/> <input type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		0.1	acres
b. Total acreage to be physically disturbed?		_____	acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____	acres
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Are public transportation service(s) available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing potable water: _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100 year flood plain?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? <input type="checkbox"/> NO <input type="checkbox"/> YES If Yes, briefly describe: _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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VILLAGE OF FREEPORT, NY

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18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	<input type="checkbox"/>	<input type="checkbox"/>

I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

Applicant/sponsor name: 6711 South Jara LLC. Date: 09-27-22

Signature: [Handwritten Signature]

**Part 2 - Impact Assessment.** The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

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	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

**Part 3 - Determination of significance.** The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

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<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
<hr/>	
Name of Lead Agency	Date
<hr/>	
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
<hr/>	
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

# DEPARTMENT OF BUILDINGS

OF THE VILLAGE OF FREEPORT, N.Y.

APPLICATION NO. 20222789

RECEIVED

Filing Date 4-26-2022

## Application for Erection of Buildings or Alterations

**IMPORTANT - Applicant to complete all items in sections: I, II, III, IV, V**

1. LOCATION OF BUILDING: CLERK'S OFFICE OF FREEPORT

IDENTIFICATION NO. 67 (No.)

STREET South Main Street (Street)

CROSS STREET W. Merrick (Cross Street)

ZONING DISTRICT Commercial

BETWEEN 55 (Cross Street) AND 19 (Cross Street)

SECTION 55 BLOCK 205 LOT 19

APPROX. LOT SIZE 20 x 150 LOT AREA 3,000 ±

**II. TYPE AND COST OF BUILDING - All applicants complete Parts A - D.**

**A. TYPE OF IMPROVEMENT**

- 1 | New building
- 2 | Addition-Alteration (if residential, enter number of new housing units added. If non-residential name)
- 3 | Swimming Pool
- 4 | Repair (replacement)
- 5 | Bulkhead (New, Repair)
- 6 | Fence
- 7 | Moving (relocation)

**B. PROPOSED OR EXISTING USE**

**RESIDENTIAL**

- 11 | One Family
- 12 | Two Families
- 13 | Apartment - Enter No. of Units 1
- 14 | Transient hotel, motel, or dormitory - Enter No. of Units
- 15 | Garage or Accessory Structure
- 16 | Other - Specify

**NON RESIDENTIAL - Complete Part "E"**

- 17 | Industrial
- 18 | Office, bank, professional
- 19 | Store, mercantile
- 20 | Church, other religious
- 21 | Hospital, institutional
- 22 | Other - Specify Mixed Residential-Commercial

**C. COST**

10 TOTAL COST OF IMPROVEMENT \$ 65,000

**D. DESCRIPTION OF PROJECT**

Basement = No Changes  
1st Floor = Interior Renovation 2 Retail Spaces.  
2nd Floor = Interior Renovation 2 bedrooms Apt.

**III. IDENTIFICATION - To be completed by all applicants**

	NAME	MAILING ADDRESS - Number, street, city and state, Zip	TEL. NO.
1. Owner or Lessee	<u>67 South Jarq LLC</u>	<u>133 Clark Ave Massapequa NY 11758</u>	<u>516 993 5510</u>
2. Contractor	<u>RJG Construction Inc</u>	<u>29 Northcote Rd Westbury NY 11590</u>	<u>516 860 6352</u>
3. Architect or Engineer	<u>Green Design app letter</u> <u>Hope Drafting Svc.</u>	<u>130 N. Windhorst Avenue Bethpage NY 11714</u> <u>125 Cortland Street Copiague NY 11726</u>	<u>516 476 8168</u> <u>631 575 6254.</u>

**IV. OWNER - CONTRACTOR STATEMENT**

Building permit is issued subject to the provisions of Section 87 of the Workmen's Compensation Law.

Workmen's Compensation Certificate No. \_\_\_\_\_ Company \_\_\_\_\_ Exp. Date \_\_\_\_\_

Contractor or Owner RJG Construction Inc (Print)  
 Address 29 Northcote Rd Westbury NY 11590  
 Phone 516 860 6352

State of New York  
 County of Nassau  
Deyanira Haverly being duly sworn, says that she (He or She) is the contractor or owner of the above mentioned building. That the terms of the above application also the estimated cost of said building or alteration, is correct to the best of Her (His or Her) knowledge and belief and agrees to conform to all applicable laws of this jurisdiction.

Sworn to before me this 26 day of April, 2022

[Signature] Notary Public, County, N.Y.

[Signature] Applicant Signature

**V. FLOOD ZONE**

IS PROJECT LOCATED WITHIN A DESIGNATED FLOOD HAZARD ZONE?  
 YES \_\_\_\_\_ NO X  
 IF YES, WHICH ZONE? \_\_\_\_\_

IS PROJECT TO REPAIR FLOOD DAMAGE?  
 YES \_\_\_\_\_ NO X

**PROJECT DESCRIPTION**

Total/First Flr Square Feet 2,914

Upper Flrs Square Feet 1,447

# of Fixtures \_\_\_\_\_

# of Floors 2

Occup. Type Mixed



**VI. VALIDATION (Official Use Only)**

Building Permit Number \_\_\_\_\_

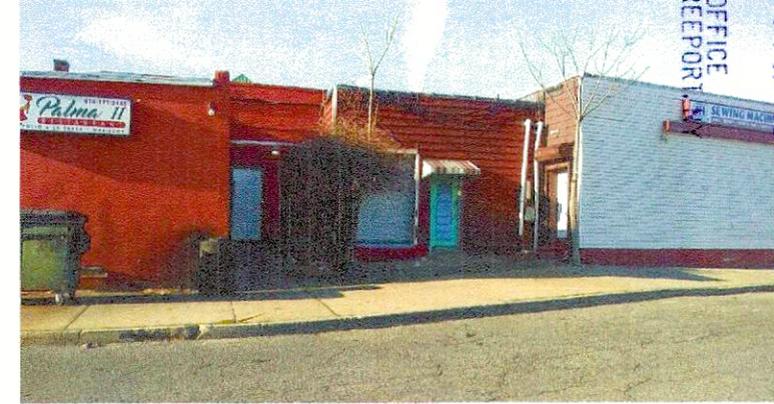
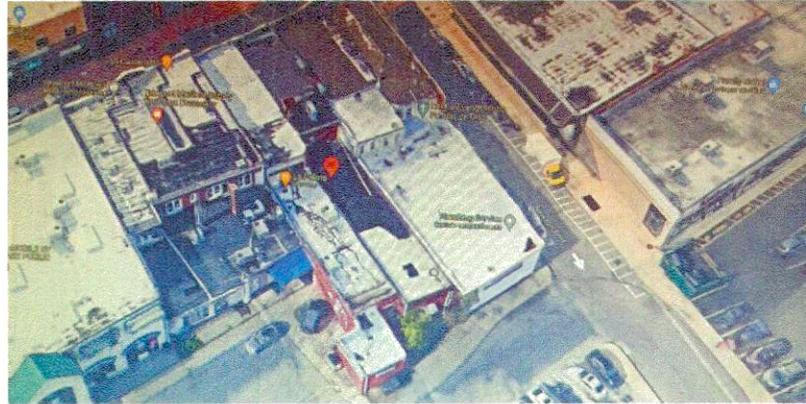
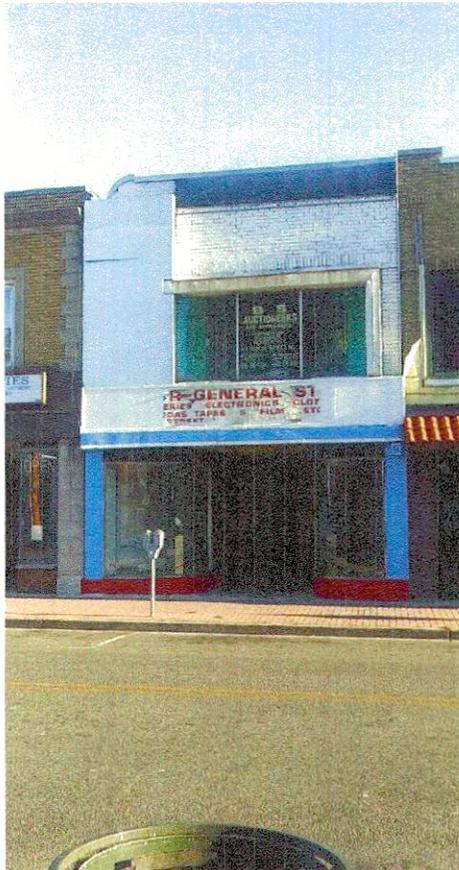
Building Permit Issued \_\_\_\_\_

Building Permit Fee \$ \_\_\_\_\_

Approved by: \_\_\_\_\_

Superintendent of Buildings

# 67 SOUTH MAIN STREET, FREEPORT, NY 11520



2022 SEP 28 A 11:40  
DA ERK'S OFFICE  
VILLAGE OF FREEPORT

RECEIVED

TITLE No:

SURVEY No: N-55-205-19

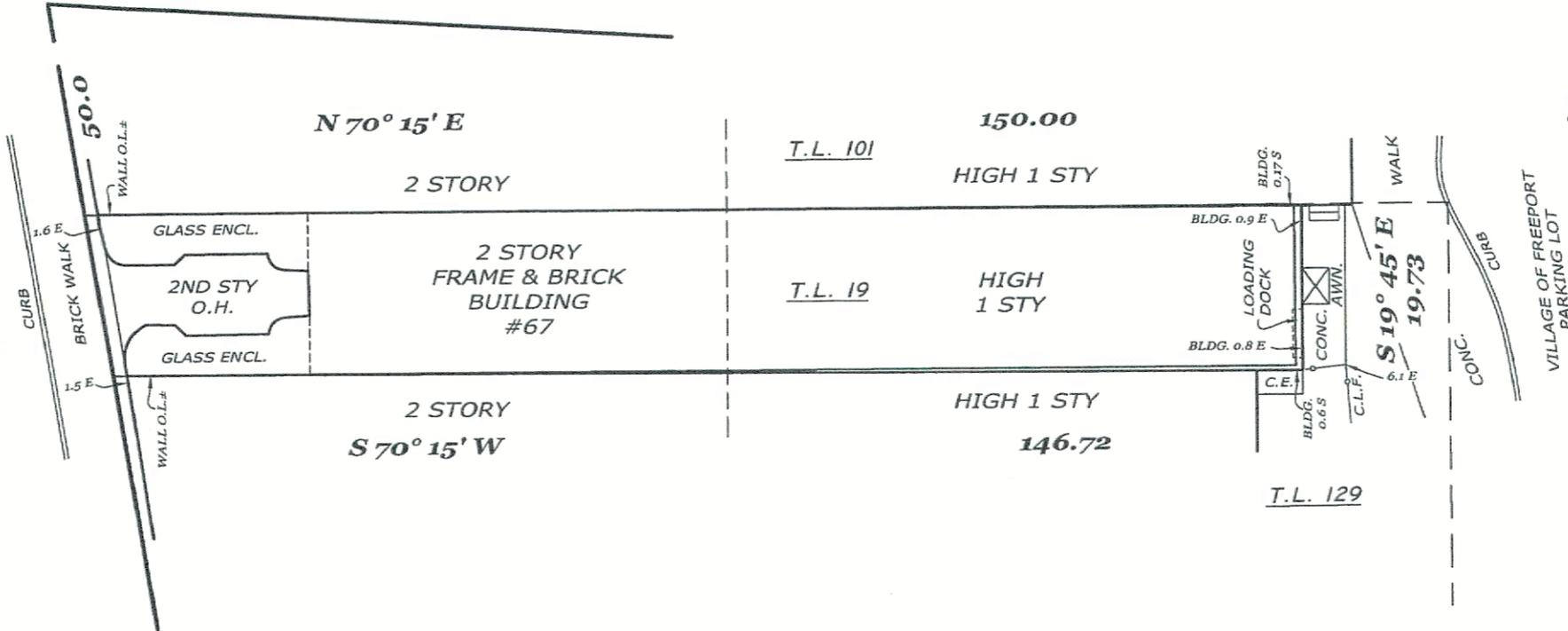
RECEIVED

2022 SEP 28 A 11:40

CLERK'S OFFICE  
VILLAGE OF FREEPORT, N.Y.  
MAIN ST.

SOUTH

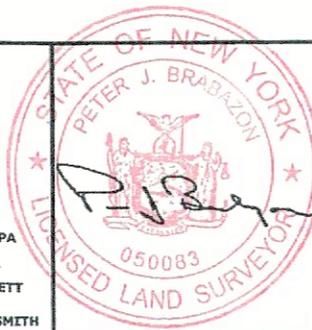
N 29° 07' W  
20.00



**Peter J. Brabazon PLS, P.C.**  
**Professional Land Surveyor**  
 430 West Old Country Rd, Hicksville NY 11801  
 Phone: (516) 822-5111 Fax: (516) 822 4395  
 www.BrabazonSurveying.com

Successor to:

KENNETH S. O'BRIEN - BALDWIN & CORNELIUS - PETER & WALTER KEMPA  
 - FREDERICK W. KAHLER - GEORGE H. WALBRIDGE CO. (W. SUFFOLK)  
 - PETER L. PFLEIDERER JR. - ARTHUR W. LEACH - H.F. BISHOP - ROBERT  
 D. JONES (NASSAU) - SHAH ASSOCIATES - JULIUS JARGSTORFF - MURRETT  
 H. DELORME - WILLIAM H. SEAMAN - JEFFREY J. ROBERTSON - H.A.  
 SCHMIELAU - IVAN E. CZIPOTT - C.A. MONROE - KAHLER & PYNCHON - SMITH



SURVEY OF PROPERTY AT: **FREEPORT**  
 MAP: **NASSAU COUNTY TAX MAP**  
 SECTION: **55** BLOCK: **205** LOT(S): **19**  
 FILED: \_\_\_\_\_ CASE No. \_\_\_\_\_  
 MAP No.: \_\_\_\_\_ COUNTY OF: **NASSAU**, N.Y.

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS SURVEY IS A VIOLATION OF SEC. 7209 OF THE N.Y.S. EDUCATIONAL LAW  
 COPIES OF THIS SURVEY NOT BEARING THE SURVEYOR'S INKED OR EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A VALID  
 TRUE COPY. OFFSETS OF BUILDINGS AND OTHER POSSESSIONS ARE NOT  
 TO BE USED FOR CONSTRUCTION OR DESIGN PURPOSES. SUBSURFACE CONDITIONS ARE NOT SHOWN. EASEMENTS & RIGHT OF  
 WAY OF RECORD IF ANY, NOT SHOWN. GUARANTEES INDICATED HEREON ARE NOT TRANSFERABLE.

SURVEY DATE: 02/15/2022

GUARANTEED TO:

- NOT FOR TITLE PURPOSES -

LEGEND

O.H.S.W.  
 O.L.

FENCE  
 SHRUBS/HEDGES  
 OVER HEAD SERVICE WIRES  
 ON-LINE



## GENERAL NOTES:

1. Architect/ Engineer are not responsible for job supervision.
2. Contractor to verify adequacy of existing bearing walls and headers to bear new second story construction.
3. Contractor to confirm that all asbestos insulation has been removed from the premises by a licensed asbestos removal company before construction begins.
4. These drawings have been prepared by or under the direction of the undersigned and to the best of the undersigned's knowledge, belief, and professional judgement are in compliance with the New York State Energy Conservation Construction Code and the 2020 Building Code of New York State.
5. It is a violation of the New York State Education Law for any person, unless acting under the direction of a registered Architect or a licensed Professional Engineer to alter any item on this drawing. All alteration must be made in compliance with the New York State Education Law, and Construction Code. The professional whose seal appears hereon assumes no responsibility for any such alteration or re-used without his written consent.
6. The liability of Brian O'Connor interrater for errors, omissions, and/or negligence resulting in personal injuries, property damage, or any consequential damage is limited to the amount of the fee paid for these drawings. The retention or use of all or any part of these drawings will constitute acceptance of this limitation of liability. Copyright 2012 Brian O'Connor, Green Design Architect.
7. The issuing and/or granting of any certificate of use or occupancy is totally and completely under the control of the town, village, city or county government. The architect assume absolutely no responsibility for the issuing and or granting of any certificates of use and/or occupancy.

## GENERAL NOTES:

1. CONFORM ALL WORK TO NYS BUILDING CODE 2020
2. DRAWINGS SHOW EXISTING CONSTRUCTION WITH NEW WORK NOTED.  
NEW AND EXISTING WORK IS WOOD FRAME CONSTRUCTION
3. VERIFY DIMENSIONS AND CONDITIONS ON SITE. FAILURE TO CONSIDER ANY ITEM SHALL NOT CONSTITUTE GROUNDS FOR AN EXTRA. DIMENSIONES AREA TO FACE OF ROUGH MASONRY WALLS, SHEET ROCK AND CENTER LINES OF STRUCTURAL STEEL
4. NOTIFY THE COMMISSIONER OF THE DEPT OF BUILDINGS 24 HOURS BEFORE BEGINNING WORK FOR WHICH A PERMIT HAS BEEN ISSUED.
5. SEMI CONTROLLED INSPECTIONS INCLUDE UNREINFORCED MASONRY. INSPECT BEDDING AND PLACING UNITS, CHECK SIZES, THICKNESS OF WALLS AND WYTHES, COLUMNS, PROVISIONS FOR CURING AND PROTECTING AGAINST FREEZING.
6. CONTRACTOR OBTAIN AND PAY FOR ALL PERMITS AND APPROVALS, INCLUDING CERT. OF OCCUPANCY
7. NOTIFY OWNERS OF ADJOINING PROPERTIES AND SERVICES FACILITIES, 5 DAYS BEFORE APPLYING FOR PERMIT IF EXCAVATION MAY AFFECT THEM, PROTECT AND SUPPORT THEM.
8. PROVIDE EQUIPMENT AND TEMPORARY CONSTRUCTION TO SAFEGUARD PERSONS AND PROPERTY GUARD, SHIELD OR BARRICADE ALL MACHINERY, TOOLS, SERVICE LINES, CONDUITS, TO PREVENT CONTACT BY PUBLIC. MAINTAIN STRUCTURAL INTEGRITY OF ADJOINING WALLS, GROUNDS, PROPERTY, PROTECT THEM FROM INJURY. LOCATE AND PROTECT UTILITIES NOTIFY COMPANIES 72 HOURS BEFORE WORKING ON UTILITIES.
9. MATERIALS, ASSEMBLIES, FORMS AND OTHER METHODS OF CONSTRUCTION AND SERVICE EQUIPMENT SHALL:  
A- HAVE BEEN ACCEPTABLE PRIOR TO THE EFFECTIVE DATE OF THE CODE;  
B-HAVE BEEN ACCEPTED FOR USE UNDER THE PRESCRIBED CODE TEST METHODS, BY THE COMMISSIONER; OR  
C-BE APPROVED BY THE BOARD OF STANDARS AND APPEALS, UNDERWRITERS LABORATORY OR HAVE A MATERIALS AND EQUIPMENT ACCEPTANCE NUMBER
10. CONTRACTOR SHALL FILE WORKMEN COMPENSATION WITH TOWN AND OBTAIN DISABILITY INSURANCE AND IF REQUIRED, OBTAIN PERMITS AND PAY ALL FEES REQUIRED BY THE DEPARTMENT OF BUILDINGS
11. BUILDER SHALL TAKE NECESSARY PRECAUTIONS TO INSURE THE SAFETY OF THE WORKMEN, THE EXISTING STRUCTURE AND THE OCCUPANTS.
12. A LICENSED ELECTRICIAN SHALL PERFORM ANY AND ALL ELECTRICAL WORK IN ACCORDANCE WITH NYS ELECTRICAL CODE AND NBFU CODE AND SHALL REGISTER WORK WITH DEPARTMENT HAVING JURISDICTION. PRIOR TO FINAL PAYMENT TO BUILDER, A COMPLETION CERTIFICATE SHALL BE ISSUED TO THE OWNER.
13. ANY AND ALL PLUMBING WORK SHALL BE PERFORMED BY A LICENSED PLUMBER WHO SHALL FILE ALL WORK PERFORMED.
14. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR PRIOR ARCHITECTS APPROVAL.
17. USE 3000 PSI STONE CONCRETE FOR CELLAR
18. USE 4000 PSI STONE CONCRETE ELSEWHERE WITH AGGREGATE ASTM C530
19. USE PORTLAND CEMENT ASTM 150
20. MIX AIR ENTRAINING AGENT IN ALL CONCRETE TO REMAIN EXPOSED
21. MIX A MAXIMUM OF 5 GALLONS OF WATER/ SACK
22. FIRE STOP PER NYS CODE
23. USE DOUBLE GLAZED WINDOWS WITH THERMAL BREAK AAMA SEAL FOR DH-AZHP
24. FLASH AND CAULK WITH ACRYLIC - LATEX ROUND ALL WINDOWS AND DOORS
25. UNDERCUT BATHDOOR 1"
26. CONCEAL ALL PIPES AND DUCTS IN FINISHED SPACES
27. CLOSE UP MASONRY HOLES THRU WHICH HEATING PIPES PASS; THRU
28. WALLS, WITH MATERIAL OF SAME FIRE RESISTANCE.
29. WHERE PIPES PASS THRU FLOOR LEVELS, FILL SOLIDLY TO FRA, IMG WITH 1HR RATED FIBERGLASS INSULATION AND FIRE RATED CAULK.
30. CLOSE FURRED OR HUNG CEILING THAT WILL CONCEAL PIPES, ONLY IF ALREADY TESTED
31. CONTRACTOR OR THE OWNER SHALL INDEMNIFY AND HOLD HARMLESS THE ARCHITECT AGAINST ALL EXPENSES AND ATTORNEYS FEES FOR ANY LAWSUITS OR ACTION ARISING IN WHOLE OR IN PART FROM ANY ACT OR OMISSION OF THE CONTRACTOR, SUBCONTRACTOR, OR ANYONE DIRECTLY OR INDIRECTLY EMPLOYED BY THE OWNER.

## NYS ENERGY CODE

Contractor to comply with the 2020 NYS Energy Code Code requirements, including but not limited to

### A. OUTDOOR DESIGN CONDITION CLIMATE ZONE 4

1. Winter, NYS Freeport 11-13 F
2. Summer, NYS Freeport 89 FDB

### B. INTERIOR DESIGN CONDITIONS

1. Winter 72 F DB and 30% Maximum relative humidity
2. Summer 78 F DB and 60% Maximum relative humidity

### C. HEATING 5000 - 5750 DEGREE DAYS

1. Walls to 2 stories  $U_w = .24$
2. Roof/Ceiling  $U_r = 0.5$
3. Floors  $U_f = .08$
4. Slab Unheated  $U_s = .20$

### D. INSULATION - SPRAYED ON FOAM INSULATION

Roofs  
Attic + Others: R53  
Walls, Above grade  
Wood Frame: R21  
Wood Below Grade: R10  
Floors - Joist / Framing: R-30

WINDOWS: U-Factor  
Non Metal Framing: 0.28  
Metal Frame Fixed: 0.30  
Entrance Door: 0.77

Certificate of R value installed  
From certified installer Spray Foam Insulation

1. Insulate Slabs on Grade or Walls Below Grade With  $R=5.0$  Penmeter Insulation for at Less at 24"
2. Basement/ Crawl Space = R-5
3. Insulate Roof/ Ceiling with  $R=19, 10"$  Fiberglass Batts and Vapor Barner
4. Windows = R 1.7

### E. AIR LEAKAGE PER E402.4 Table 4-4 Max In 110 MPH Wind:

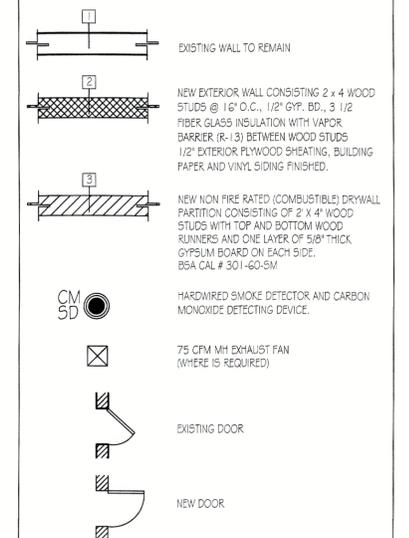
1. Windows CFMLF 0.55 Non Metal or Metal Clad
2. Doors CFM/LF Sliding Glass 0.55  
1.0 CFM/SF Swing Type  
1.1.10 CFM/LF Others (Single Glass Door- Metal W/Thermal Break )

- F. 1. Double Glaze Windows
2. Caulk, Gasket, Weather Strp or Seal Joints Around Windows and Door Frames, Openings between Walls and Roof/ Ceiling, Holes thru Walls, Utility Floors.
3. Calculate Heating Loads per E402.4.
4. Comply Controls to E503.3.2: Set Thermostats from 65-75 for Heating, from 65-72 for Cooling.
5. Shut off Mechanical Ventilation per E503.6.
6. Insulate Piping: Up to 1", 1/2" on Local Branches, E503.3 and E504.4.
7. Construct Ducts and Insulate Them per E503.3.
8. HVAC Equipment to Have Minimum Performance Coefficients per 503.2.
9. Water Heaters, Tanks and Boilers to Have Minimum Efficiencies and Maximum Standby Losses E504.2.
10. Conserve Hot Water with Devices Limiting Flow to 3GPM at 60 PSI on Lavs and Showers, E504.6.
11. Install Electnc System per E505.1 and 505.2.
12. meter Electricity Separatel to Units 102.6
13. Install Exterior Lighting per E805.5 and 806.2

## PROPERTY LOCATION:

67 SOUTH MAIN STREET  
FREEPORT, NY 11520

## LEGEND:



## GREEN DESIGN

Architect - Brian O'Connor  
130 N. Windhorst Avenue  
Bethpage, NY, 11714  
(516)476-8168  
GreenDesign411@aol.com

## HOPE DRAFTING SVC

Beatriz E. Firpo  
125 Cortland St.  
Copiague, NY, 11726  
(631)575-6254  
bfirpo13@gmail.com

## DRAWING NAME:

EXISTING FLOOR PLANS

STAMP A./E.:

DATE:



DRAWING NO:

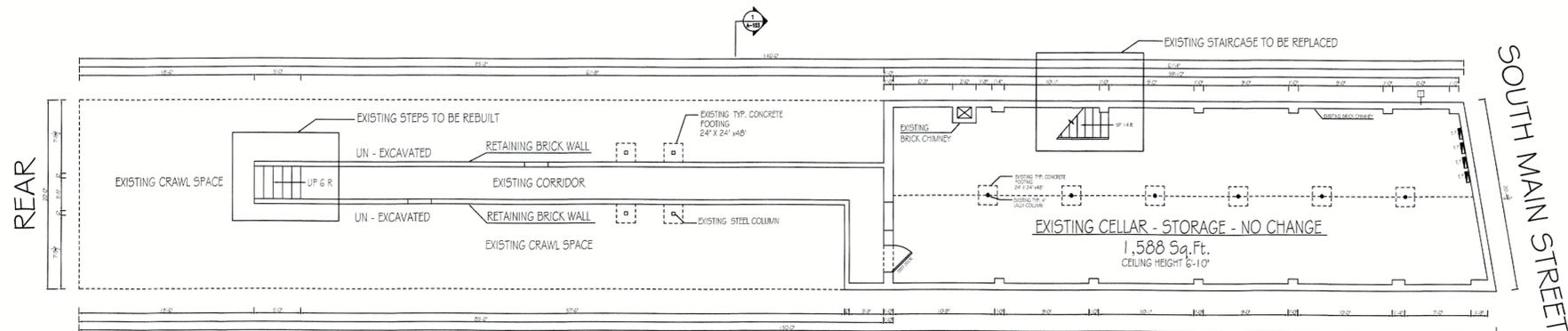
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06/15/2022

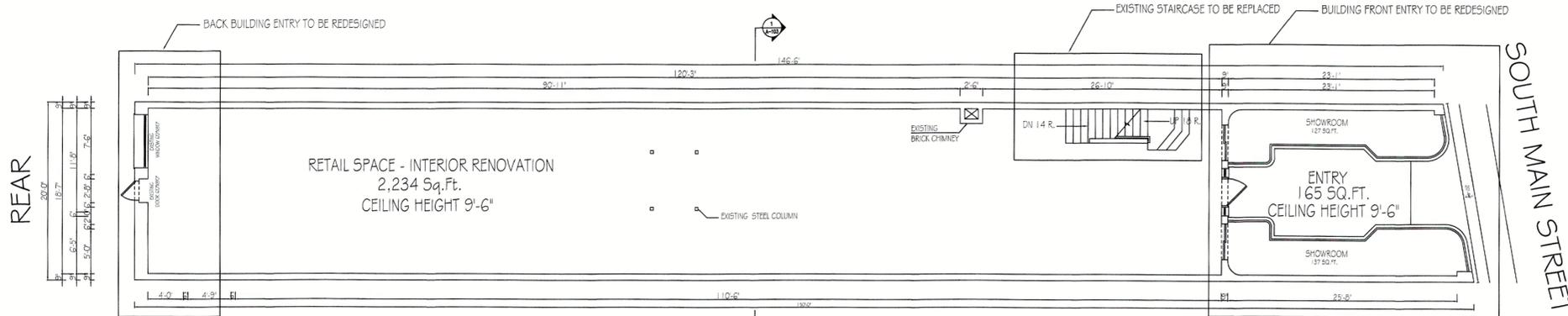
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2 OF 10

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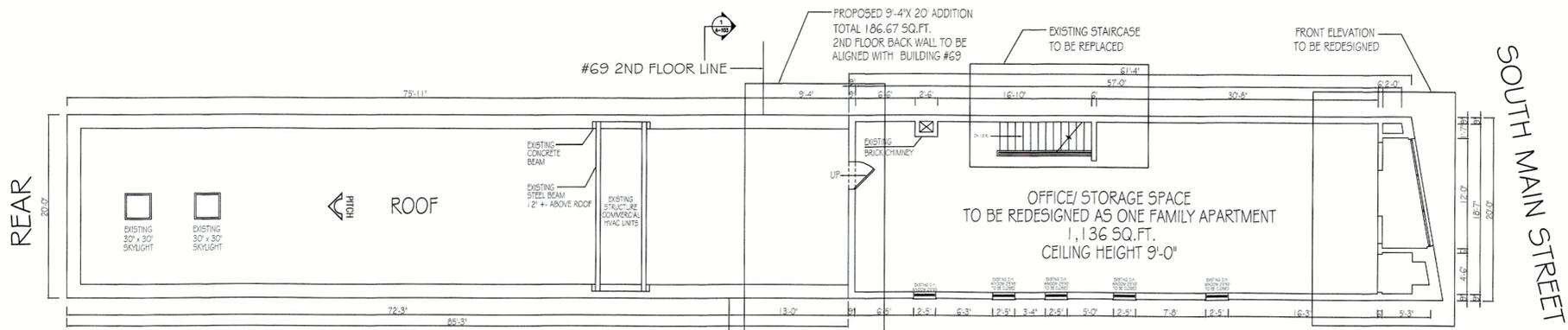
DOB APPLICATION #:



**EXISTING CELLAR PLAN**  
SCALE 1/8" = 1'-0"



**EXISTING 1ST FLOOR**  
SCALE 1/8" = 1'-0"



**EXISTING 2ND FLOOR**  
SCALE 1/8" = 1'-0"

PROPERTY LOCATION:  
67 SOUTH MAIN STREET  
FREEPORT, NY 11520

**LEGEND:**

- EXISTING WALL TO REMAIN
- NEW EXTERIOR WALL CONSISTING OF 2 X 4 WOOD STUDS @ 16\"/>

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Beatriz E. Firpo  
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bfirpo13@gmail.com

DRAWING NAME:  
**EXISTING FLOOR PLANS**

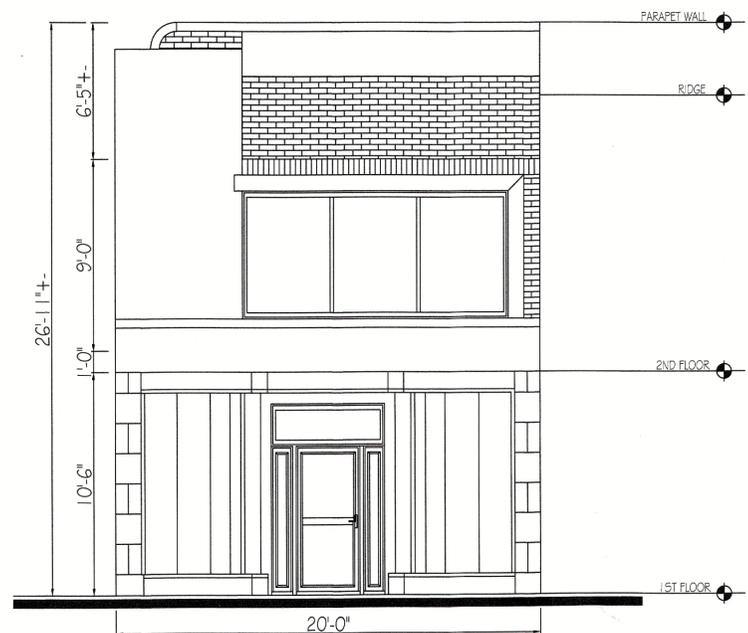
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DOB APPLICATION #:



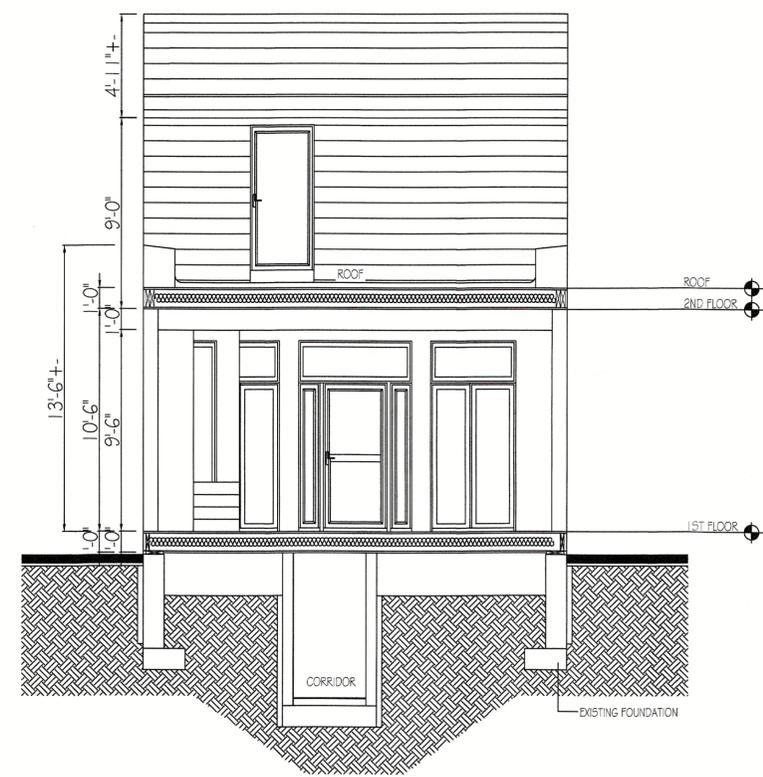
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SCALE 1/4" = 1'-0"



**EXISTING BACK ELEVATION**

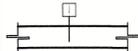
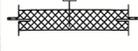
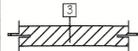
SCALE 1/4" = 1'-0"



**EXISTING SECTION A-A - ELEVATION**

SCALE 1/4" = 1'-0"

PROPERTY LOCATION:  
67 SOUTH MAIN STREET  
FREEPORT, NY 11520

- LEGEND:
-  EXISTING WALL TO REMAIN
  -  NEW EXTERIOR WALL CONSISTING OF 2 x 4 WOOD STUDS @ 16" O.C., 1/2" GYP. BD., 3 1/2" FIBER GLASS INSULATION WITH VAPOR BARRIER (R-13) BETWEEN WOOD STUDS, 1/2" EXTERIOR PLYWOOD SHEATHING, BUILDING PAPER AND VINYL SIDING FINISHED.
  -  NEW NON FIRE RATED (COMBUSTIBLE) DRYWALL PARTITION CONSISTING OF 2" x 4" WOOD STUDS WITH TOP AND BOTTOM WOOD RUNNERS AND ONE LAYER OF 5/8" THICK GYPSUM BOARD ON EACH SIDE. BSA CAL # 301-60-5M
  -  HARDWIRED SMOKE DETECTOR AND CARBON MONOXIDE DETECTING DEVICE.
  -  75 CFM MH EXHAUST FAN (WHERE IS REQUIRED)
  -  EXISTING DOOR
  -  NEW DOOR

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DRAWING NAME:  
**EXISTING ELEVATIONS**

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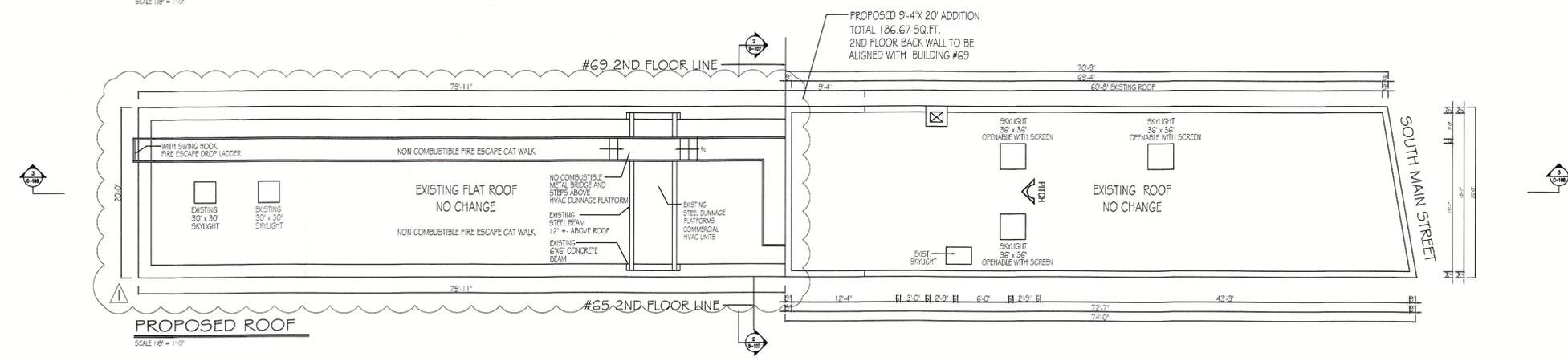
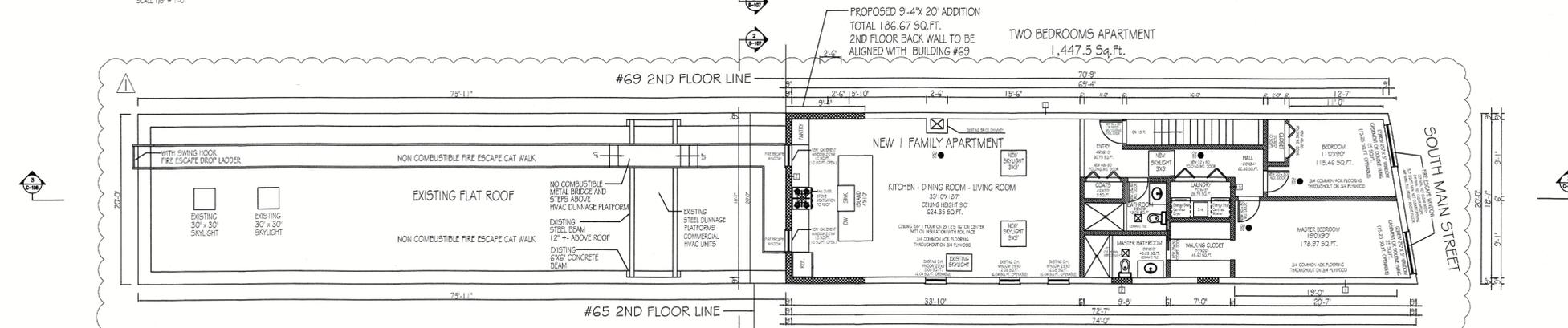
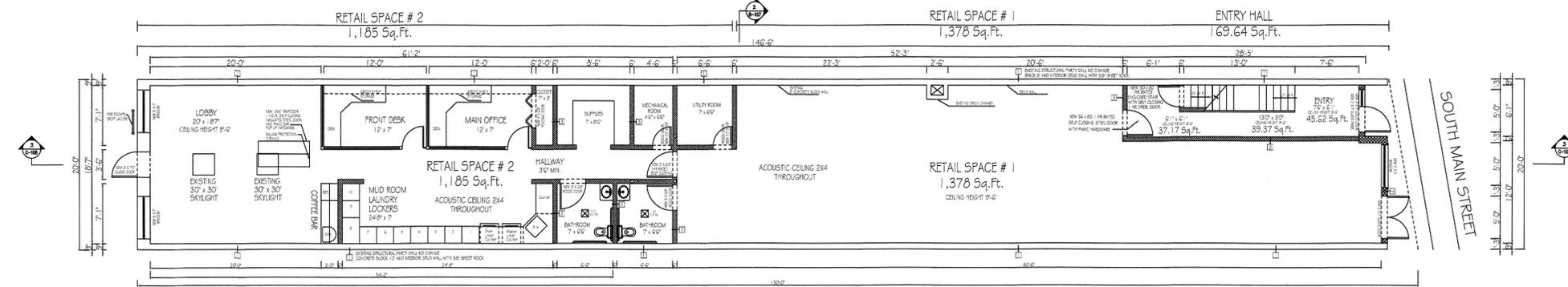
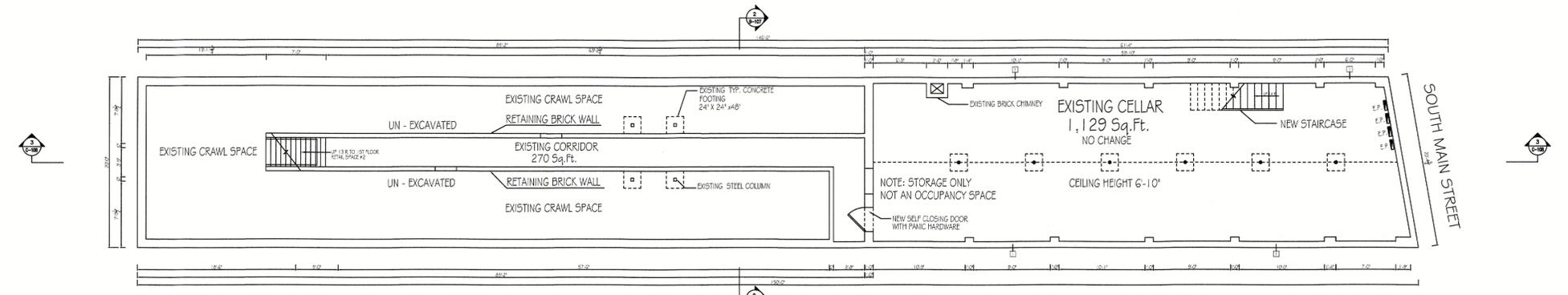


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**A-103.00**

DATE: 06/15/2022 PAGE No: 4 OF 10

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DOB APPLICATION #:



PROPERTY LOCATION:  
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FREEPORT, NY 11520**

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  - CM SD HARDWIRED SMOKE DETECTOR AND CARBON MONOXIDE DETECTING DEVICE.
  - 75 CFM MH EXHAUST FAN (WHERE IS REQUIRED)
  - EXISTING DOOR
  - NEW DOOR

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DRAWING NAME:  
**PROPOSED FLOOR PLANS**

STAMP A./E.: DATE:

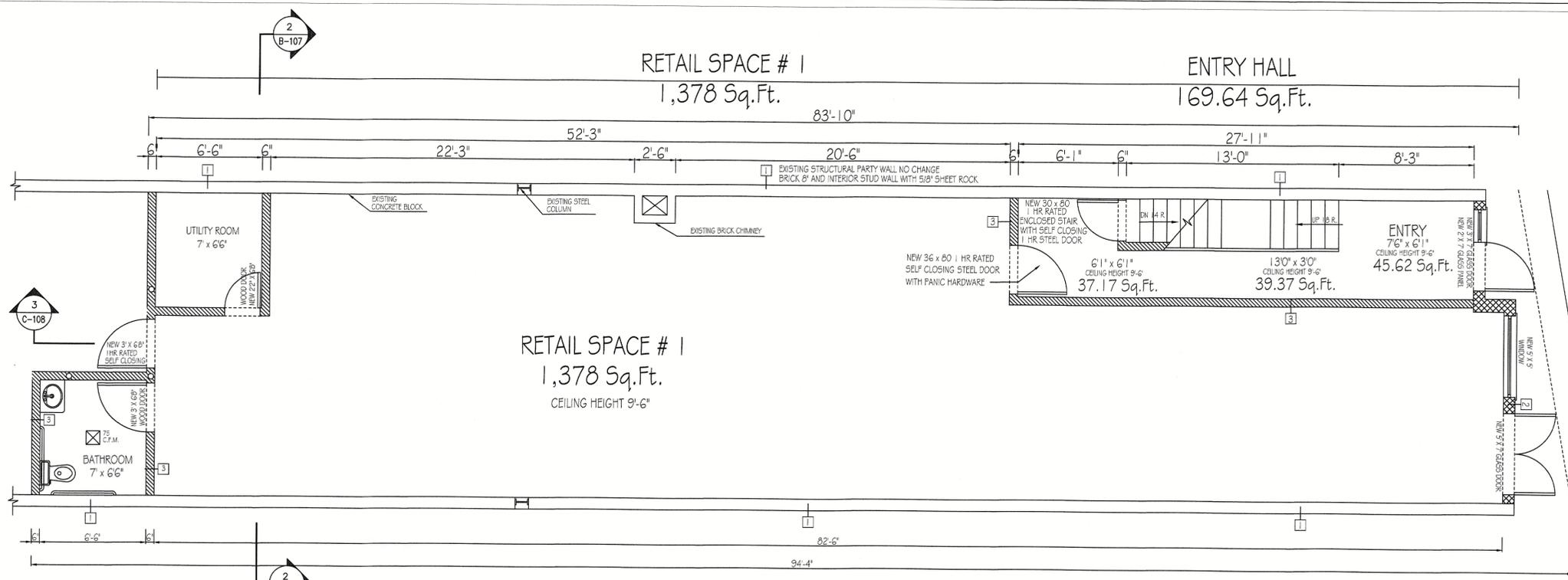


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DATE: **06/15/2022** PAGE No: **5 OF 10**

DOB STAMP:

DOB APPLICATION #:



**RETAIL SPACE #1 1,613 SQ.FT.**

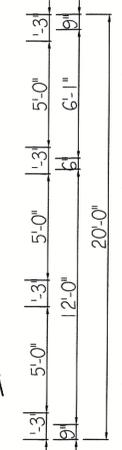
SCALE 1/4" = 1'-0"



SOUTH MAIN STREET

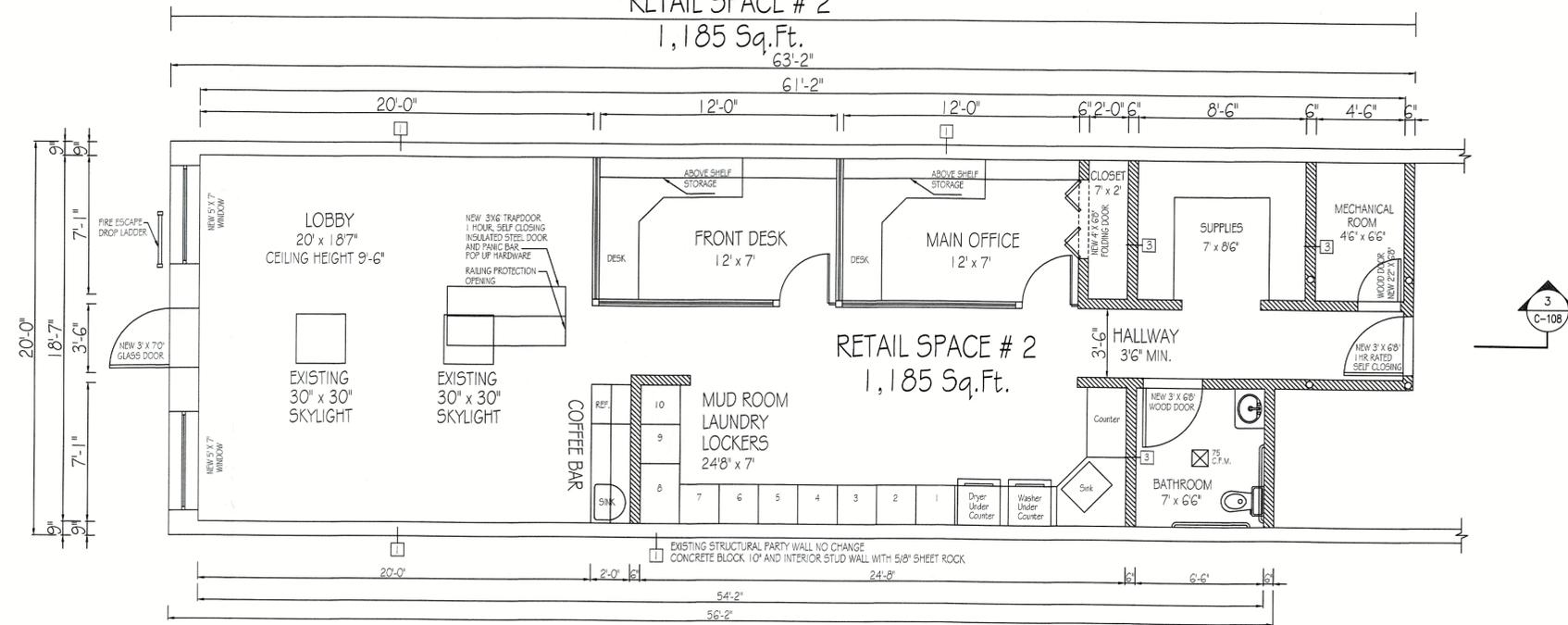
PROPERTY LOCATION:  
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FREEPORT, NY 11520

- LEGEND:
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  - HARDWIRED SMOKE DETECTOR AND CARBON MONOXIDE DETECTING DEVICE.
  - 75 CFM MH EXHAUST FAN (WHERE IS REQUIRED)
  - EXISTING DOOR
  - NEW DOOR



**RETAIL SPACE #2**

1,185 Sq.Ft.



**RETAIL SPACE #2 1,136 SQ.FT.**

SCALE 1/4" = 1'-0"



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bfirpo13@gmail.com

DRAWING NAME:  
**FLOOR PLANS RETAIL SPACES**

STAMP A./E.: DATE:



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**A-105.00**

DATE: 06/15/2022 | PAGE No: 6 OF 10

DOB STAMP:  
DOB APPLICATION #:

PROPERTY LOCATION:  
67 SOUTH MAIN STREET  
FREEPORT, NY 11520

- LEGEND:
- EXISTING WALL TO REMAIN
  - NEW EXTERIOR WALL CONSISTING OF 2 X 4 WOOD STUDS @ 16" O.C., 1/2" GYP. BD., 3 1/2" FIBER GLASS INSULATION WITH VAPOR BARRIER (R-13) BETWEEN WOOD STUDS, 1/2" EXTERIOR PLYWOOD SHEATHING, BUILDING PAPER AND VINYL SIDING FINISHED.
  - NEW NON FIRE RATED (COMBUSTIBLE) DRYWALL PARTITION CONSISTING OF 2 X 4 WOOD STUDS WITH TOP AND BOTTOM WOOD RUNNERS AND ONE LAYER OF 5/8" THICK GYPSUM BOARD ON EACH SIDE. BSA CAL # 301-60-5M
  - CM 5D HARDWIRED SMOKE DETECTOR AND CARBON MONOXIDE DETECTING DEVICE.
  - 75 CFM M.H. EXHAUST FAN (WHERE IS REQUIRED)
  - EXISTING DOOR
  - NEW DOOR

**GREEN DESIGN**  
Architect - Brian O'Connor  
130 N. Windhorst Avenue  
Bethpage, NY, 11714  
(516)476-8168  
GreenDesign411@aol.com

HOPE DRAFTING SVC  
Beatriz E. Firpo  
125 Cortland St.  
Copiague, NY, 11726  
(631)575-6254  
bfirpo13@gmail.com

DRAWING NAME:  
**FLOOR PLAN APARTMENT**

STAMP A./E.: DATE:



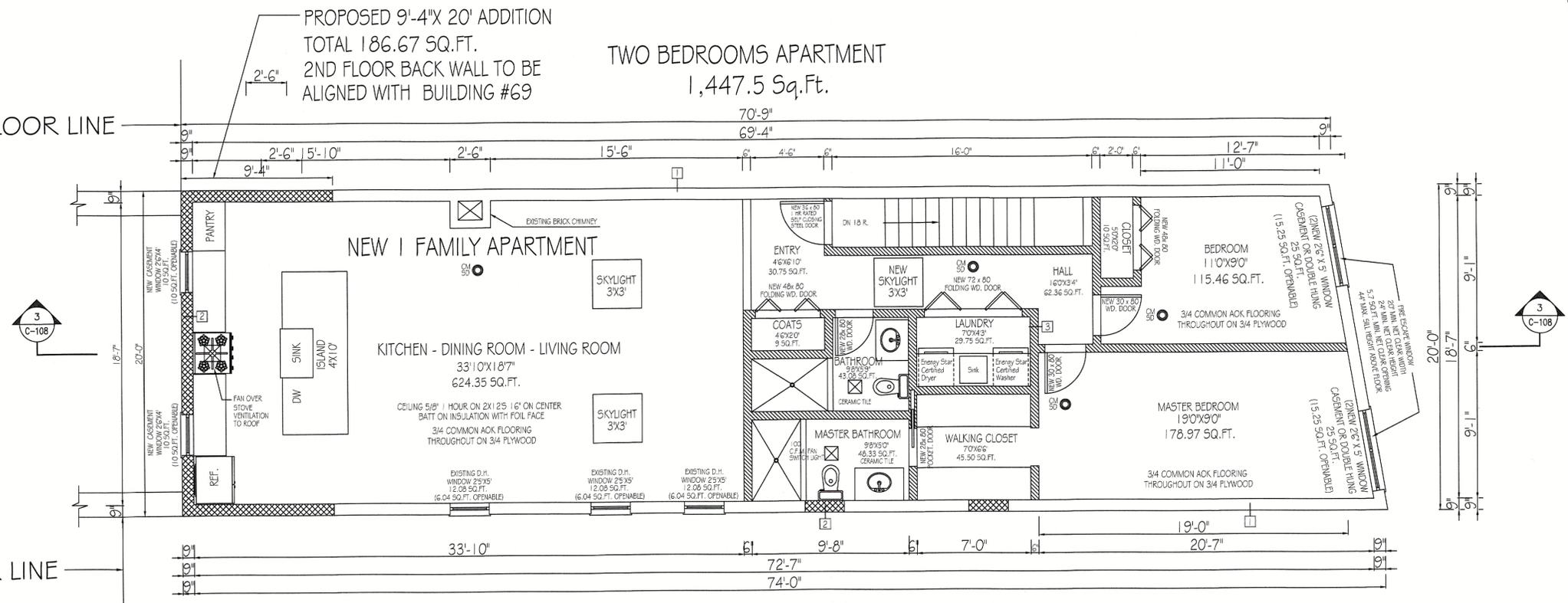
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**A-106.00**

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DOB STAMP:

DOB APPLICATION #:

**TWO BEDROOMS APARTMENT**  
1,447.5 Sq.Ft.



**TWO BEDROOMS APARTMENT 1,318 SQ.FT.**

SCALE 1/4" = 1'-0"

SECOND FLOOR APARTMENT ILLUMINATION AND VENTILATION REQUIRED							
1 FAMILY APT.	SQ.FT.	10% WINDOW AREA REQUIRED	OPENABLE AREA REQUIRED	WINDOW SIZE	UNIT	TOTAL SQ.FT. ILLUMINATION	TOTAL SQ.FT. VENTILATION
KITCHEN	624.35	62.43	31.21	2'6"X4'	2	20	20
LIVING / DINING ROOM				2'5"X5'	3	36.24	72.24
ENTRY	30.75			3'X3' Skylight	2	18	18
HALL	62.36						
COATS	9						
BATHROOM	43.08						
LAUNDRY	29.75						
BEDROOM	115.46	11.54	5.77	2'6"X5'	2	25	15.25
CLOSET	10						
MASTER BEDROOM	178.97	17.89	8.94	2'6"X5'	2	25	15.25
WALKING CLOSET	45.50						
MASTER BATHROOM	48.33						

#69 2ND FLOOR LINE

#65 2ND FLOOR LINE

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- EXISTING DOOR
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DRAWING NAME:  
**PROPOSED ELEVATIONS**

STAMP A./E.: DATE:

DRAWING No:  
**A-107.00**

DATE: 06/15/2022 PAGE No: 8 OF 10

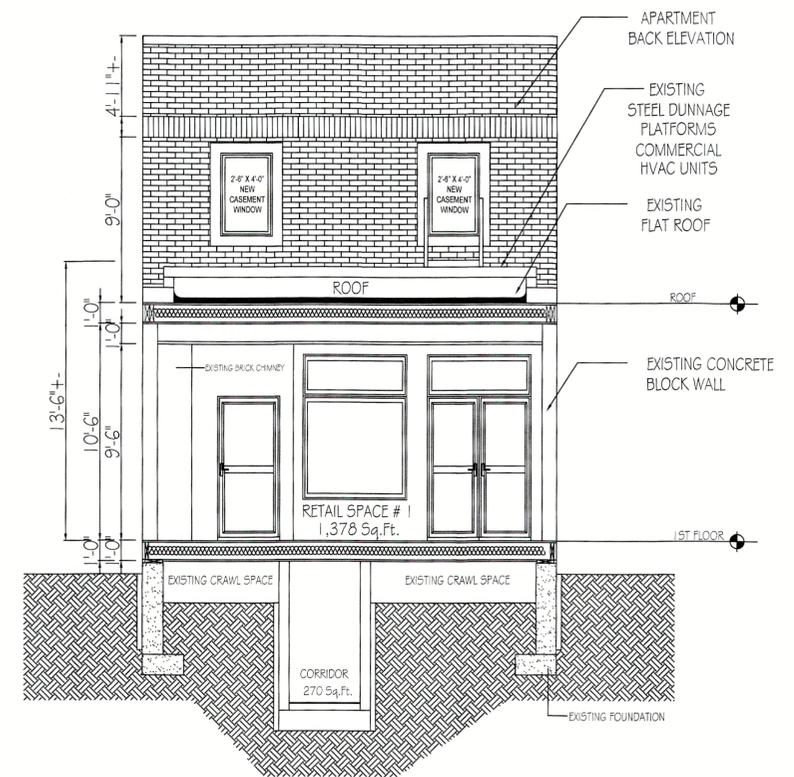
DOB STAMP:  
DOB APPLICATION #:



**PROPOSED FRONT ELEVATION**  
SCALE 1/4" = 1'-0"



**PROPOSED BACK ELEVATION**  
SCALE 1/4" = 1'-0"



**PROPOSED SECTION B-B - ELEVATION**  
SCALE 1/4" = 1'-0"

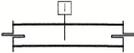
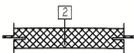
**1 WALL TYPE EXTERIOR WALL**  
DOUBLE HEADER  
VINYL SIDING OR BRICK PANELS  
2x4 WOOD STUDS  
R21 SPRAY FOAM INSULATION  
1 HR SHEETROCK  
1/2" PLYWOOD  
SILL PLATE  
8" CONCRETE BALKS  
METAL STUD @ 16" O.C.  
2x4 WOOD STUDS @ 16" O.C.  
1 HR SHEETROCK  
FIBERGLASS BOARD INSULATION OR SPRAY FOAM R-10

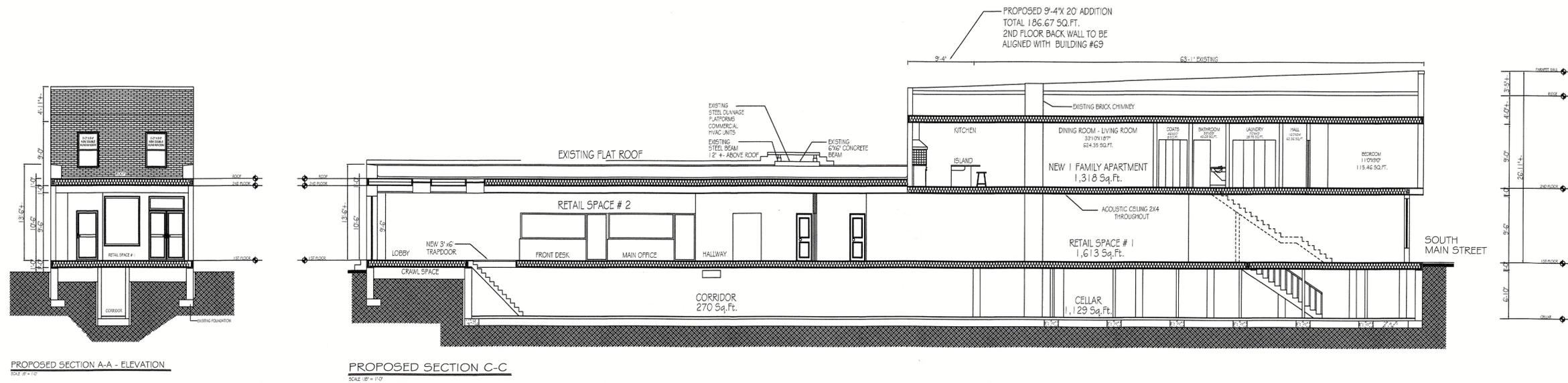
**2 WALL TYPE EXTERIOR WALL**  
DOUBLE HEADER  
VINYL SIDING OR BRICK FACE PANELS  
2x4 WOOD STUDS  
R21 SPRAY FOAM INSULATION  
1 HR SHEETROCK  
5/8" PLYWOOD

**3 WALL TYPE 1 HR RATED INTERIOR WALLS**  
3 1/2" R-13 BATT INSULATION  
5/8" TYPE GYP BOARD 1 HR RATED  
2x4 WOOD STUDS

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-  75 CFM M/H EXHAUST FAN (WHERE IS REQUIRED)
-  EXISTING DOOR
-  NEW DOOR



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DRAWING NAME:  
**PROPOSED SECTIONS**

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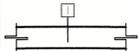
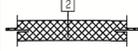
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SOUTH MAIN STREET VIEW  
 SCALE 1/8" = 1'-0"



SOUTH MAIN STREET VIEW  
 SCALE 1/8" = 1'-0"

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DRAWING NAME:  
**EXISTING AND PROPOSED  
 STREET ELEVATIONS**

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