



INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

ROBERT T. KENNEDY
MAYOR

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

January 25, 2023
SITE PLAN LETTER

Joel Abreu
13 Polk Street
Freeport, NY 11520

RE: 13 Polk Street, Freeport, NY
Zoning District: Residence A Sec. 62 Blk. 099 Lot 560
Building Permit Application #20223085 – Proposed 485 sq. ft.
first floor one-story addition to existing (with raised foundation) 2 story, one-family dwelling

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the **Village Clerk's Office at 516-377-3632** to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the **VILLAGE CLERK'S OFFICE** at 377-2300.

Very truly yours,

Sergio A. Mauras

Sergio A. Mauras
Superintendent of Buildings

c/d

encl.

c : Village Clerk
Vladimir Constant, P.E.

VILLAGE OF FREEPORT, NY
CLERK'S OFFICE

2023 FEB 21 P 2:05

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ZBA Approval Needed: Yes No

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project :

Building Permit App. 20223085

Location: 13 Polk Street, Freeport, NY

Applicant: Joel Abreu

Description: Proposed 485 sq. ft. first floor one-story addition to existing (with raised foundation)
2 story, one-family dwelling

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A)

B) Possible environment effects identified:
(only if positive determination)

Dated: January 25, 2023
VILLAGE OF FREEPORT
CLERK'S OFFICE

2023 FEB 21 P 2:05

Sergio A. Mauras

Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

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VILLAGE OF FREEPORT
CLERK'S OFFICE

2023 FEB 21 P 2:05

Sergio A. Mauras

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Superintendent of Buildings

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617.20
Appendix B
Short Environmental Assessment Form

20223085

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: 1-Story wood frame with vinyl rear addition to 1-Family Residence			
Project Location (describe, and attach a location map): No.13 On South side of Polk Street At 100 ft. East of Grove Street in the Inc. Village of Freeport, N.Y. 11520.			
Brief Description of Proposed Action: Propose (485 s.f.) Wood frame with vinyl siding first floor 1-Story rear addition to existing (with raised foundation) 2-Story 1-Family Residence			
Name of Applicant or Sponsor: Joel Abreu		Telephone: (631)792-9133 E-Mail:	
Address: 13 Polk Street			
City/PO: Freeport		State: New York Zip Code: 11520	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO	YES
2. Does the proposed action require a permit, approval or funding from any other governmental agency? If Yes, list agency(s) name and permit or approval.		NO	YES
3.a. Total acreage of the site of the proposed action?		0.11	acres
b. Total acreage to be physically disturbed?		0.11	acres
c. Total acreage (project site and any contiguous properties owned or controlled by the applicant or project sponsor)?		0.11	acres
4. Check all land uses that occur on, adjoining and near the proposed action. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

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NOV 28 2022

FREEPORT TOWN ENGINEERING DEPT.

CLERK'S OFFICE

VILLAGE OFFICE

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5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
		✓	
b. Consistent with the adopted comprehensive plan?		✓	
	6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?		
			NO YES
			✓
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? N			O YES
If Yes, identify: _____			✓
8. a. Will the proposed action result in a substantial increase in traffic above present levels?			NO YES
			✓
b. Are public transportation service(s) available at or near the site of the proposed action?			✓
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?			✓
9. Does the proposed action meet or exceed the state energy code requirements?			NO YES
If the proposed action will exceed requirements, describe design features and technologies: _____			✓
10. Will the proposed action connect to an existing public/private water supply?			NO YES Y
If No, describe method for providing potable water: _____			✓
11. Will the proposed action connect to existing wastewater utilities?			NO YES Y
If No, describe method for providing wastewater treatment: _____			✓
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?			NO YES
			✓
b. Is the proposed action located in an archeological sensitive area?			✓
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?			NO YES
			✓
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?			✓
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____			✓
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: Shoreline Forest Agricultural/grasslands Early mid-successional Wetland Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?			NO YES
			✓
16. Is the project site located in the 100 year flood plain?			NO YES
			✓
17. Will the proposed action create storm water discharge, either from point or non-point sources?			NO YES
If Yes, a. Will storm water discharges flow to adjacent properties? NO YES			✓
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? NO YES			✓
If Yes, briefly describe: _____			✓

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18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
	✓	
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
	✓	
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
	✓	
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>Joel Abreu</u> Date: <u>11/23/2022</u>		
Signature: 		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Mo derate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	✓	
2. Will the proposed action result in a change in the use or intensity of use of land?	✓	
3. Will the proposed action impair the character or quality of the existing commu ty? ni	✓	
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	✓	
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	✓	
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	✓	
7. Will the proposed action impact existing: a. public / private water supplies b. public / private wastewater treatment utilities?	✓ ✓	
8. Will the proposed action impair the character or quality of important historic, arch aeological, architectural or aesthetic resources?	✓	
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	✓	

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	✓	
11. Will the proposed action create a hazard to environmental resources or human health?	✓	

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

9 Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.

9 Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

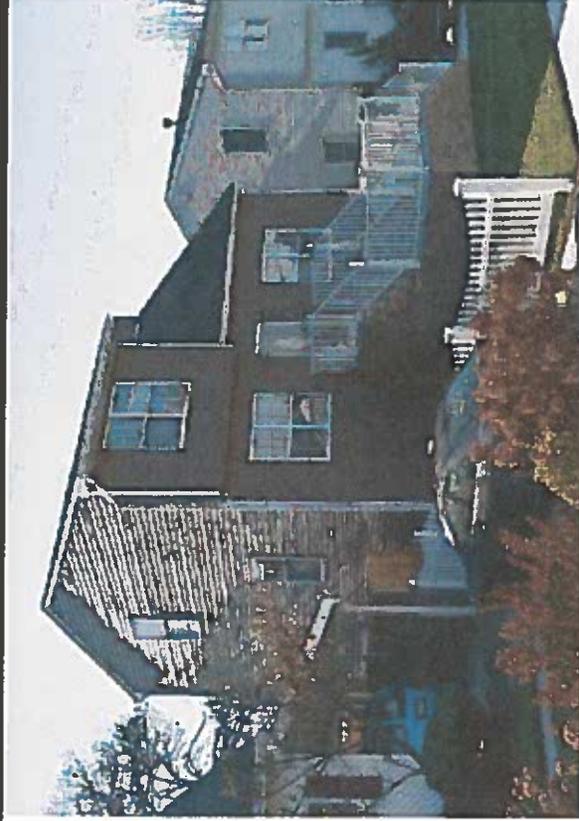
Name of Lead Agency	Date
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

RECEIVED
 2023 FEB 21 P 1:06
 CLARK'S OFFICE
 VILLAGE OF FINESTOWN

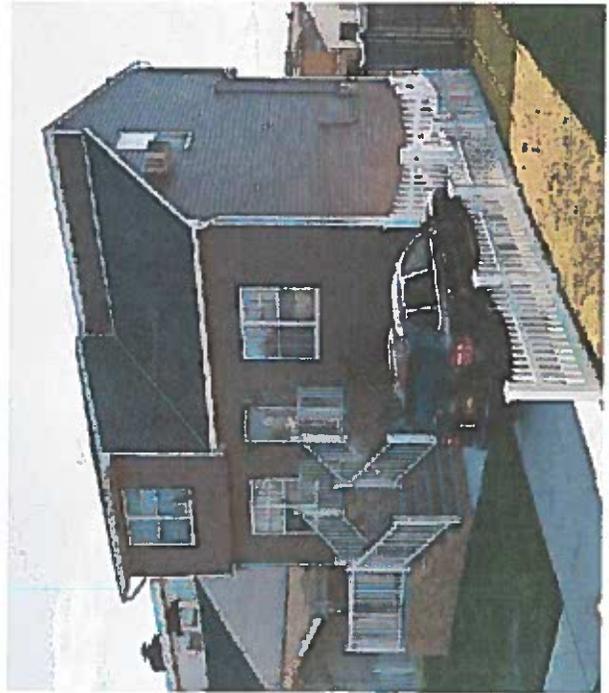
**SUBJECT PROPERTY PICTURES
13 POLK STREET**



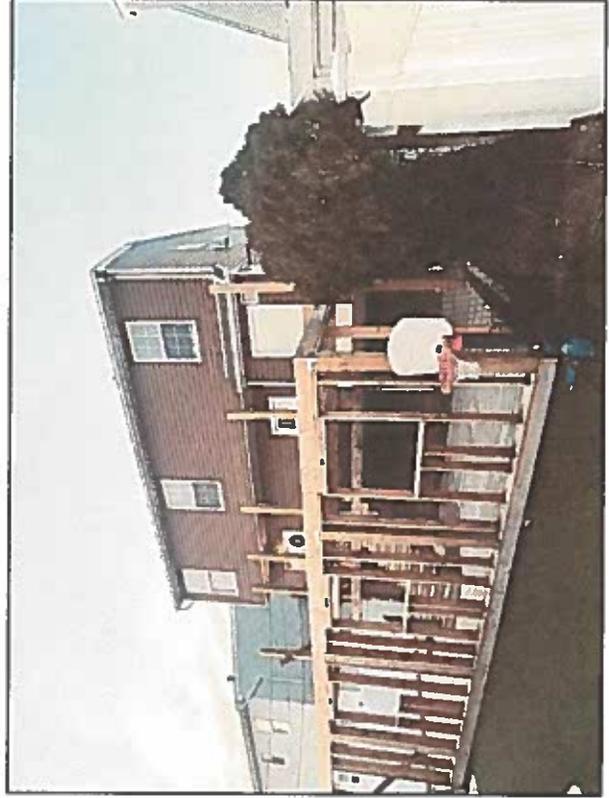
1.-FRONT FACADE



2.-LEFT (EAST) SIDE FACADE



3.-RIGHT (WEST) SIDE FACADE



4.-REAR FACADE

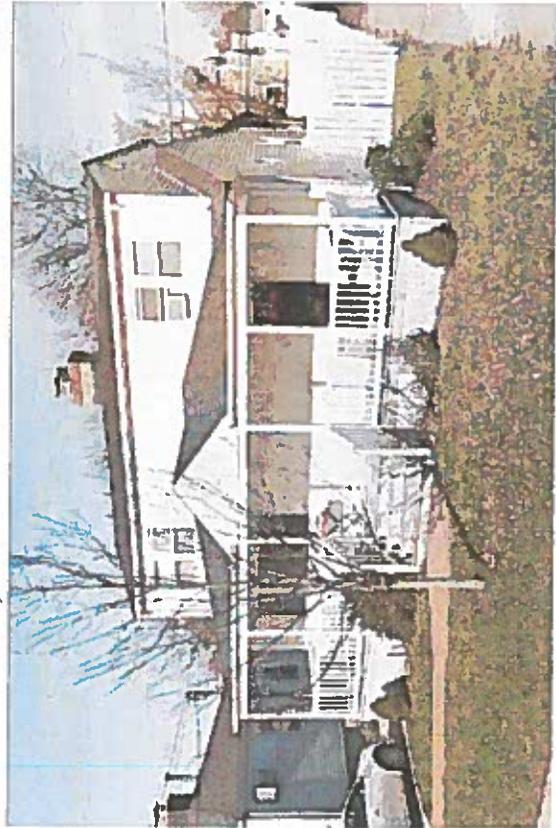
NEIGHBOR PROPERTIES



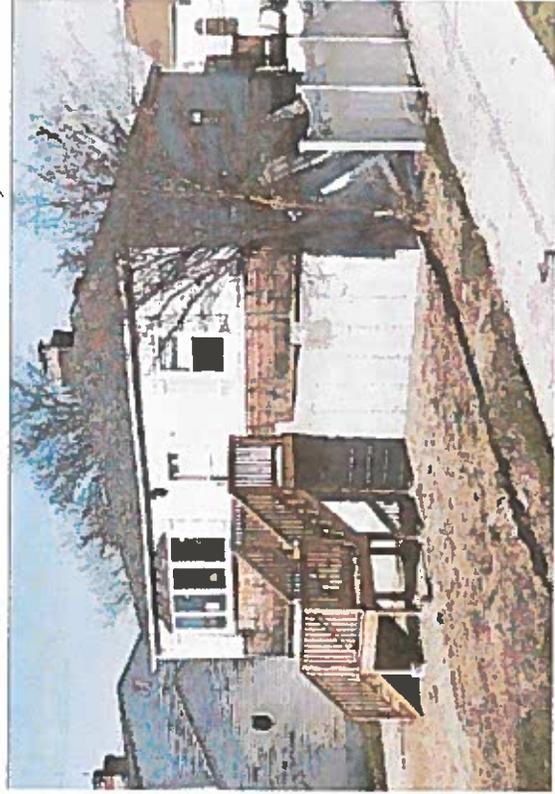
HOUSE NO.7 POLK ST.(WEST SIDE PROPERTY)



HOUSE NO.17 POLK ST. (ADJACENT EAST SIDE OF SUBJECT PROPERTY)



HOUSE NO.14 (NORTH-WEST SIDE OF SUBJECT PROPERTY)



HOUSE NO.18 (NORTH-WEST SIDE OF SUBJECT PROPERTY)

- LEGEND
- RAY WINDOW — RW
- CELLAR FINISH — CF
- CHARTRAC FENCE — CFF
- PLATFORM — PLT
- PAVING — PAV
- CONCRETE — CONC
- OVERHEAD SERVICE WIRE — OHSW
- UTILITY POLE — U.P.
- WOOD FENCE — WF
- METAL FENCE — MF
- WIRE FENCE — WF
- LAND (H.G.) — L.G.
- ROOF OVER — RO
- OVERLAPPING — OH

CL X 9.54

CL X 9.62

13 POLK STREET

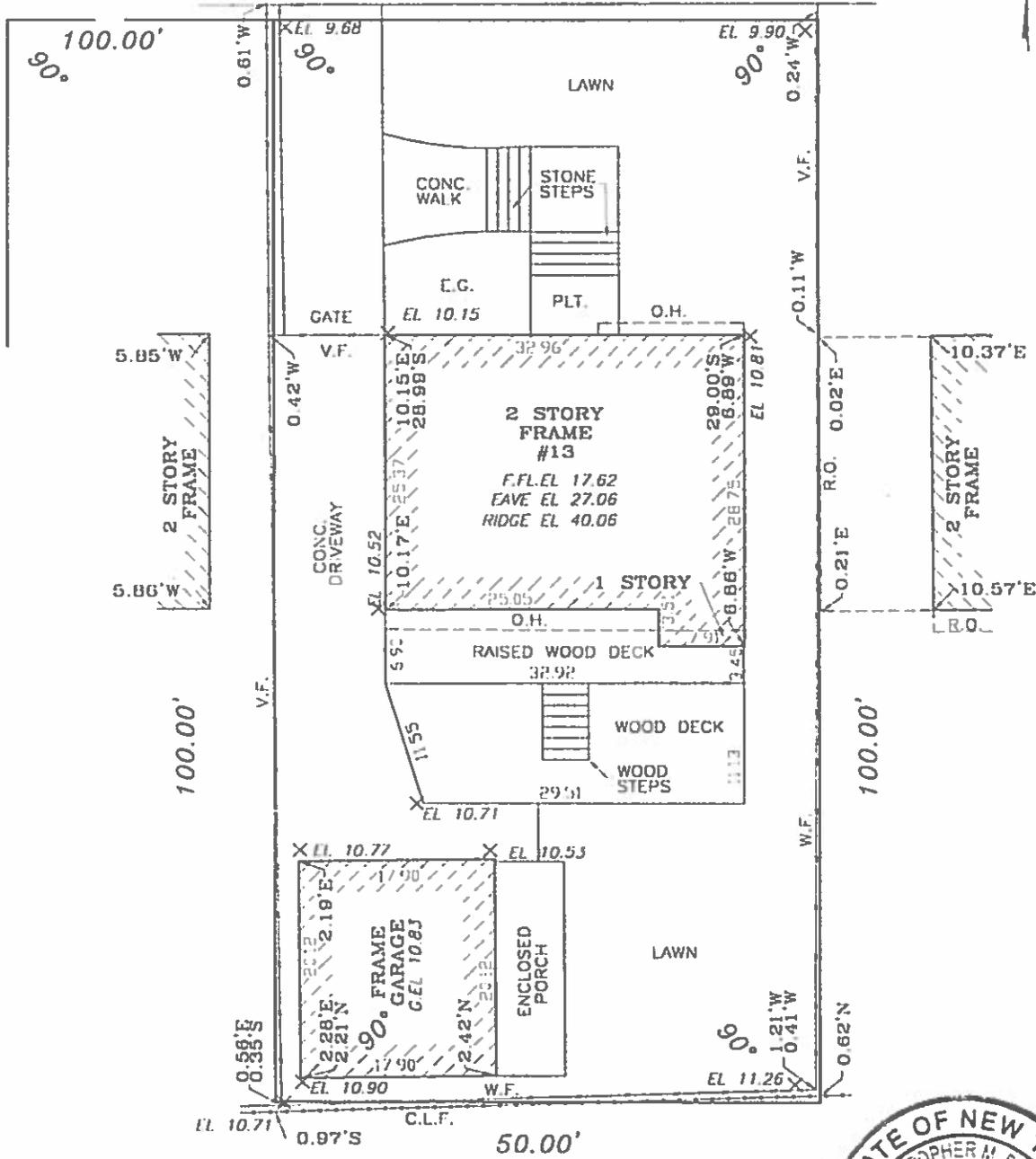
BC 8.96
IC 9.39

BC 9.09
IC 9.54

CONC. CURB

50.00'

GROVE STREET



FINAL SURVEY
 ELEVATIONS DATUM: NAVD88
 TOTAL LOT AREA IS 5000.0 S.F.
 TOTAL BUILDINGS FOOTPRINT IS 1222.2 S.F.
 HOUSE FOOTPRINT IS 24.4% OF LOT AREA
 FOR BUILDING DEPARTMENT USE ONLY

THE OFFSETS OR DIMENSIONS SHOWN FROM THE STRUCTURES TO THE PROPERTY LINES ARE FOR A SPECIFIC PURPOSE AND USE AND THEREFORE ARE NOT INTENDED TO GUIDE THE ERECTION OF FENCES, RETAINING WALLS, POOLS, PLANTING AREAS, ADDITIONS TO STRUCTURES AND ANY OTHER CONSTRUCTION.

THE EXISTENCE OF RIGHT OF WAYS AND/OR EASEMENTS OF RECORD, IF ANY, NOT SHOWN ARE NOT CERTIFIED.



UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW. COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S INKED SEAL OR EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY.

CERTIFICATION INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

PRECISION SURVEYS

TITLE - ARCHITECTURAL - BOUNDARY - CONSTRUCTION

40 FRANKLIN AVE. FRANKLIN SQUARE, N.Y. 11010
 Ph. • (718)472-1571 • (516)488-1608

CHRISTOPHER M. BUCKLEY
 PROFESSIONAL LAND SURVEYOR

SURVEY OF: Described Property

LOCATED AT:
 13 Polk Street, Freeport
 County of Nassau
 State of New York

TAX DESIG: Sec. 62, Block 99, Lot 560

CERTIFIED TO:

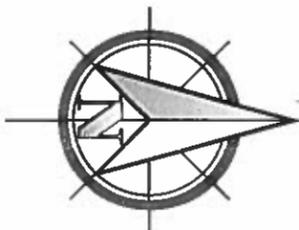
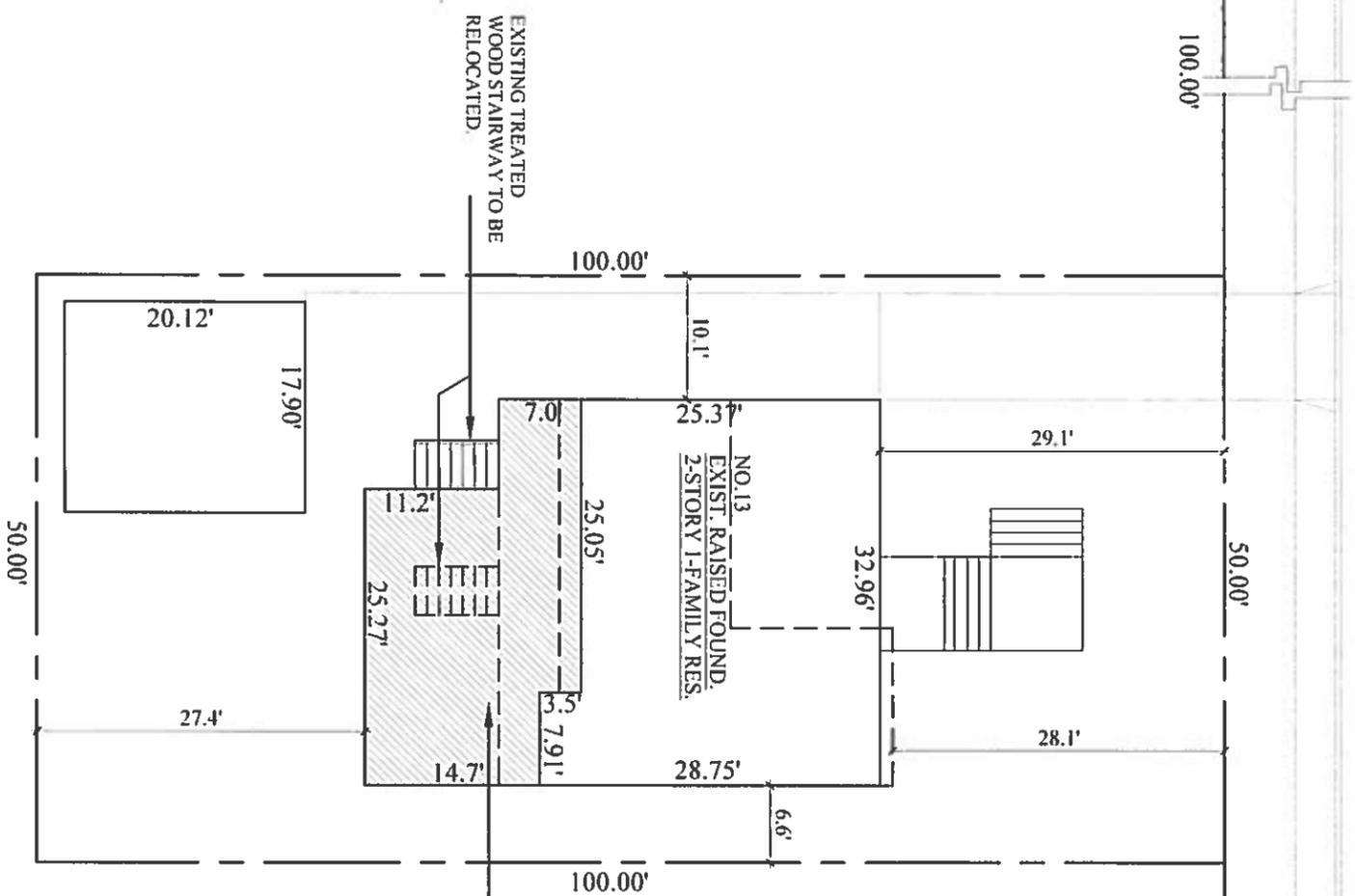
Michael Johnson

DATE: January 26, 2018
 SCALE: 1"=15'

Job No. 41534
 Drawn By: TW

POLK STREET

GROVE STREET



REMOVE EXISTING T. WOOD DECK AND INSTALL (485 S.F.) RAISED FIRST FLOOR WOOD FRAME WITH VINYL SIDING ADDITION FOR FAMILY ROOM USE

A
SP

PROPOSED SITE PLAN

SCALE: 1"=15 FT.

ZONING: PER VILLAGE OF FREEPORT
ZONED: RES. - 'A'
BUILDING HEIGHT:
35' OR 3 STORIES MAX. HEIGHT
BUILDING AREAS:

DETACHED GARAGE: EXIST.: 360 S.F. PROP.: 360 S.F.
 BASEMENT: EXIST.: 860 S.F. PROP.: 860 S.F.
 RAISED 1ST FLOOR: EXIST.: 860 S.F. PROP.: 1,345 S.F.
 SECOND FLOOR: EXIST.: 660 S.F. PROP.: 660 S.F.
 ROOFED OVER
 PORCHES & DECKS: EXIST.: 0 S.F. PROP.: 0 S.F.
 OPEN DECKS: EXIST.: 201 S.F. PROP.: 0 S.F.
 ACCESSORY STRUCTURES: EXIST.: 0 S.F. PROP.: 0 S.F.
 INGROUND POOL: EXIST.: 0 S.F. PROP.: 0 S.F.
 TOTAL BUILDING AREA: 2,365 S.F. (INCLUDES 1-FL., 2-FL., PORCHES AND ACCESSORY BLDG.)
 ALLOWED LOT COVERAGE: 30% MAX.=5,000 x 0.30=1,500 S.F.
 EXISTING LOT COVERAGE: 1,706 S.F. > 1,500 S.F.= 34 %
 (EXISTING LOT COVERAGE INCLUDES: 1ST FL. AND DETACHED 1-CAR GARAGE AND PROPOSED ADDITION)

VLADIMIR CONSTANT P.E.
 7 Melnick Court
 Westbury, New York 11590
 Phone: (516) 779-2343
 E-MAIL: v.constant@yahoo.com



MAAR
 DRAFTING & COMMERCIAL DESIGN

33 LAMONT PLAGE 704
 WESTBURY, NY 11590
 PHONE: (516) 331-9220
 MOBILE: (516) 331-7046

REVISIONS

NO.	DATE	DESCRIPTION

APPLICANT/OWNER
 JOEL A. ARRELU

Address:
 13 POLK STREET
 FREEPORT, N.Y. 11520
 PHONE: (609) 782-9783
 E-MAIL: -
 EMERGENCY CONTACT
 NAME: RAFAEL
 PHONE: (609) 704-6601

PROJECT TITLE
 1ST. FLOOR FRAME WITH VINYL ADDITION TO 2-STORY 1-FAMILY RESIDENCE

13 POLK STREET
 FREEPORT, N.Y. 11520
 SEC. 62 B.LK. 99 LOT. 690

DRAWING TITLE
 PROPOSED SITE PLAN

DRAWN BY: MICHELLE RAMIREZ	DRAWING NO. SP
CHECKED BY: VC	PROJECT NO. 200012
DATE: SEPT 2010	SCALE: AS SHOWN
SCALE: AS SHOWN	1



CONSULTANT

MAR DRAFTING
 RESIDENTIAL & COMMERCIAL DESIGN

33 LABYRINTH AVE
 WEST BABYLON, NY 11704
 MOBILE: 631-920-4881

REVISIONS

NO.	DATE	DESCRIPTION
1		
2		
3		
4		

NO.	DATE

APPLICATION NO.

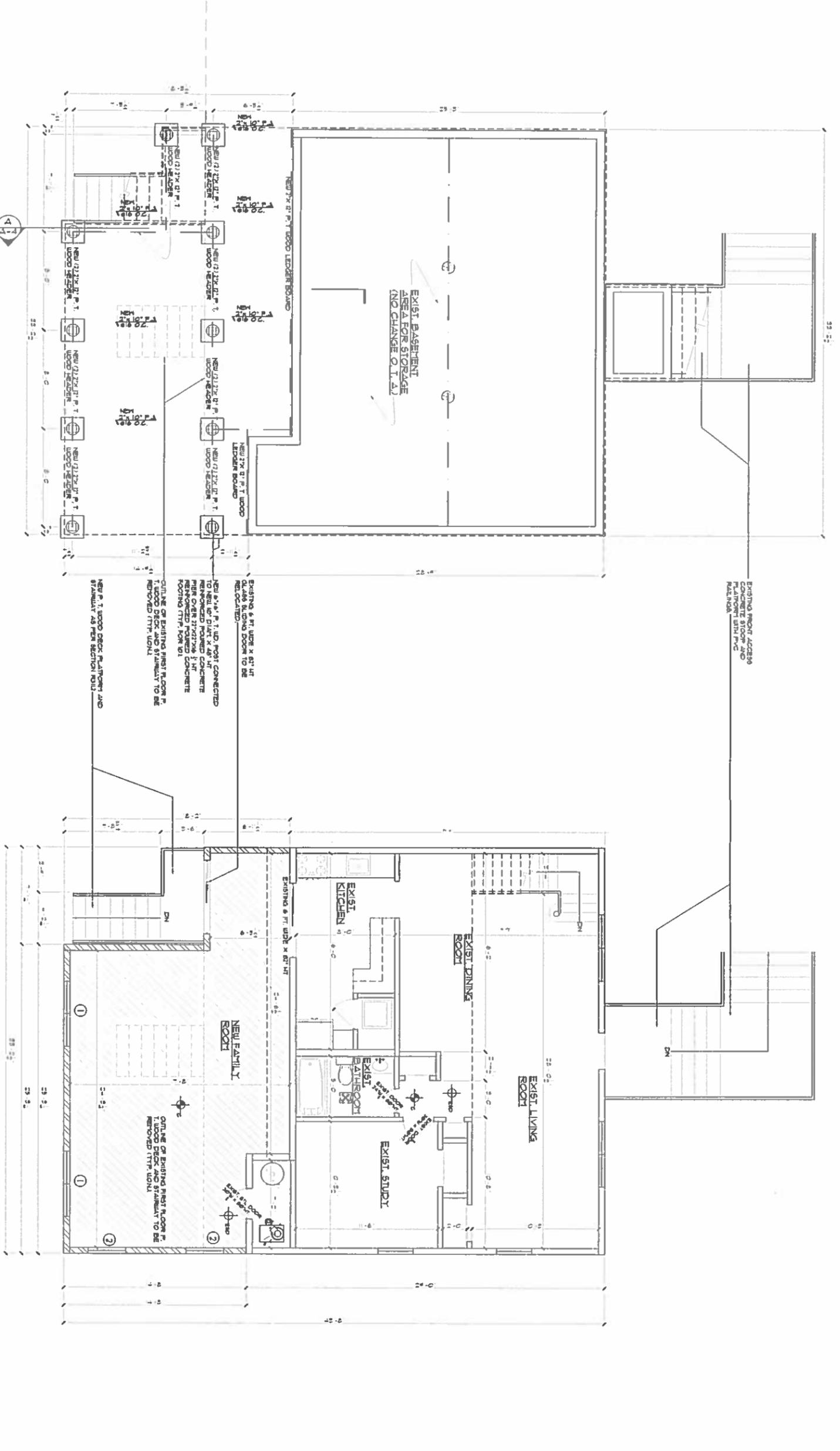
APPLICANT/OWNER:
 JOEL A. ABREU
 ADDRESS:
 13 FOLK STREET
 FREEPORT, N.Y. 11520
 PHONE: (516) 858-9033
 EMERGENCY CONTACT:
 MICHELLE KANDOLZ
 PHONE: (516) 444-0011

PROJECT TITLE
 1-STORY FRAME WITH
 VINYL ADDITION TO
 2-STORY 1-FAMILY
 RESIDENCE

13 FOLK STREET
 FREEPORT, NY 11520
 REC. NO. BK. 099 LOT. 680

**FOOTING FOUNDATION
 AND FIRST FLOOR PLANS**

CHECKED BY: V. CONSTANT	DRAWING NO. A-1
DATE: OCTOBER 2012	PROJECT NO. 2
SCALE: AS SHOWN	SHEET NO. 4



PROPOSED FOOTING FOUNDATION PLAN

EXIST. 1ST. FL. WITH PROPOSED ADDITION

WINDOW SCHEDULE 1,2, (NEW)

NUMBER	ROOM OR OPENING DET.	WINDOW MODEL	STYLE	QTY.
1	12'-0" W x 4'-0" H	2045	DOUBLE-HANG	2
2	3'-0" W x 4'-0" H	2045	DOUBLE-HANG	2
3	2'-0" W x 4'-0" H	2440	DOUBLE-HANG	2
4	3'-11/8" W x 3'-11/8" H	2070	DOUBLE-HANG	2

WINDOW FEET	REQUIRED INSULATION (SEE CARPORTY NOTES)	TOTAL QUANTITY
6		6

LIGHT, VENTILATION AND HEATING

USE	AREA (sq ft)	HEIGHT	AVERAGE CEILING	HIGHWAY CEILING	NATURAL LIGHT	NATURAL VENTILATION*
LIVING	120	7'-0"	7'-4"	3'-0"	DN FLOOR AREA	48 FLOOR AREA
DINING	70	7'-0"	7'-4"	3'-0"	DN FLOOR AREA	48 FLOOR AREA
KITCHEN	50	7'-0"	7'-4"	3'-0"	DN FLOOR AREA	48 FLOOR AREA
BATHROOM	10	7'-0"	7'-4"	3'-0"	DN FLOOR AREA	48 FLOOR AREA
BATHROOM	10	7'-0"	7'-4"	3'-0"	DN FLOOR AREA	48 FLOOR AREA

DOOR SCHEDULE (NEW)

SYMBOL	DOOR SIZE	DESCRIPTION	QTY.
1	7'-0" x 6'-8"	NEW DOUBLE PANEL, 100# FLOOR SLIP	1

1. FOR ALL EXISTING DOORS TO REMAIN, SEE P. 4-4A.
 2. "100#" MEANS - 100 LB. COMING WOOD.
 3. "100#" MEANS - 100 LB. COMING WOOD.

INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT
 (PER TABLE R402.1.1)

CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE
4 (EXCEPT MARINE)	0.35	0.55	0.40	49	20 or 13+5 b	8/13	19	10/13

For S1 1 foot 304 8mm
 a. R-V values are minimums. U-Factors and SHGC are maximums. R-19 shall be permitted to be compressed into a 2x6 cavity.
 b. The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration.
 c. The first R-value applies to continuous insulation, the second to framing cavity insulation, either insulation meets the requirement.
 d. R-5 shall be added to the required slab edge R-values for heated slabs.
 e. There are no SHGC requirements in the Marine zone.
 f. Or insulation sufficient to fill the framing cavity. R-19 minimum.
 g. "13+5" means R-13 cavity insulation plus R-5 insulated sheathing. If structural sheathing covers 25 percent or less of the exterior, insulation sheathing is not required. Where structural sheathing is used.
 h. If structural sheathing covers more than 25 percent of exterior, structural sheathing shall be supplemented with insulated sheathing of at least R-2.

VLADIMIR CONSTANT P.E.

7 Metrick Court
Westbury, New York 11590
Phone: (516) 779-2343
E-MAIL: v.constant@yahoo.com



CONSULTANT

MAR
DRAFTING
RESIDENTIAL & COMMERCIAL
DESIGN

33 LAMONT PLACE 704
WEST BABYLON, NY 11790
OFF: (631) 920-2445
MOBILE: (631) 704-6601

REVISIONS

NO.	DATE	DESCRIPTION
1		
2		

APPLICANT/OWNER

JOEL A. ABREU
ADDRESS:
13 POLK STREET
FREEPORT, N.Y. 11520
PHONE: (631) 788-9788
E-mail: -
EMERGENCY CONTACT
MIGUEL RAMIREZ
PHONE: (631) 704-6601

PROJECT TITLE
1-STORY FRAME WITH
VINYL ADDITION TO
2-STORY 1-FAMILY
RESIDENCE

13 POLK STREET
FREEPORT, NY 11520
SEC. 02 BLK. 009 LOT. 800

DRAWING TITLE

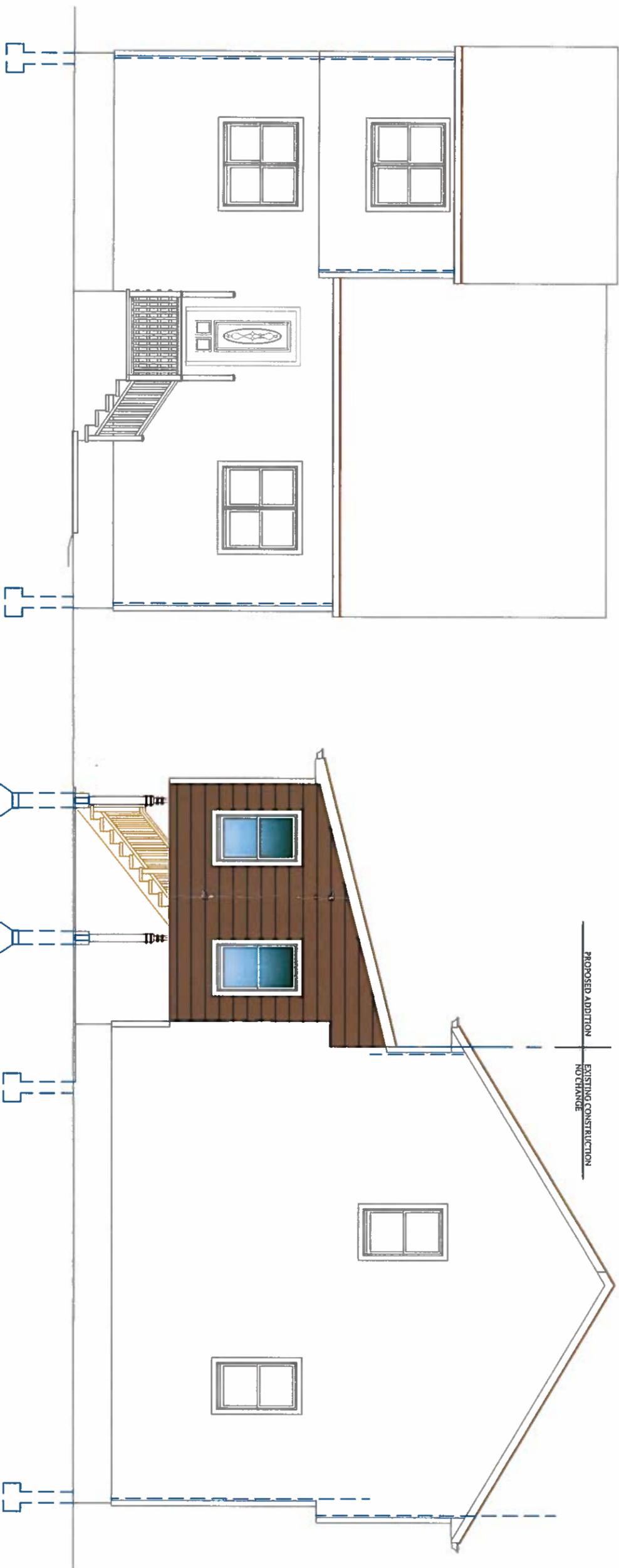
FRONT AND LEFT SIDE
ELEVATIONS

DRAWN BY: DRAWING NO.
MIGUEL RAMIREZ

CHECKED BY: VC **R-1**

DATE: SEP 2020 PROJECT NO. 1

SCALE: 1/8"=1'-0" AS SHOWN 2



A FRONT ELEVATION (NO CHANGE)
SCALE: 1/8"=1'-0"

B LEFT (EAST) SIDE ELEVATION
SCALE: 1/8"=1'-0"

VLADIMIR CONSTANT P.E.

7 Melnick Court
Westbury, New York 11590
Phone: (516) 779-2343
E-MAIL: v.constant@yahoo.com



CONSULTANT

MAR
DRAFTING
RESIDENTIAL & COMMERCIAL
DESIGN

33 LAMONT PLACE 704
WESTBURY, NY 11590
OFF: (516) 779-2343
MOBILE: (516) 779-2343

REVISIONS

NO.	DATE	DESCRIPTION
1		
2		

APPLICANT/OWNER

JOEL A. ABREU
ADDRESS:
19 POLK STREET
FREEPORT, N.Y. 11520
PHONE: (516) 779-9188
E-MAIL:
EMERGENCY CONTACT
MICHEL RANIERI
PHONE: (516) 779-6601

PROJECT TITLE
1-STORY FRAME WITH
VINYL ADDITION TO
2-STORY 1-FAMILY
RESIDENCE

13 POLK STREET
FREEPORT, NY 11520
SEC. 02 BLK. 009 LOT. 000

DRAWING TITLE

FRONT AND LEFT SIDE
ELEVATIONS

DRAWING NO. **R-2**

DRAWN BY:
MICHEL RANIERI

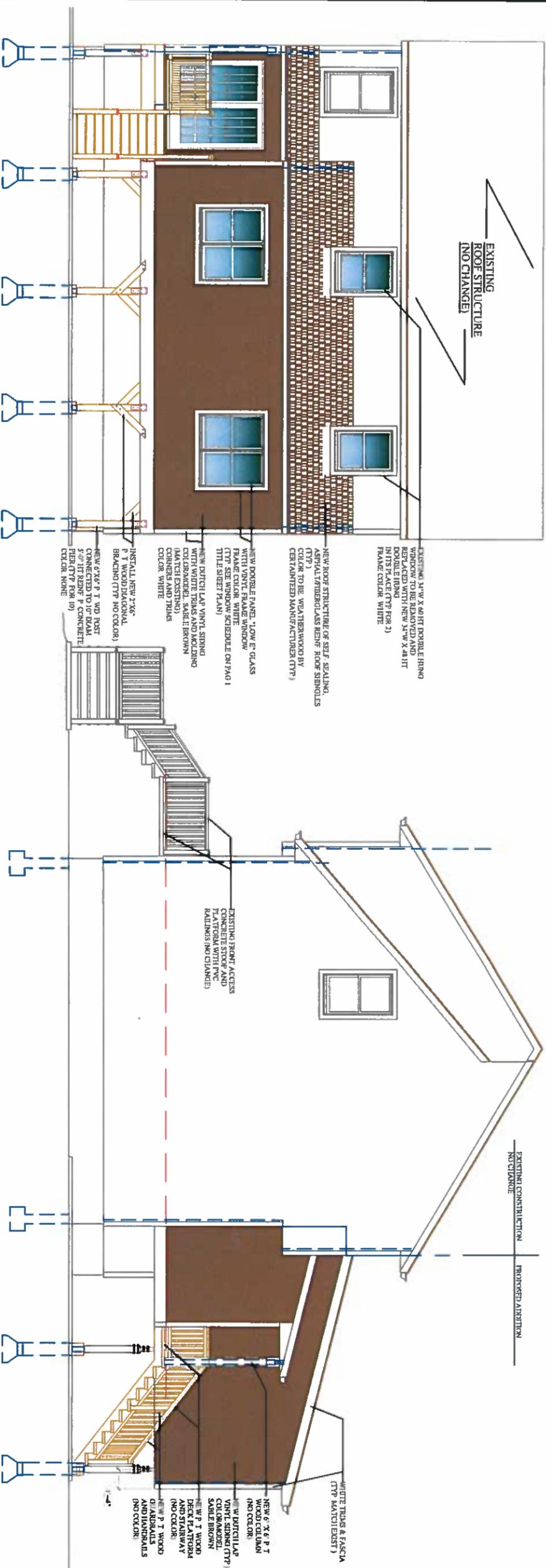
CHECKED BY:
VC

DATE
SEP 2020

SCALE
AS SHOWN

PROJECT NO.
202012

SCALE
2/2



A REAR (SOUTH) ELEVATION
NOT TO SCALE
R-2

B RIGHT (WEST) SIDE ELEVATION
NOT TO SCALE
R-2

Application Date: 2/22/23
Fees Paid: \$225.00

SP# 3619

INCORPORATED VILLAGE OF FREEPORT
SITE PLAN REVIEW APPLICATION
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 97 EVANS AVE. ZONING DISTRICT A-Residence
SECTION 99 BLOCK 391 LOT 184 LOT SIZE: 90'x125' (6250')

<input type="checkbox"/> TENANT <u>APPLICANT</u> <input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>BERNARD RODGERS, R.A.</u>	Name: <u>VALREEN HINDS-BEHARRIE</u>
Address: <u>2150 WANTACH PARK DR./</u> <u>WANTACH, NY 11793</u>	Address: <u>97 EVANS AVE./FREEPORT, NY</u> <u>11920</u>
Telephone #: <u>(516) 620-4195</u>	Telephone #: <u>(516) 652-4204</u>

Attorney Name: _____ Address: _____
(optional) Phone #: _____

Present Land Use: SINGLE FAMILY RESIDENCE Proposed Land Use: SINGLE FAMILY RESIDENCE

Description of Proposed Work: PROPOSED 20.2' x 6.5' SECOND FLOOR ADDITION.

I request a preliminary meeting: _____ YES NO

I request a waiver of the public hearing and hereby certify the following:
A. The subject property is zoned Residence A or Residence AA.
B. The proposed construction is not a new building or dwelling.
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied. YES _____ NO

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VILLAGE OF FREEPORT, NY

[Signature]
APPLICANT'S SIGNATURE

2/17/23
DATE

Sworn to before me this 21st day of February, 2023
Alan LoGiudice
Notary Public, State of New York
No. 01LO4727890
Qualified in Nassau County
Commission Expires April 30, 2023

Property Owner's Consent:
I, VALREEN HINDS-BEHARRIE am (are) the owner(s) of the subject property and consent to the filing of this application.

[Signature]
PROPERTY OWNER'S SIGNATURE

2/21/23
DATE

Sworn to before me this 21st day of February, 2023
Alan LoGiudice
Notary Public, State of New York
No. 01LO4727890
Qualified in Nassau County
Commission Expires April 30, 2023

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: _____ YES _____ NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	Approved _____ Denied _____ Date: _____
Planning Board Signature: _____	Date: _____



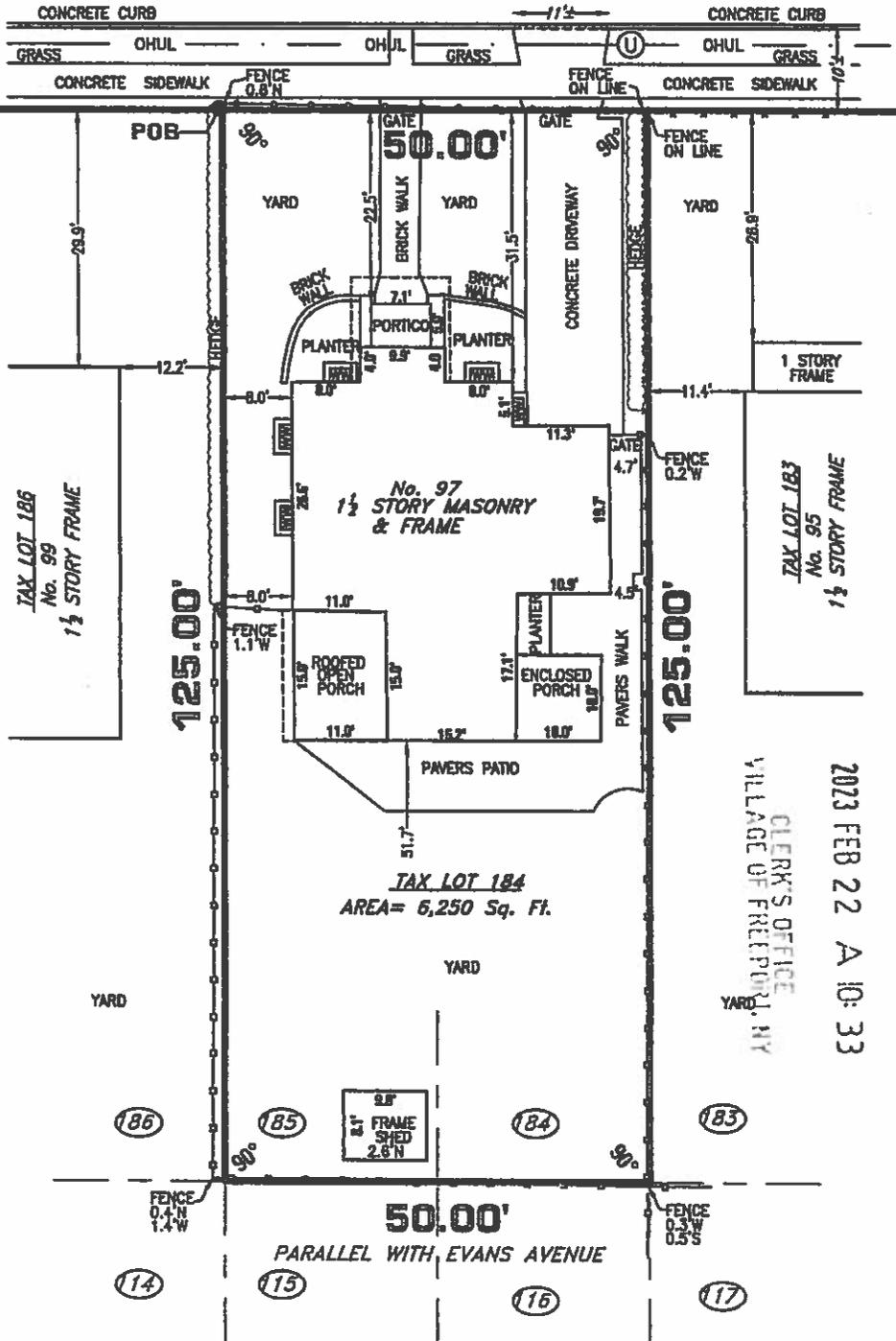
LEGEND

- WH WINDOW WELL
- (184) FILE MAP LOT NUMBER
- ||||| CURB CUT
- OHUL OVERHEAD UTILITY LINES
- (U) UTILITY POLE
- IRON FENCE
- ◇— VINYL FENCE
- x— CHAIN LINK FENCE
- — — PROPERTY LINE
- POB POINT OF BEGINNING

EVANS AVENUE
ASPHALT PAVEMENT

WALLACE STREET (RANDOLPH STREET)

175.00'



TAX LOT 184
AREA = 6,250 Sq. Ft.

TAX LOT 186
No. 99
1 1/2 STORY FRAME

TAX LOT 183
No. 95
1 1/2 STORY FRAME

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CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

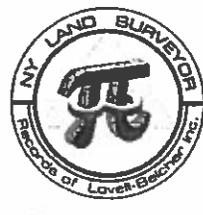
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DESIGNATED AS LOT No. 184 & 185
ON A CERTAIN MAP ENTITLED "MAP OF FREEPORT MANOR"
FILED ON AUGUST 12, 1904 AS MAP No. 248, NEW No. 1886

<p>GENERAL NOTES</p> <p>1. This is to certify that there are no visible streams or natural water courses in the property as shown on this survey.</p>	<p style="text-align: center;">ASBUILT SURVEY</p> <p>Date of Survey: October 26, 2022</p>
--	--

PROPERTY SITUATED AT
97 EVANS AVENUE
VILLAGE OF FREEPORT
TOWN OF HEMPSTEAD
COUNTY OF NASSAU
STATE OF NEW YORK

Tax Section: 55
Tax Block: 391
Tax Lots: 184 & 185



NY Land Surveyor P.C.
Records of: Earl B. Lovell - S.P. Belcher Inc.
77-16 164 Street, Third Floor, Fresh Meadows, NY 11366
Tel: 718-591-6600 Tel: 212-732-1575
nylandsurveyor@gmail.com Fax: 631-930-3292
www.nylandsurveyor.com



Ramzan Alii License No. 050457

UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY IS A VIOLATION OF SECTION 7209, OF THE NEW YORK STATE EDUCATIONAL LAW. COPIES OF THIS SURVEY NOT BEARING THE LAND SURVEYOR'S INKED SEAL OR EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY. CERTIFICATIONS INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUCCESSOR OWNERS.



INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

ROBERT T. KENNEDY
MAYOR

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

February 7, 2023
SITE PLAN LETTER

Valreen Hinds-Beharrie
97 Evans Avenue
Freeport, NY 11520

RE: 97 Evans Avenue, Freeport, NY
Zoning District: Residence A Sec. 55 Blk. 391 Lot 184
Building Permit Application #20233137
Description: Construct a 26.2'x 6.5 second floor rear addition

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the VILLAGE CLERK'S OFFICE at 377-2300.

Very truly yours,

Sergio A. Mauras
Superintendent of Buildings

/cd
encl.
c: Village Clerk
Bernard Rodgers R.A.

ZBA Approval Needed: Yes No

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VILLAGE OF FREEPORT, NY

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project :

Building Permit App. 20233137

Location: 97 Evans Avenue, Freeport, NY

Applicant: Valreen Hinds-Beharrie

Description: – Construct a 26.2' x 6.5' second floor rear addition

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

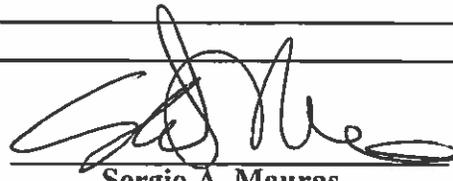
REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) _____

B) Possible environment effects identified:
(only if positive determination)

Dated: February 7, 2023



Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

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OFFICE OF THE SUPERINTENDENT OF BUILDINGS
VILLAGE OF FREEPORT, NY

JAN 30 2023

FREEPORT BUILDING DEPT.

617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: BEATRICE RESIDENCE			
Project Location (describe, and attach a location map): 97 EVANS AVE, FREEPORT, NY 11520			
Brief Description of Proposed Action: PROPOSED 2ND FLOOR REAR ADDITION.			
Name of Applicant or Sponsor: BERNARD RODGERS		Telephone: (916) 820-4155	
		E-Mail: brarchitect@msn.com	
Address: 2190 WANTACH PARK DR.			
City/PO: WANTACH		State: NY	Zip Code: 11793
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input checked="" type="checkbox"/> YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO <input checked="" type="checkbox"/> YES <input type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		<u> .001 </u> acres	RECEIVED CLERK'S OFFICE VILLAGE OF FREEPORT, NY FEB 22 A 10:33
b. Total acreage to be physically disturbed?		<u> .001 </u> acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		<u> .001 </u> acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

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FREE

<p>5. Is the proposed action, JA 14 A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?</p>	<p>NO <input type="checkbox"/></p>	<p>YES <input checked="" type="checkbox"/></p>	<p>N/A <input type="checkbox"/></p>
<p>6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?</p>	<p>NO <input type="checkbox"/></p>	<p>YES <input checked="" type="checkbox"/></p>	<p></p>
<p>7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____</p>	<p>NO <input checked="" type="checkbox"/></p>	<p>YES <input type="checkbox"/></p>	<p></p>
<p>8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation service(s) available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?</p>	<p>NO <input checked="" type="checkbox"/></p>	<p>YES <input type="checkbox"/></p>	<p></p>
<p>9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____</p>	<p>NO <input type="checkbox"/></p>	<p>YES <input checked="" type="checkbox"/></p>	<p></p>
<p>10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing potable water: _____</p>	<p>NO <input type="checkbox"/></p>	<p>YES <input checked="" type="checkbox"/></p>	<p></p>
<p>11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____</p>	<p>NO <input type="checkbox"/></p>	<p>YES <input checked="" type="checkbox"/></p>	<p></p>
<p>12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places? b. Is the proposed action located in an archeological sensitive area?</p>	<p>NO <input checked="" type="checkbox"/></p>	<p>YES <input type="checkbox"/></p>	<p></p>
<p>13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____</p>	<p>NO <input checked="" type="checkbox"/></p>	<p>YES <input type="checkbox"/></p>	<p></p>
<p>14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban</p>			
<p>15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?</p>	<p>NO <input checked="" type="checkbox"/></p>	<p>YES <input type="checkbox"/></p>	<p></p>
<p>16. Is the project site located in the 100 year flood plain?</p>	<p>NO <input checked="" type="checkbox"/></p>	<p>YES <input type="checkbox"/></p>	<p></p>
<p>17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ <input type="checkbox"/> NO <input type="checkbox"/> YES</p>	<p>NO <input checked="" type="checkbox"/></p>	<p>YES <input type="checkbox"/></p>	<p></p>

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18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>BRENDA KOPPEL</u>	Date: <u>4/22/11</u>	
Signature: <u>[Signature]</u>		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

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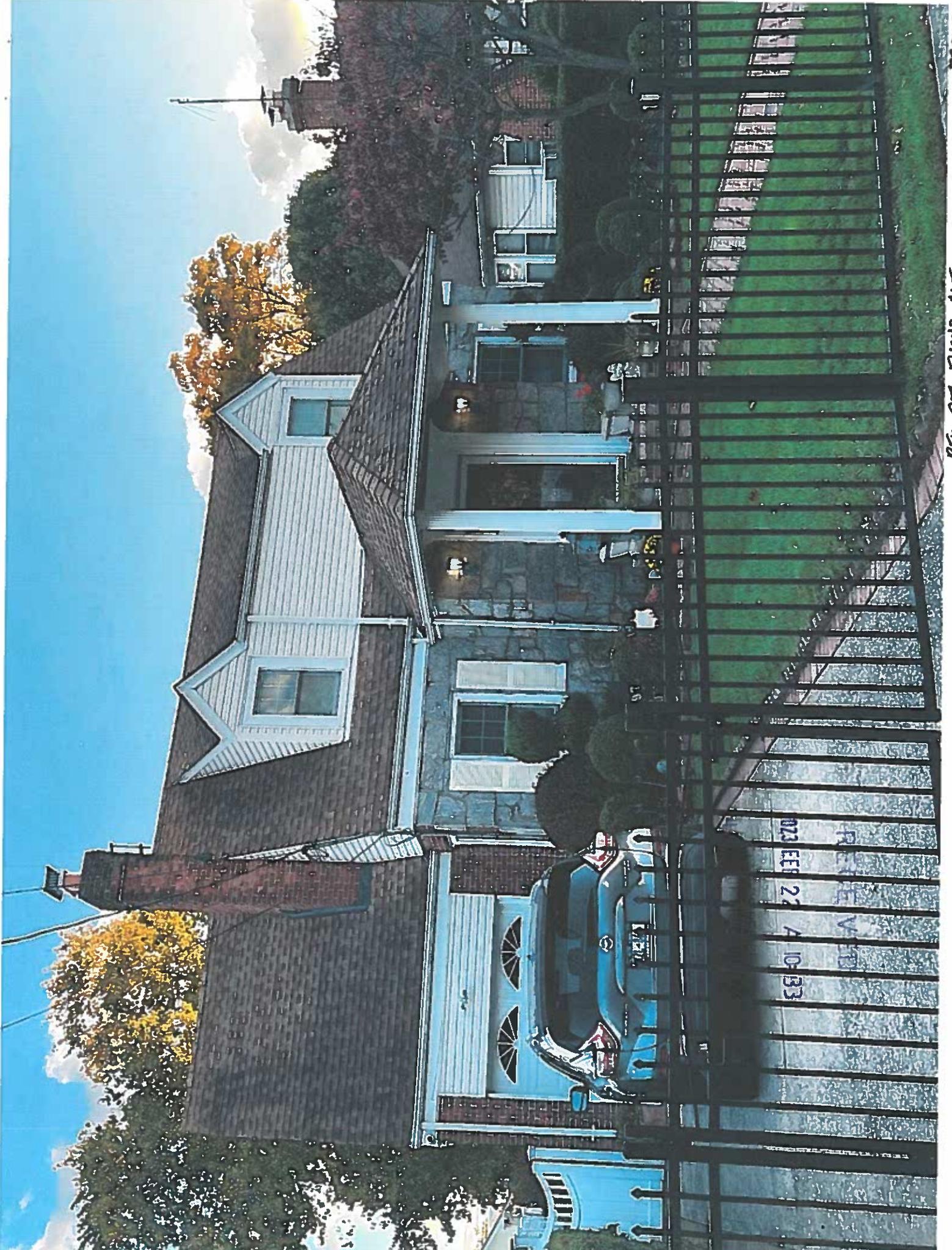
	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

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<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)





16. 10-33

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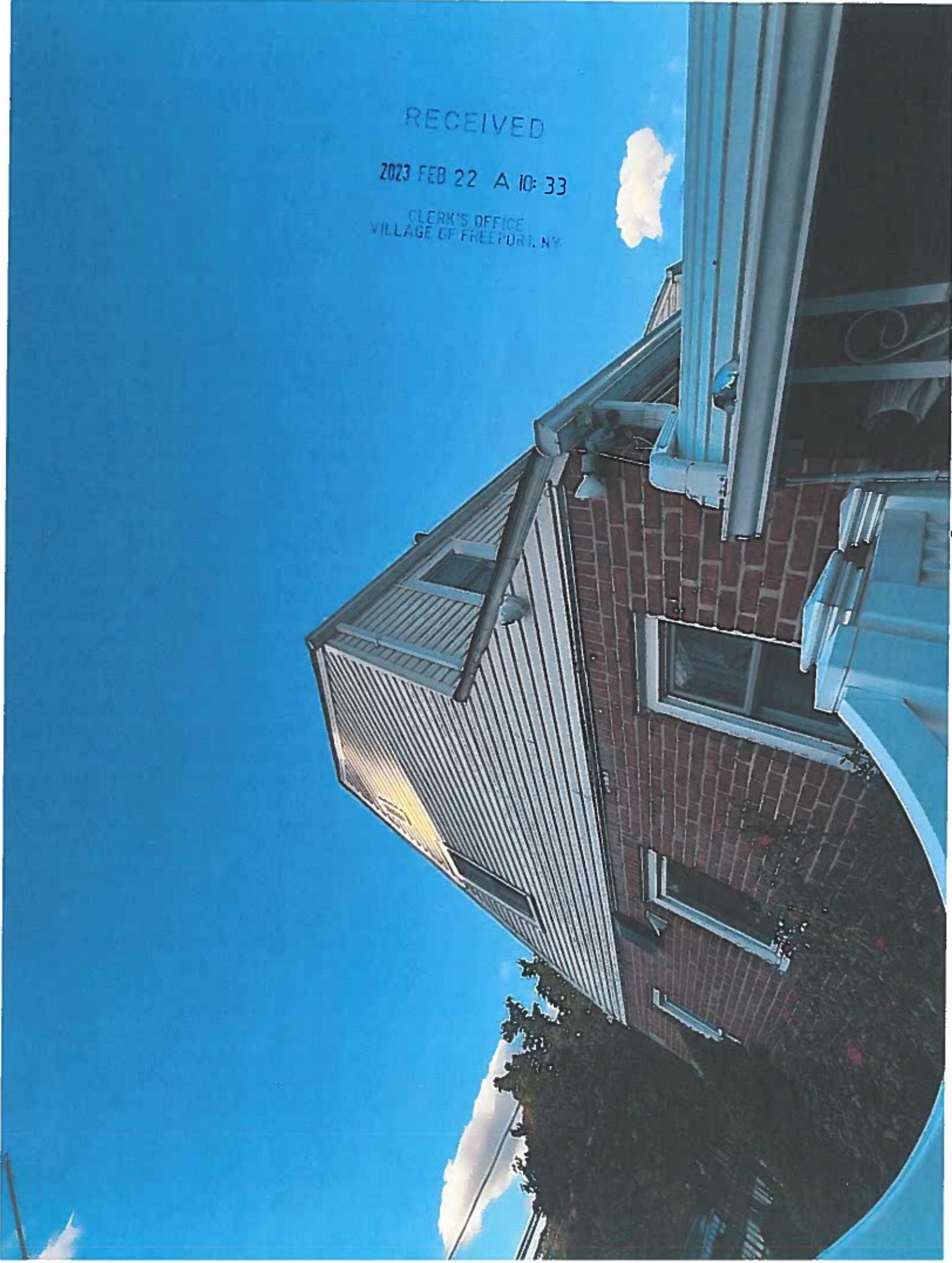


DR. 4951111

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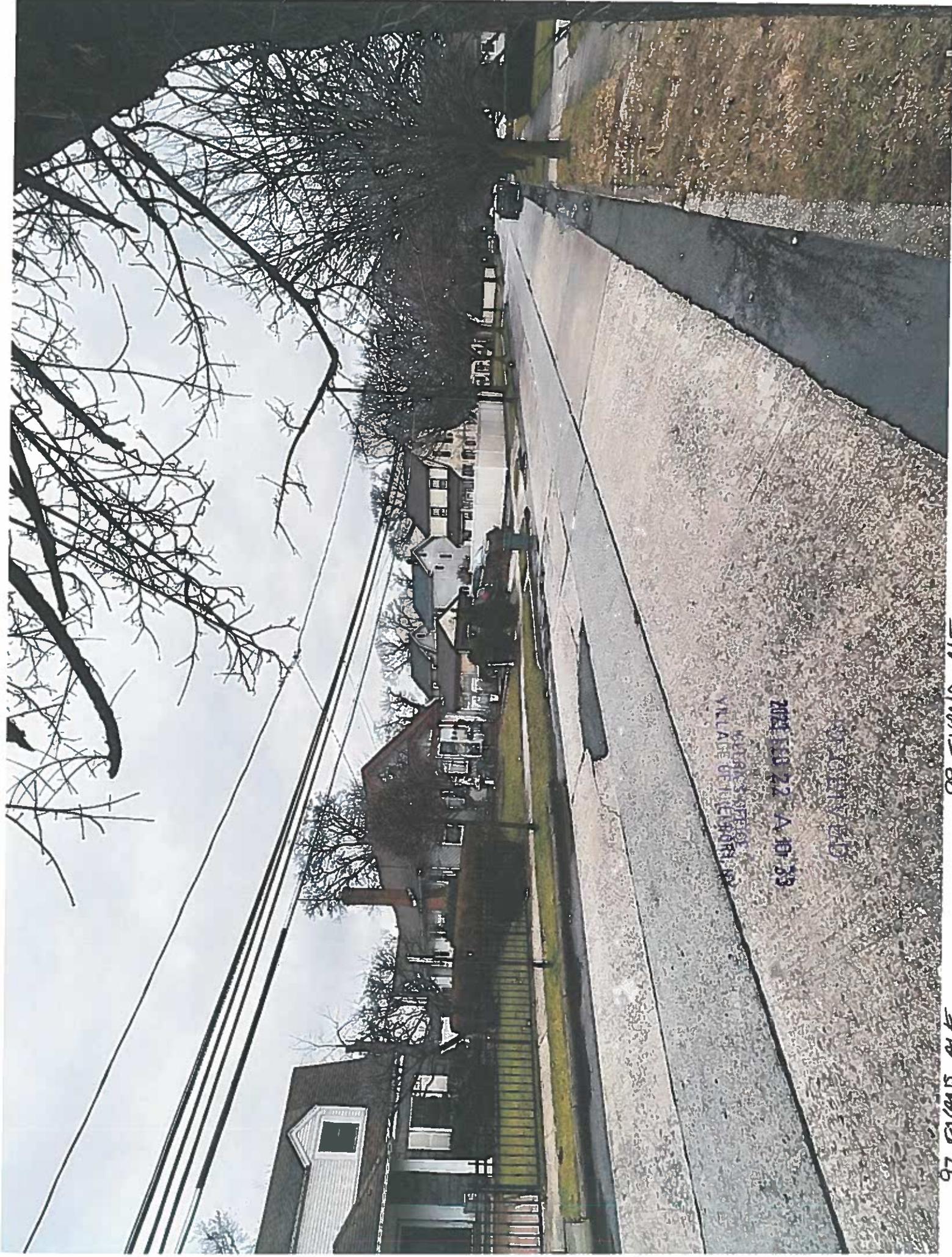
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Q1 25 1000 5 24 12 Q2 25 1000 5 24 12 Q3 25 1000 5 24 12



WILSON STREET
VILLAGE OF HILLSPORT, IL

10/21/22

97 EURAS AVE.
99 EURAS AVE.



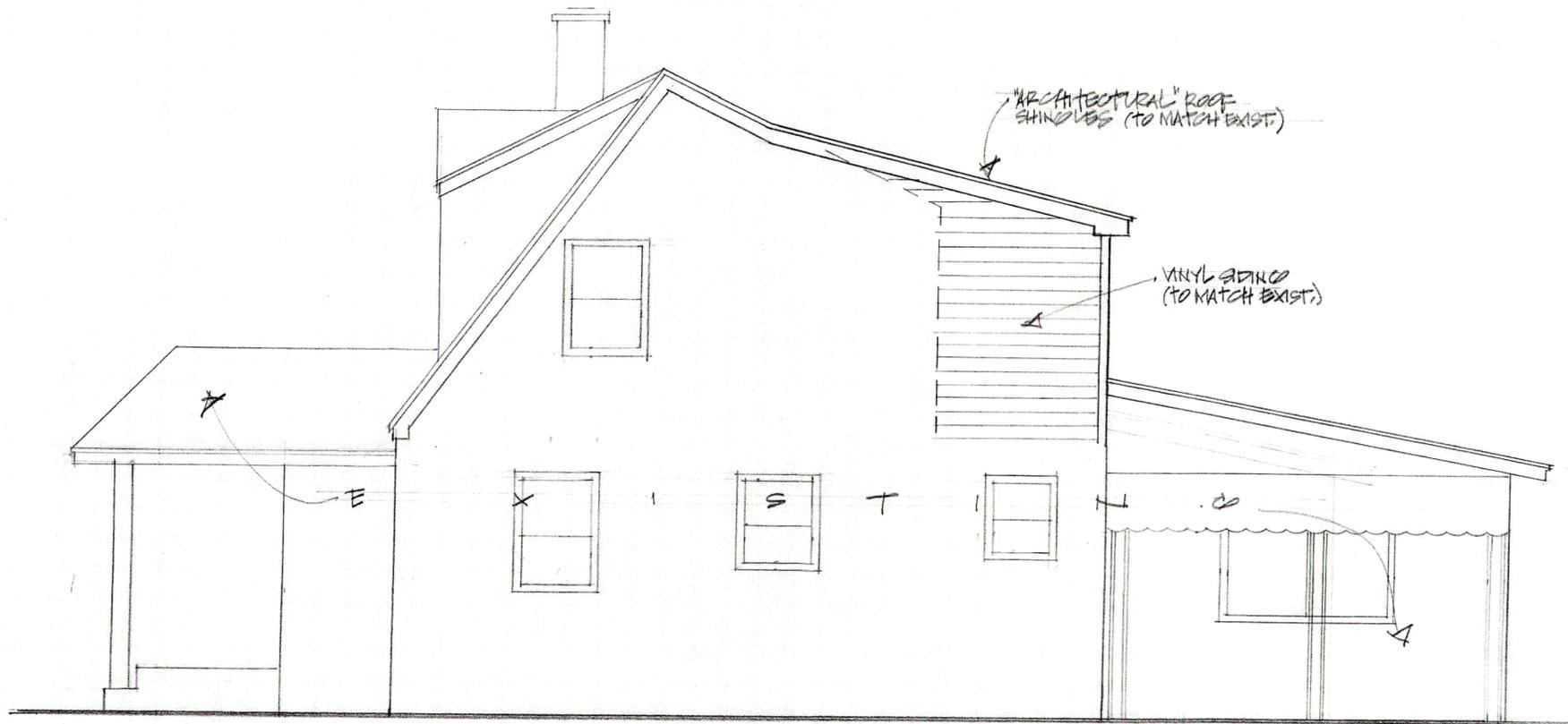
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VILLAGE OF

917 SWAN 08

916 EVANS 11

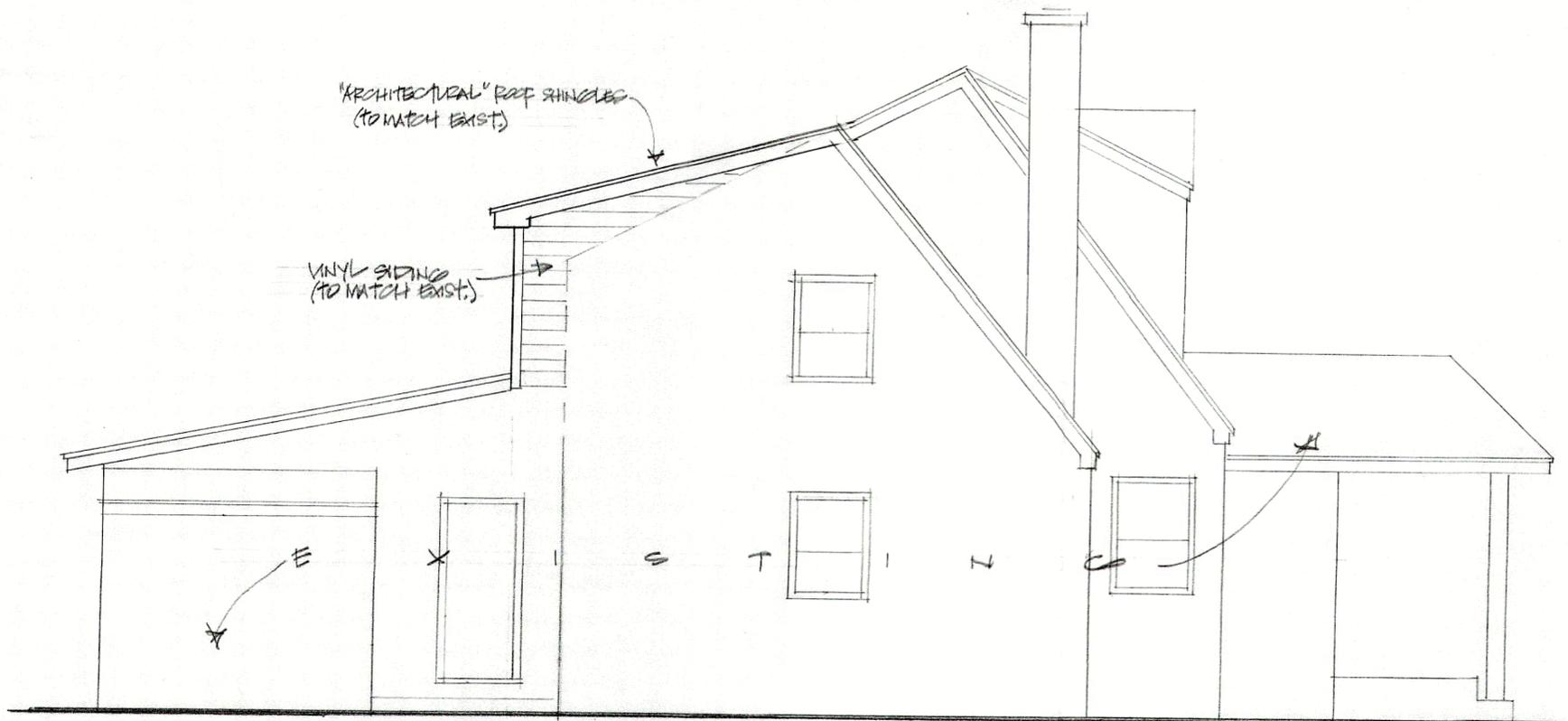


88 EVANS AVE.



RIGHT-SIDE ELEVATION

SCALE: 1/4" = 1'-0"



LEFT-SIDE ELEVATION

SCALE: 1/4" = 1'-0"

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 CLERK'S OFFICE
 VILLAGE OF FREEPORT, NY

REVISIONS:
 SCALE: AS NOTED

DATE: 11-15-22



BERNARD
 G.
 RODGERS
 ARCHITECT

2150 WANTAGH PARK DR.
 WANTAGH, N.Y. 11793
 516-826-4155

PROPOSED ADDITION TO:
 BEHARRIS RESIDENCE
 97 EVANS AVE.
 FREEPORT, NY 11000

SHEET NO.

3

A

S

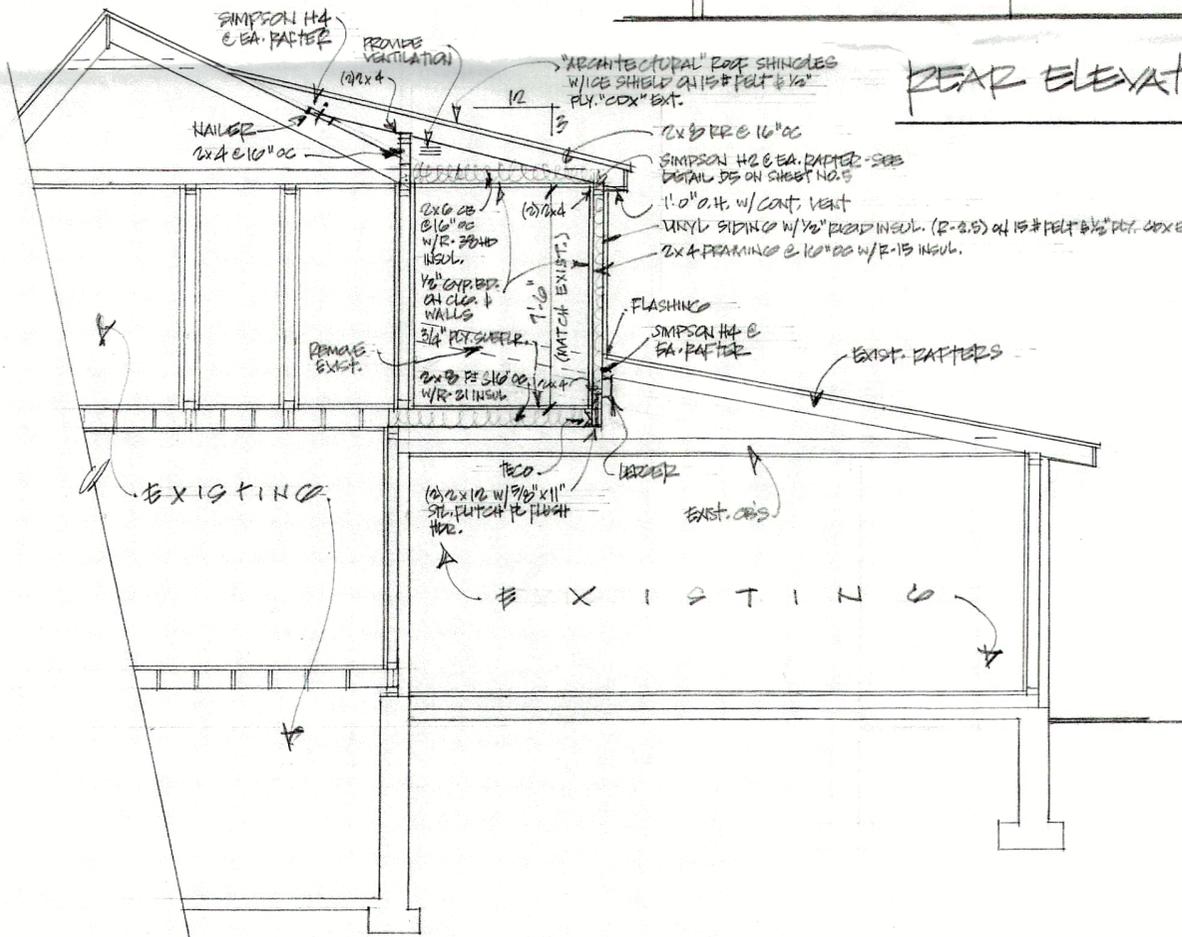
ARCHITECTURAL ROOF SHINGLES (TO MATCH EXIST.)

VINYL SIDING (TO MATCH EXIST.)



REAR ELEVATION

SCALE: 1/4" = 1'-0"



SECTION "A-A"

SCALE: 1/4" = 1'-0"

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CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

SCALE: AS NOTED

DATE: 11-15-22



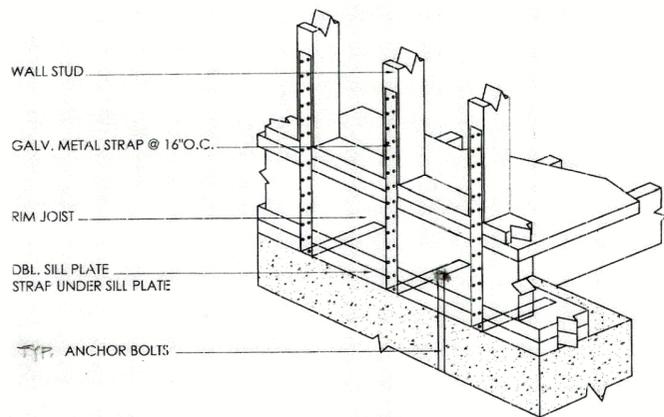
BERNARD
G.
RODGERS
ARCHITECT

2150 WANTAGH PARK DR.
WANTAGH, N.Y. 11793
516-826-4155

PROPOSED ADDITION TO:
~~BEHARRIS RESIDENCE~~
97 EVANS AVE.
FREEPORT, NY 11520

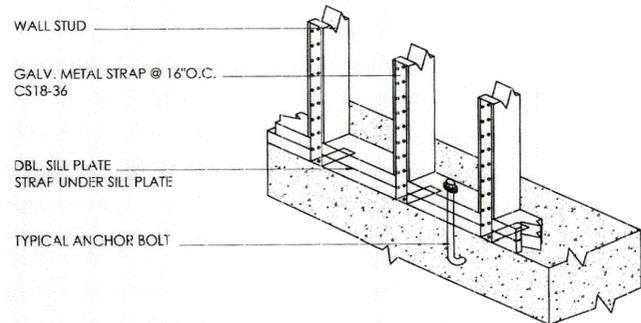
SHEET NO.

4



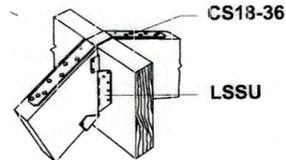
56 SILL PLATE TO RIM JOIST CONNECTION

GALV. METAL STRAP @ 16" O.C.
SIMPSON MODEL CS18

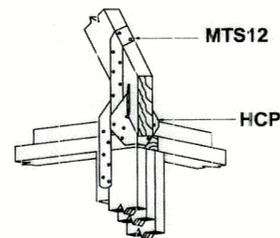


59 SILL PLATE TO CONC. SLAB CONNECTION

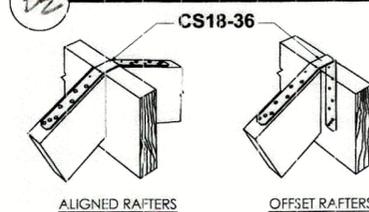
GALV. METAL STRAP @ 16" O.C.
SIMPSON MODEL CS18-36 @ EACH STUD



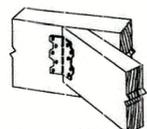
D1 STRUCTURAL RIDGE



D2 HIP CORNER



D4 RIDGE CONNECTIONS

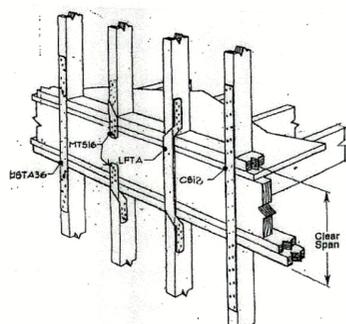


**D7 HIP RAFTERS
SIMPSON STRONG-TIE (LS70)**

NAILING SCHEDULE

JOINT DESCRIPTION	NUMBER OF NAILS	NAIL SPACING
ROOF FRAMING		
RAFTER TO TOP PLATE (TOE NAILED)	4-8d	PER RAFTER
CEILING JOIST TO TOP PLATE (TOP PLATE)	4-8d	PER JOIST
CEILING JOIST TO PARALLEL RAFTER (TOP PLATE)	4-16d	EACH LAP
CEILING JOIST LAPS OVER PARTITIONS (FACE NAILED)	4-16d	EACH LAP
COLLAR TIE TO RAFTER (FACE NAILED)	3-8d	PER TIE
BLOCKING TO RAFTER (TOE NAILED)	2-8d	EACH END
RIM BOARD TO RAFTER (TOE NAILED)	2-16d	EACH END
WALL FRAMING		
TOP PLATE TO TOP PLATE (FACE NAILED)	2-16d	PER FOOT
TOP PLATE AT INTERSECTIONS (FACE NAILED)	4-16d	JOIST EACH SIDE
STUD TO STUD (FACE NAILED)	2-16d	24" O.C.
HEADER TO HEADER (FACE NAILED)	1-6d	16" O.C. ALONG EDGES
TOP OR BOTTOM PLATE TO STUD (END NAILED)	SEE TABLE 3.5A	PER STUD
BOTTOM PLATE FLOOR JOIST BAND JOIST, END JOIST OR BLOCKING (FACE NAILED)	2-16d ^{1,2}	PER FOOT
FLOOR FRAMING		
JOIST TO SILL, TOP PLATE OR GIRDER	4-8d	PER JOIST
BRIDGING TO JOIST (TOE NAILED)	2-8d	EACH END
BLOCKING TO JOIST (TOE NAILED)	2-8d	EACH END
BLOCKING TO SILL OR TOP PLATE (TOE NAILED)	3-16d	EACH BLOCK
LEDGER STRIP TO BEAM (FACE NAILED)	3-16d	EACH JOIST
JOIST ON LEDGER TO BEAM (TOE NAILED)	3-8d	PER JOIST
BAND JOIST TO JOIST (END NAILED)	3-16d	PER JOIST
BAND JOIST TO SILL OR TOP PLATE TOE NAILED	2-16d	PER FOOT
ROOF SHEATHING		
STRUCTURAL PANELS	3d	SEE TABLE 3.10
DIAGONAL BOARD SHEATHING		
1"x6" OR 1"x8"	2-8d	PER SUPPORT
1"x10" OR WIDER	3-8d	PER SUPPORT
CEILING SHEATHING		
GYPSUM WALLBOARD	5d COOLERS	7" EDGE/10" FIELD
STRUCTURAL PANELS	3d	SEE TABLE 3.11
FIBERBOARD PANELS		
7/16"	5d ³	3" EDGE/6" FIELD
25/32"	3d ³	3" EDGE/6" FIELD
GYPSUM WALLBOARD	5d COOLERS	7" EDGE/10" FIELD
HARDBOARD	3d	SEE TABLE 3.11
PARTICLE BOARD PANELS	3d	SEE MANUFACTURER
DIAGONAL BOARD SHEATHING		
1"x6" OR 1"x8"	2-8d	PER SUPPORT
1"x10" OR WIDER	3-8d	PER SUPPORT
FLOOR SHEATHING		
STRUCTURAL PANELS		
1" OR LESS	3d	6" EDGE/12" FIELD
GREATER THAN 1"	10d	6" EDGE/6" FIELD
DIAGONAL BOARD SHEATHING		
1"x6" OR 1"x8"	2-8d	PER SUPPORT
1"x10" OR WIDER	3-8d	PER SUPPORT

1. NAILING REQUIREMENTS ARE BASE ON WALL SHEATHING NAILED 6" ON CENTER AT THE PANEL EDGE. IF WALL SHEATHING IS NAILED 3" O.C. AT THE PANEL EDGE TO OBTAIN HIGHER SHEAR CAPACITIES, NAILING REQUIREMENTS FOR STRUCTURAL MEMBERS SHALL BE DOUBLED OR ALTERNATE CONNECTORS, SUCH AS SHEAR PLATES, SHALL BE USED TO MAINTAIN THE LOAD PATH.
2. WHEN WALL SHEATHING IS CONTINUOUS OVER CONNECTED MEMBERS, THE TABULATED NUMBER OF NAILS SHALL BE PERMITTED TO BE REDUCED TO 1-16d NAIL PER FOOT.
3. CORROSION RESISTANT 11 GA. ROOFING NAILS AND 16 GA. STAPLES ARE PERMITTED.



D3 STUD TO STUD CONNECTIONS
SIMPSON STRONG-TIE (CS18 OR LFTA OR LS70)
CS18 - 26" AT 16" O.C. WITH (6) 16D NAILS AT EACH END WITH (1) 16D AT CENTER

Minimum Uniformly Distributed Live Loads

Sleeping Rooms - 30#/sf
Attic w/o Storage - 10#/sf
Rooms other than Sleeping Rooms - 40#/sf

Dead Load - 10#/sf

STANDARD USED:
AMERICAN FOREST & PAPER ASSOC. (AF&PA)
WOOD FRAME CONSTRUCTION MANUAL
FOR ONE & TWO FAMILY DWELLINGS
W.F.C.M. 2018 EDITION

ROOF SHEATHING ATTACHMENT REQUIREMENTS FOR WIND LOADS

EXPOSURE B

SHEATHING LOCATION	RAFTER/TRUSS SPACING (INCHES O.C.)	THREE SECOND GUST WIND SPEED (MPH) 110	
		E	F
INTERIOR ZONE	12	6	12 ²
	16	6	12 ²
	19.2	6	6
	24	6 ²	6 ²
PERIMETER EDGE ZONE	12	6	12
	16	6	12
	19.2	6	12
	24	6	12
GABLE END WALL RAKE OR RAKE TRUSS WITH LOOKOUT BLOCK		6 ³	6 ³
GABLE END WALL RAKE OR RAKE TRUSS WITHOUT RAKE OVERHANG		6	6

SHEATHING SIZE	RAFTER/TRUSS SPACING (INCHES O.C.)	BOARD SHEATHING MINIMUM NUMBER OF 8d COMMON NAILS OR 10d BOX NAILS PER SUPPORT
1x6 OR 1x8 SHEATHING	12-19.2	2
1x10 OR LARGER SHEATHING	12-19.2	3

- E - NAIL SPACING AT PANEL EDGES (IN.)
F - NAIL SPACING AT INTERMEDIATE SUPPORTS IN THE PANEL FIELD (IN.)
1. FOR SHEATHING WITHIN 4 FEET OF THE PERIMETER EDGE OF THE ROOF, INCLUDING 4 FEET ON EACH SIDE OF THE ROOF PEAK, THE 4 FOOT PERIMETER EDGE ZONE ATTACHMENT REQUIREMENTS SHALL BE USED.
 2. TABULATED 12 INCH O.C. NAIL SPACING ASSUMES SHEATHING ATTACHED TO RAFTER/TRUSS FRAMING MEMBERS WITH G<0.49. FOR FRAMING MEMBERS WITH 0.42<G<0.49, THE NAIL SPACING SHALL BE REDUCED TO 6" O.C.
 3. TABULATED 6" O.C. NAIL SPACING ASSUMES SHEATHING ATTACHED TO RAFTER/TRUSS FRAMING MEMBERS WITH G<0.49. FOR FRAMING MEMBERS WITH 0.42<G<0.49, THE NAIL SPACING SHALL BE REDUCED TO 4" O.C.
 4. TABULATED 4" O.C. NAIL SPACING ASSUMES SHEATHING ATTACHED TO RAFTER/TRUSS FRAMING MEMBERS WITH G<0.49. FOR FRAMING MEMBERS WITH 0.42<G<0.49, THE NAIL SPACING SHALL BE REDUCED TO 3" O.C.
 5. TABULATED NAIL SPACINGS ASSUME A BUILDING LOCATED IN EXPOSURE B.

RAFTER/CEILING JOIST TO TOP PLATE LATERAL AND SHEAR CONNECTION REQUIREMENTS

EXPOSURE B

RAFTER/CEILING JOIST SPACING (IN.)	WALL HEIGHT (FT.)	THREE SECOND GUST WIND SPEED (MPH) 110	
		NUMBER OF 8d COMMON NAILS (TOE NAILED) REQUIRED IN EACH RAFTER AND/OR CEILING JOIST TO TOP PLATE CONNECTION	1, 2, 3, 4
12"	8	2	
	10	2	
16"	8	3	
	10	3	
24"	8	4	
	10	4	

1. PRESCRIPTIVE LIMITS ARE BASED ON ASSUMPTION IN TABLE 3.4
2. TABULATED CONNECTION REQUIREMENTS ASSUME A BUILDING LOCATED IN EXPOSURE B
3. WHEN CEILING JOISTS ARE INSTALLED PARALLEL TO RAFTERS, THE SUM OF TOE NAILS IN THE RAFTER AND CEILING JOISTS SHALL EQUAL OR EXCEED THE TABULATED NUMBER OF NAILS REQUIRED.
4. TO AVOID SPLITTING, NO MORE THAN 2 TOE NAILS SHALL BE INSTALLED IN EACH SIDE OF A RAFTER OR CEILING JOIST WHEN FASTENED TO A 2"x4" TOP PLATE OR 3 TOE NAILS IN EACH SIDE WHEN FASTENED TO A 2"x6" TOP PLATE

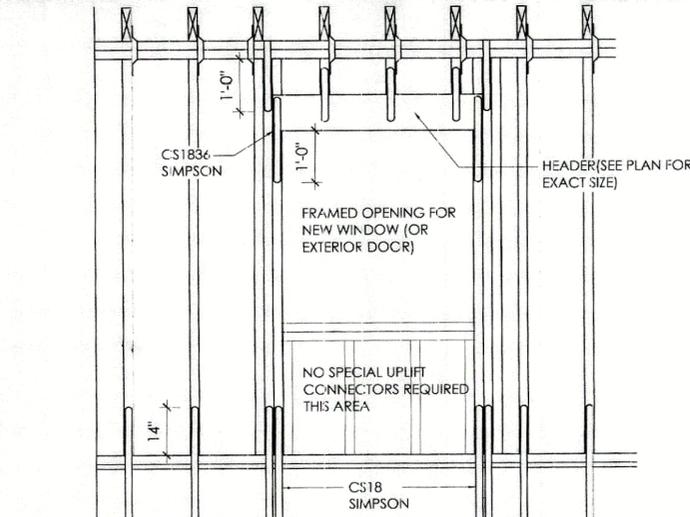
WALL SHEATHING AND CLADDING ATTACHMENT REQUIREMENTS FOR WIND LOADS

EXPOSURE B

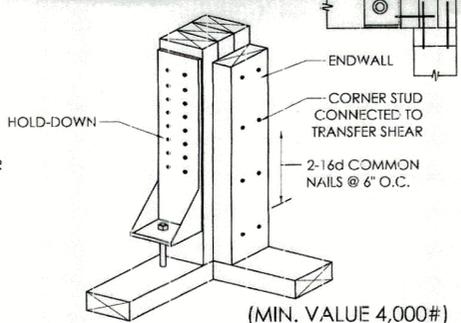
SHEATHING LOCATION	RAFTER/TRUSS SPACING (INCHES O.C.)	THREE SECOND GUST WIND SPEED (MPH) 110	
		E	F
INTERIOR ZONE	12	6	12
	16	6	12
	24	6	12
	PERIMETER EDGE ZONE	12	6
	16	6	12
	24	6	12

SHEATHING SIZE	RAFTER/TRUSS SPACING (INCHES O.C.)	BOARD SHEATHING MINIMUM NUMBER OF 8d COMMON NAILS OR 10d BOX NAILS PER SUPPORT
1x6 OR 1x8 SHEATHING	12-24	2
1x10 OR LARGER SHEATHING	12-24	3

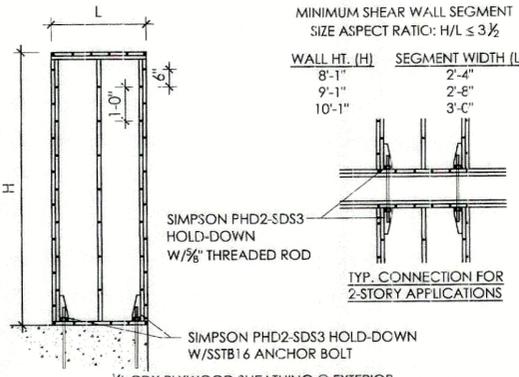
- E - NAIL SPACING AT PANEL EDGES (IN.)
F - NAIL SPACING AT INTERMEDIATE SUPPORTS IN THE PANEL FIELD (IN.)
1. FOR WALL SHEATHING WITHIN 4 FEET OF THE CORNERS, THE 4 FOOT EDGE ZONE ATTACHMENT REQUIREMENTS SHALL BE USED.
 2. TABULATED 12 INCH O.C. NAIL SPACING ASSUMES SHEATHING ATTACHED TO STUD FRAMING MEMBERS WITH G<0.49. FOR FRAMING MEMBERS WITH 0.42<G<0.49, THE NAIL SPACING SHALL BE REDUCED TO 6" O.C.
 3. FOR EXTERIOR PANEL SIDING GALVANIZED BOX NAILS SHALL BE PERMITTED TO BE SUBSTITUTED FOR COMMON NAILS
 4. TABULATED NAIL SPACING ASSUME A BUILDING LOCATED IN EXPOSURE B.



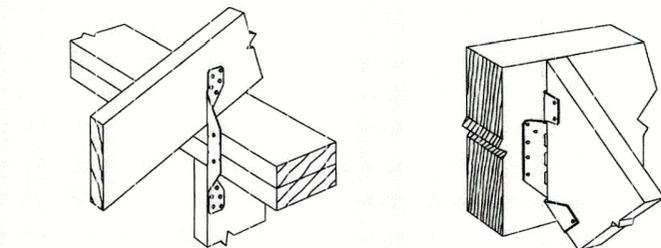
D10 STUD TO STUD & HEADER CONNECTIONS



J CORNER HOLDDOWN
PHD2-SDS3 HOLD DOWN BRACKET PREDEFLECTED BY SIMPSON



I SHEAR WALL SEGMENT DETAIL



D5 HURRICANE STRAP
SIMPSON STRONG-TIE (H2)

D3 ADJUSTABLE HANGER
SIMPSON STRONG-TIE (LSSU)

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**BERNARD
G. RODGERS
ARCHITECT**

2150 WANTAGH PARK DR.
WANTAGH, N.Y. 11793
516-826-4155

GENERAL REFERENCE SHEET
FRAMING DETAILS, CONNECTIONS
STANDARD NAILING SCHEDULE

SHEET NO.

5

4

5

Application Date: 2/23/23
Fees Paid: \$225.67

SP# 3620

**INCORPORATED VILLAGE OF FREEPORT
SITE PLAN REVIEW APPLICATION
PLANNING BOARD**

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 209 Porterfield Pl Free ZONING DISTRICT R-Res-A
SECTION 54 BLOCK 95 LOT 3 LOT SIZE: _____

<input type="checkbox"/> TENANT	<input checked="" type="checkbox"/> APPLICANT	<input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>Same as owner</u>			Name: <u>Victor Siguencia Humala</u>
Address: _____			Address: <u>209 Porterfield Ave Freeport NY 11520</u>
Telephone #: <u>631-3550623</u>			Telephone #: <u>347-891-8482</u>

Attorney Name: _____ Address: _____
(optional) Phone #: _____

Present Land Use: residential Proposed Land Use: residential

Description of Proposed Work: Construct a 24'x 9.5' 1-story addition

I request a preliminary meeting: _____ YES NO

I request a waiver of the public hearing and hereby certify the following:
A. The subject property is zoned Residence A or Residence AA.
B. The proposed construction is not a new building or dwelling.
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.

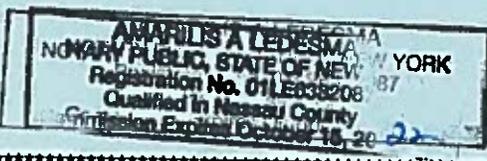
_____ YES _____ NO

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VILLAGE OF FREEPORT, NY

Victor Siguencia X
APPLICANT'S SIGNATURE _____ DATE 10-26-2022

Sworn to before me this 26
day of October, 2022.

Amarilis Ledesma
Notary Public

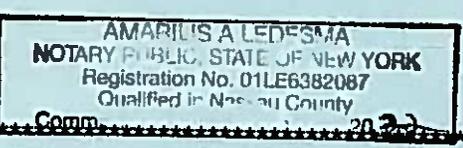


Property Owner's Consent:
I, _____ am (are) the owner(s) of the subject property and consent to the filing of this application.

Victor Siguencia X
PROPERTY OWNER'S SIGNATURE _____ DATE 10-26-2022

Sworn to before me this 26
day of October, 2022.

Amarilis Ledesma
Notary Public



FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: _____ YES _____ NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	Approved _____ Denied _____ Date: _____
Planning Board Signature: _____	Date: _____



INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

ROBERT T. KENNEDY
MAYOR

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

January 31, 2023
UPDATED SITE PLAN LETTER

Victor Siguencia Humala
209 Porterfield Place
Freeport, NY 11520

RE: 209 Porterfield Place, Freeport, NY
Zoning District: Residence A Sec 54 Blk 95 Lot 3
Building Permit Application #20222887
Description: Construct a 24.1' x 9.5' one-story addition

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the **Village Clerk's Office at 516-377-3632** to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the **VILLAGE CLERK'S OFFICE** at 377-2300.

Very truly yours,

Sergio A. Mauras

Sergio A. Mauras
Superintendent of Buildings
/cd
Encl.

c: Village Clerk
Joseph Bello, R.A.

ZBA Approval Needed: Yes No

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VILLAGE OF FREEPORT, NY

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project :

Building Permit App. 20222887

Location: 209 Porterfield Place, Freeport, NY

Applicant: Victor Siguencia Humala

Description: Construct a 24.1' x 9.5' one-story addition

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) _____

B) Possible environment effects identified:
(only if positive determination)

Dated: Updated January 31, 2023

Sergio A. Mauras
Sergio A. Mauras
Superintendent of Buildings

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VILLAGE OF FREEPORT

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

617.20
Appendix B
Short Environmental Assessment Form

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Planning & Zoning Dept.
Freeport, NY

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project:		PROPOSED SIDE ADDITION	
Project Location (describe, and attach a location map):		S/S 209 PORTERFIELD PL 95' OF E/S PARK AVE FREEPORT NY	
Brief Description of Proposed Action:		PROPOSED ONE STORY ADDITION 24.1' X 9.5'	
Name of Applicant or Sponsor:		Telephone: 347 891 8482	
VICTOR SIQUENCIA HUMALA		E-Mail:	
Address: 209 PORTERFIELD PL.			
City/PO: FREEPORT		State: NY	Zip Code: 11860
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?		NO	YES
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency?		NO	YES
If Yes, list agency(s) name and permit or approval:		<input checked="" type="checkbox"/>	<input type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		0.3	acres
b. Total acreage to be physically disturbed?		0.1	acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		0.4	acres
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

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VILLAGE OF FREEPORT, NY
MAY 10 2007
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5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing potable water: N/A	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing wastewater treatment: N/A	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	10:48		

CLERK'S OFFICE
VILLAGE OF FREEPORT NY

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor name: <u>Lily BECCYA</u> Date: <u>8/1/22</u> Signature: _____ <small>Freeport Planning Dept. Freeport, NY</small>		

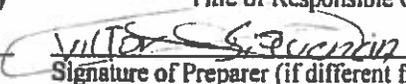
Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

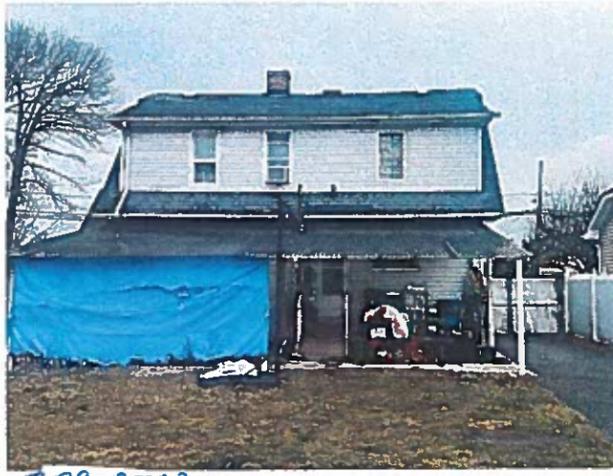
Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

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 VILLAGE OF FREEPORT, NY

<input checked="" type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input checked="" type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
Name of Lead Agency	Date
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
Signature of Responsible Officer in Lead Agency	 Signature of Preparer (if different from Responsible Officer)



209 LEFT REAR



209 REAR



209 FRONT



209 RIGHT FRONT



209 FRONT



209 LEFT FRONT



209 RIGHT REAR

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205 E/S OF 209



208 N/S OF 209

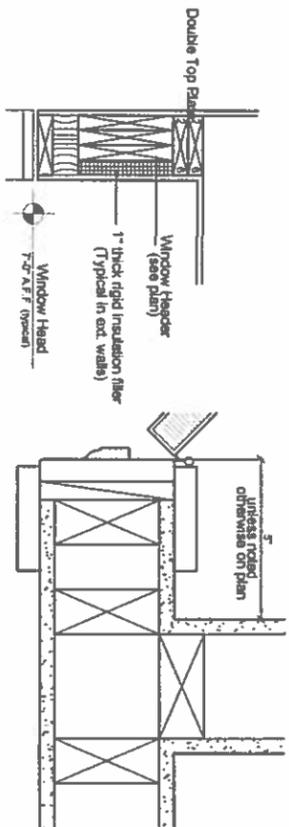


211 W/S OF 209

DOOR SCHEDULE

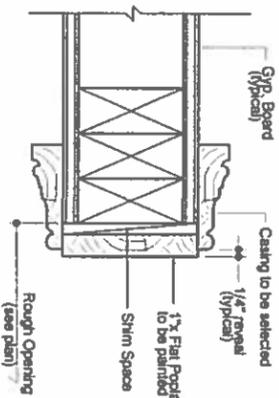
MARK	TYPE	MANUFACTURE	CATALOG #	SIZE	MATERIAL	REMARKS
CELLAR						
001						
002						
FIRST FLOOR						
100	INTERIOR SOLID CORE DOOR	TRUE STYLE	AS SELECTED BY OWNER	2'-0" X 6'-8"	MDF	
101	INTERIOR SOLID CORE DOOR	TRUE STYLE	AS SELECTED BY OWNER	4'-0" X 6'-8"	MDF	
102	INTERIOR SOLID CORE DOOR	TRUE STYLE	AS SELECTED BY OWNER	2'-0" X 6'-8"	MDF	
103	INTERIOR SOLID CORE DOOR	TRUE STYLE	AS SELECTED BY OWNER	4'-0" X 6'-8"	MDF	
104						
105						
106						
107						
108						
109						
110						
111						
SECOND FLOOR						
200						
201						
202						
203						
204						
205						
206						
207						
208						
209						
210						
211						
212						
213						
ATTIC						

*ALL CELLAR DOOR HEIGHTS TO BE FIELD VERIFIED FOR CLEARANCE PRIOR TO ORDERING

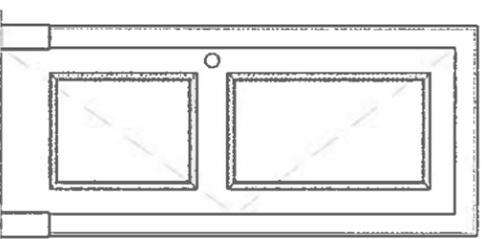


TYPICAL HEADER

TYPICAL DOOR JAMB



TYPICAL CASSED OPENING



TYPICAL INTERIOR DOOR

WINDOW & DOOR NOTES

WINDOW SPEC

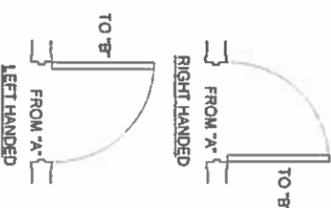
BRUNNEN ADJUSTABLE SERIES
 INTERIOR FINISH: JET BLACK POLY
 EXTERIOR FINISH: JET BLACK
 7/8" SOL. BURNING GLASS AS PER ELEVATIONS

NOTE: COORDINATE FINAL COLOR AND OPTION
 SELECTION WITH OWNER PRIOR TO ORDERING

- ALL WINDOWS AND EXTERIOR FRENCH DOORS BY ANDERSEN & NYF. JAMBS WHERE 2X4 STUDS, HARDWARE AS SELECTED BY OWNER (TYPICAL FOR WINDOWS IN NEW 208 WALL CONSTRUCTION) AND WINDOW IN EXISTING 2X4 WALL CONSTRUCTION TO HAVE 4 9/16" JAMBS GENERAL CONTRACTOR TO FIELD VERIFY WINDOW SCHEDULE TO INSURE PROPER JAMB SIZES PRIOR TO PLACING ORDER.
- WINDOW GLAZING SHALL COMPLY WITH HAZARDOUS LOCATION AS SET FORTH BY 2020 NYC RC 2401.1 AND MEET THE CRITERIA FOR CATEGORY 7 AS INDICATED IN 2020 NYC RC 2401.3 SEE ON-CALL.
- ALL BEDROOM WINDOWS MEET EGRESS REQUIREMENTS AND CONFORM TO 2020 NYC RC PART 2401.11. SUCH OPENING SHALL NOT IMPERE EGRESS IN AN EMERGENCY. SHALL HAVE A MIN. AREA OF FIVE (5) SQ. FT. WITH A MIN. DIMENSION OF 20" WIDTH, AND MIN. DIMENSION OF 24" HEIGHT WITH BOTTOM OF OPENING NO HIGHER THAN 42" AFF.
- ANDERSEN REPRESENTATIVE IS TO FIELD MEASURE EXISTING WINDOWS, TO BE REPLACED & IS TO FIELD VERIFY EXISTING R.O. I.M.O. PRIOR TO ORDERING AND PLACE ORDER FOR WINDOW. ORDERING WINDOW SHALL BE TO FIELD VERIFY EXISTING R.O. I.M.O. PRIOR TO ORDERING WINDOW AND GLASS DOORS SHALL BE DESIGNED TO MEET THE DESIGN WIND LOADS SPECIFIED IN TABLE R301.201 ADJUSTED FOR HEIGHT AND EXPOSURE PER TABLE R301.203. UNITS SHALL BE TESTED BY AN APPROVED INDEPENDENT LABORATORY AND BEAM ALUMINUM IDENTIFYING MARKS PERFORMANCE CHARACTERISTICS AND APPROVED INSPECTION AGENCY TO INDICATED COMPLIANCE WITH THE REQUIREMENTS OF ASHRAE 90.1-2010.
- WINDOWS SHALL HAVE GLAZED OPENING PROTECTED FROM WINDBORNE DEBRIS MEETING THE REQUIREMENTS OF THE LARGE LENSULE TEST OF ASTM E 1886 AND OF ASTM E 1886 REFERENCED THEREIN. PROTECTIVE PLYWOOD PANELS SHALL BE MARKED AND STROPPED ON SITE.
- ANDERSEN REPRESENTATIVE IS TO SUPPLY THE CONTRACTOR WITH LATEST CUTSHEET OF R.O. AND I.M.O. FOR SPECIFIED UNITS. CONTRACTOR TO COORDINATE REQUIRED OPENINGS.
- CONTRACTOR TO COORDINATE UNIT SIZE, REQUIRED R.O. AND I.M.O. WITH WINDOW MANUFACTURER'S SHOP DRAWINGS.

INTERIOR DOOR NOTES

- ALL INTERIOR DOORS TO BE SELECTED BY OWNER
- ALL INTERIOR DOORS ARE TO HAVE:
 - 54" JAMBS WITH SQUARE CORNER HINGES
 - 17" X 1.5" CO. STOPS
- ALL DOORS TO BE PAINT GRADE MDF U.O.N. ON DOOR SCHEDULE
- FINAL QUANTITY TO BE VERIFIED BY CONTRACTOR
- AT POCKET DOOR UNITS, ADD 1" TO LEFT HAND SIDE STILE (FROM TOP) AND TOP RAIL TO ACHIEVE EQUAL STILES AFTER INSTALLATION OF FINISHED JAMBS AT TRIM
- VERIFY ALL SWINGS WITH PLANS
- ALL DOORS, DOOR TRANSOMS, AND ADJACENT SIDELITES TO BE TEMPERED GLASS AS PER 2020 NYC RC



WINDOW SCHEDULE

MARK	TYPE	MANUFACTURER	UNIT SIZE	CATALOG #	LITE CUT	QTY	U VALUE	SHGC	REMARKS
A	DOUBLE HUNG	ANDERSEN	3'-2 1/2" X 4'-8 1/2"	TW 3046	SEE ELEVATION	2			EGRESS COMPLAINT
B									
C									
D									
E									
F									
G									
H									
I									
J									
K									
L									
M									
N									
O									
P									
Q									

BELLO
Architects

634 Northern Boulevard
 East Norwich, New York 11733
 516 309 4846 Phone
 516 813 0824 Fax
 info@bellarchitects.com
 www.bellarchitects.com

DATE ISSUED:
 5-2-2020 - Issued For Permit
 1-12-2022 - Revision Per Town
 2-13-2023 - Revision Per Town

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PRIVATE
RESIDENCE
 209 Portfield Place
 Freeport
 New York - 11520

When a registered design professional signs and seals these documents, they are attesting that to the best of his/her knowledge, skill, and professional judgment, such plans and specifications are in accordance with the applicable provisions of the New York State Building Code.
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FILE: 22165 (GAR)
 SCALE: AS NOTED
 DRAWN BY: GAR
 SHEET: SC-1

DATE ISSUED:

5-3-2023 - Revised Per Permit
1-12-2023 - Revision Per Town
2-13-2023 - Revision Per Town

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VILLAGE OF FREEPORT, NY

PRIVATE RESIDENCE
200 Potomac Place
Freeport
New York - 11520

When a registered design professional has stamped and signed this page (blue ink), they are attesting that to the best of their knowledge, belief, and professional judgment, such work complies with the laws in compliance with the latest New York State Building Code.
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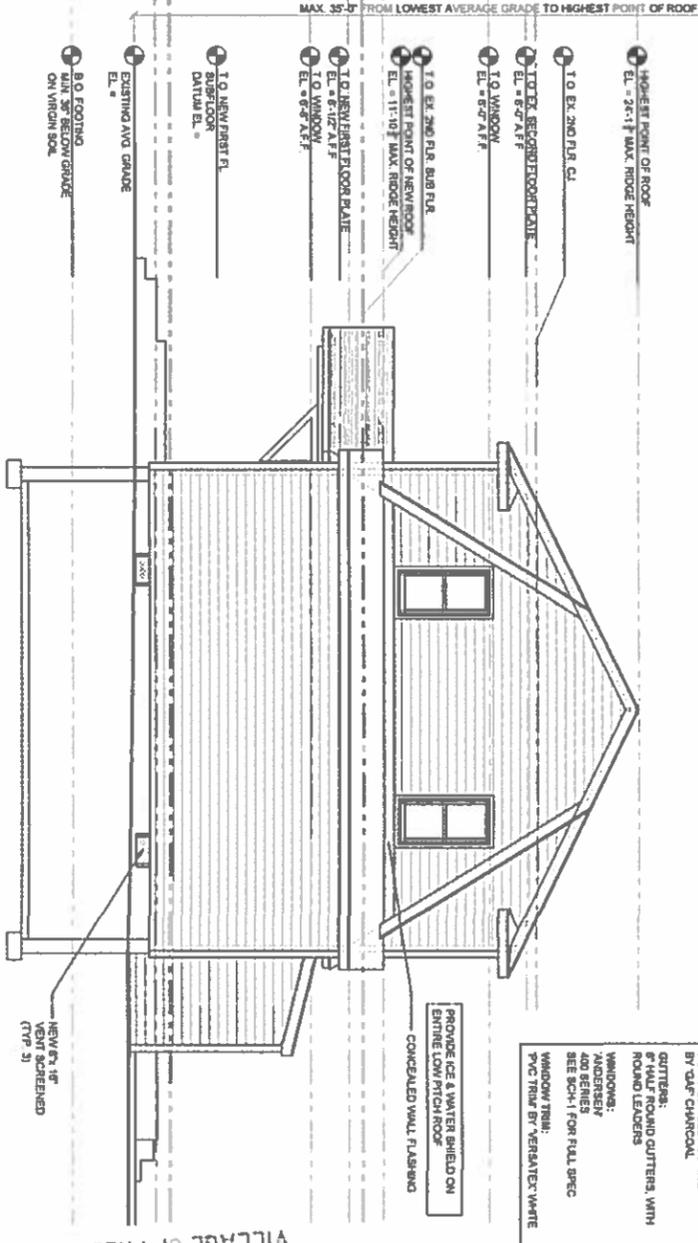
FILE: 22166 (GAR)

SCALE: AS NOTED

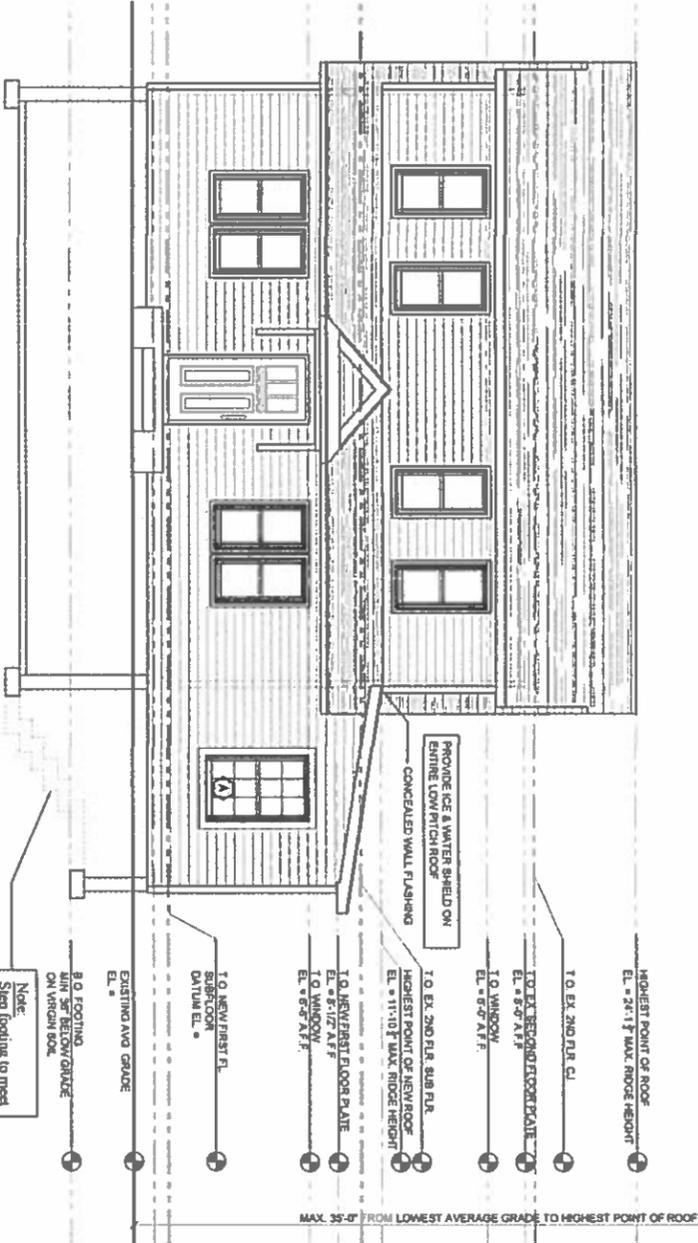
DRAWN BY: GAR

SHEET: A-3

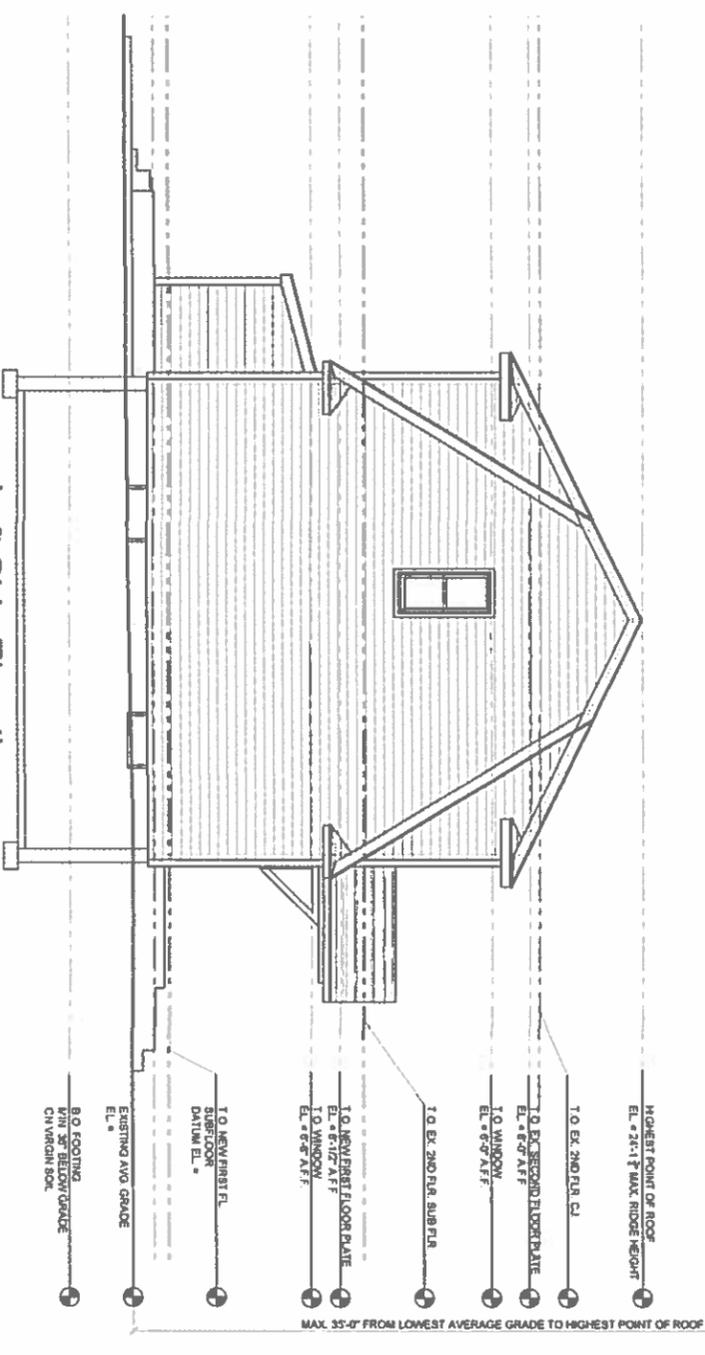
EXTERIOR FINISH SPECIFICATIONS
SIDING: VINTL SIDING 4.5"
STRAIGHT EDGE PERFECTION
BRICKS: VINTL BRICK BY
CENTRAIRTEED COLORFUL GRY
WEAVED CORNERPOST
LOW SLOPE ROOF:
ASPH/FLT ROLL ROOFING
ROOF LEADERS:
P HALF ROUND CUTTERS WITH
ROUND LEADERS
WINDOWS:
VANDERBEEK
400 SERIES
SEE SCH-1 FOR FULL SPEC
WINDOW TRIM:
PVC TRIM BY VERATEX WHITE



2 Right Side Elevation
SCALE: 1/4" = 1'-0"



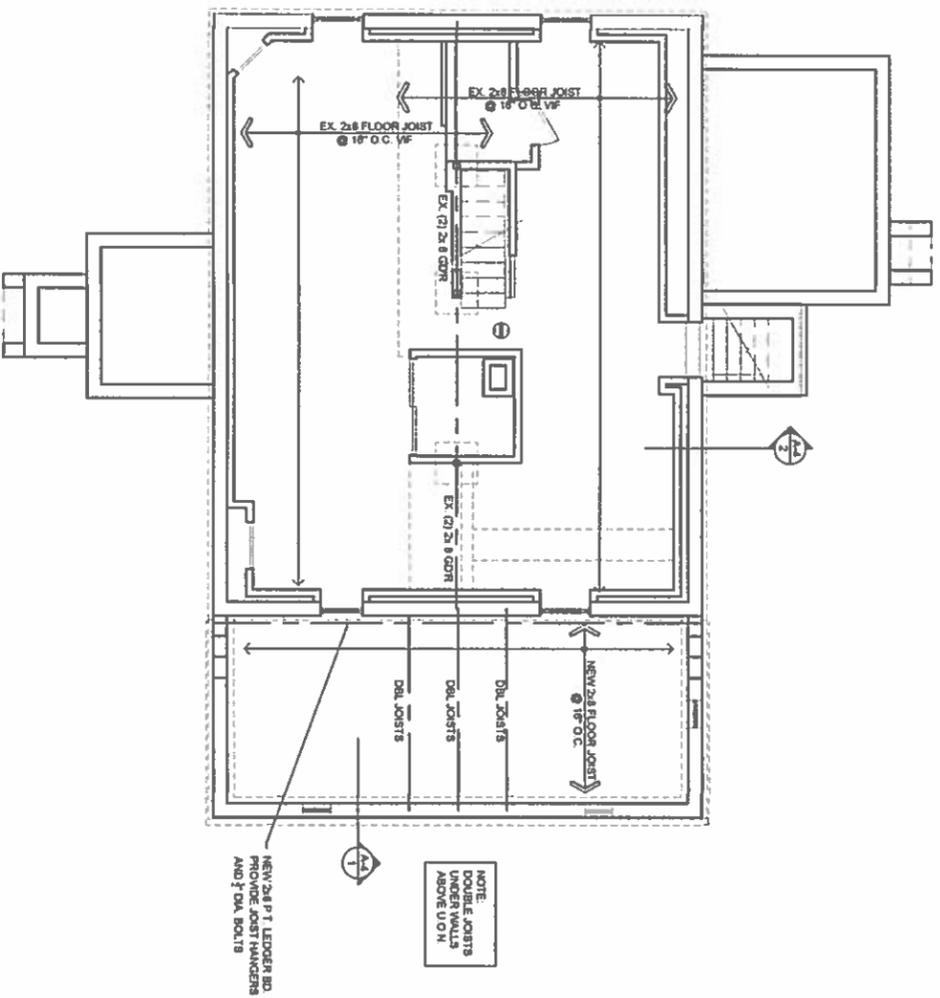
1 Front Elevation
SCALE: 1/4" = 1'-0"



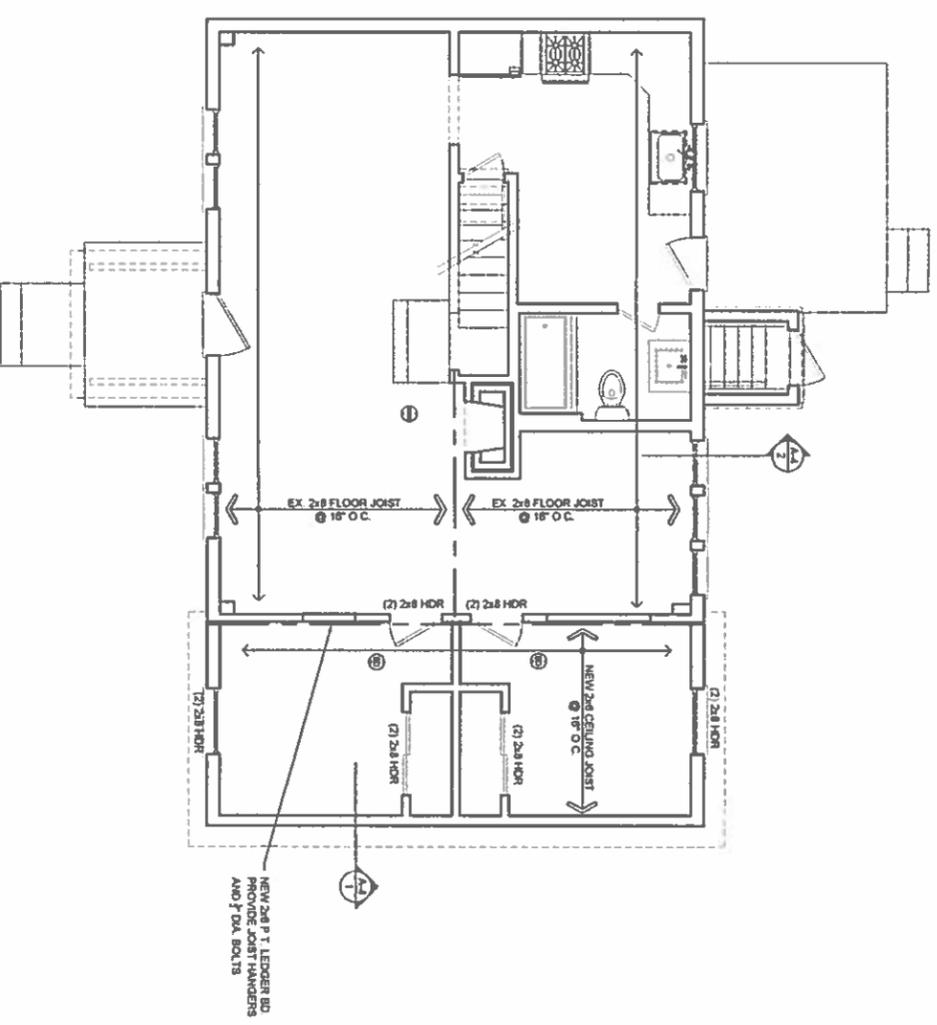
4 Left Side Elevation
SCALE: 1/4" = 1'-0"



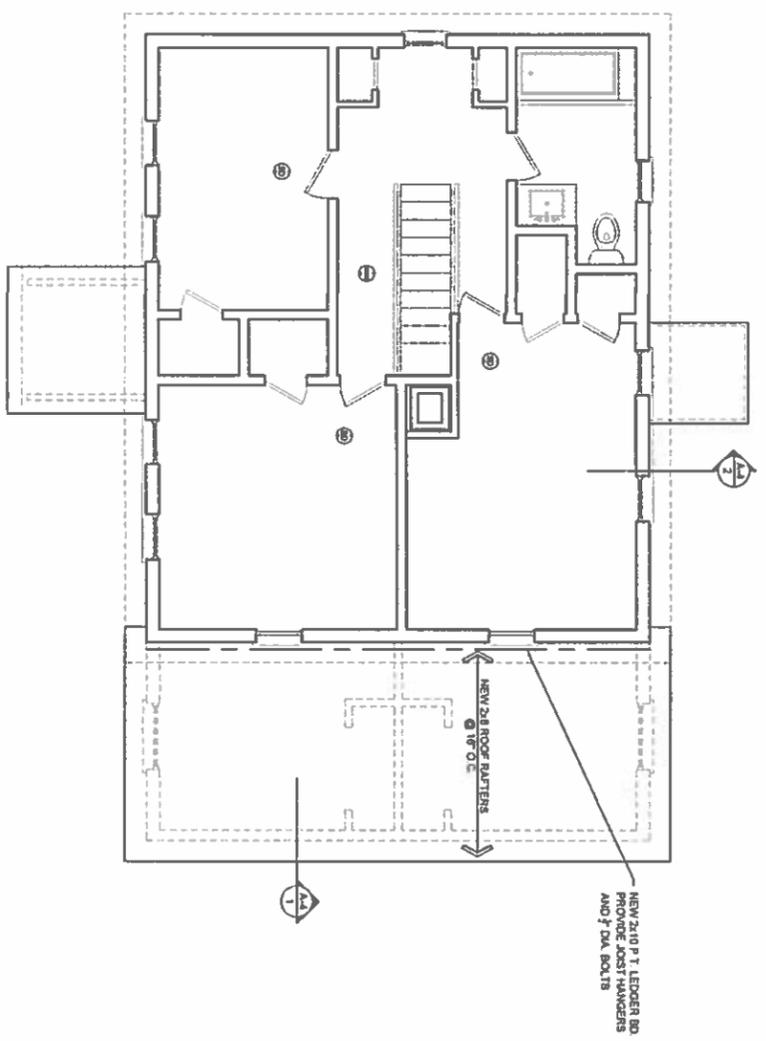
3 Rear Elevation
SCALE: 1/4" = 1'-0"



1 First Floor Framing Plan (Basement Ceiling)
SCALE: 1/4" = 1'-0"



2 Second Floor Framing Plan (First Floor Ceiling)
SCALE: 1/4" = 1'-0"



3 Roof Framing Plan
SCALE: 1/4" = 1'-0"

CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

BELLO
Architects

6334 Northern Boulevard
East Norwich, New York 11732
11 Broadway - Suite 3
Amityville, New York 11701
516.308.4040 Phone
516.813.0824 Fax
info@belloarchitects.com
www.belloarchitects.com

DATE ISSUED:
5-3-2023: Revised For Permit
1-12-2023: Revision Per Town
2-15-2023: Revision Per Town

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209 Portfield Place
Freeport
New York - 11520

When a registered design professional is used, the user agrees that they shall, they are offering that to the best of their professional judgment, skill, and experience, and that the design is intended to be used in accordance with the New York State Building Code.
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FILE: 22165 (GAR)
SCALE: AS NOTED
DRAWN BY: G.A.R.
SHEET: S-1

Application Date: 2/14/23
Fees Paid: \$225.00

SP# 3621

INCORPORATED VILLAGE OF FREEPORT
SITE PLAN REVIEW APPLICATION
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 890 S LONG BEACH AVE ZONING DISTRICT RES A
SECTION 62 BLOCK 156 LOT 765 LOT SIZE: 65' x 157.59
10,405.3 S.F

<input type="checkbox"/> TENANT	<input checked="" type="checkbox"/> APPLICANT	<input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>PATRICK HUGHES</u>			Name: <u>BRUCE LYONS</u>
Address: <u>106 IRVING AVE</u> <u>FREEPORT NY 11520</u>			Address: <u>890 S. LONG BEACH AVE</u> <u>FREEPORT NY 11520</u>
Telephone #: <u>516-546-5777</u>			Telephone #:

Attorney Name: _____ Address: _____
(optional) Phone #: _____

Present Land Use: RES Proposed Land Use: RES

Description of Proposed Work: 194 S.F. OPEN FRONT PORCH R/O
182.6 S.F. REAR DECK 154.4 S.F DECK OVER FLAT ROOF

I request a preliminary meeting: YES NO

I request a waiver of the public hearing and hereby certify the following:
A. The subject property is zoned Residence A or Residence AA.
B. The proposed construction is not a new building or dwelling.
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.

YES NO

Patrick Hughes
APPLICANT'S SIGNATURE

2/22/2023
DATE

Sworn to before me this 22
day of February, 2023.

PATRICIA A. PIEPER
NOTARY PUBLIC-STATE OF NEW YORK
No. 01PI6308224
Qualified in Nassau County
My Commission Expires July 21, 2026

Patricia A Pieper
Notary Public

Property Owner's Consent:
I, BRUCE LYONS am (are) the owner(s) of the subject property and consent to the filing of this application.

Bruce Lyons
PROPERTY OWNER'S SIGNATURE

2/22/2023
DATE

Sworn to before me this 22
day of February, 2023.

PATRICIA A. PIEPER
NOTARY PUBLIC-STATE OF NEW YORK
No. 01PI6308224
Qualified in Nassau County
My Commission Expires July 21, 2026

Patricia A Pieper
Notary Public

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: <input type="checkbox"/> YES <input type="checkbox"/> NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	Approved <input type="checkbox"/> Denied <input type="checkbox"/> Date: _____
Planning Board Signature: _____	Date: _____

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VILLAGE OF FREEPORT, NY



INC. VILLAGE OF FREEPORT

Department of Buildings
46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

ROBERT T. KENNEDY
MAYOR

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

December 28, 2022
SITE PLAN LETTER

Bruce Lyons
890 S. Long Beach Avenue
Freeport, NY 11520

RE: 890 S. Long Beach Avenue, Freeport, NY
Zoning District: Residence A Sec. 62 Blk. 156 Lot 765
Building Permit Application #20222949
Description: Proposed 194 sq. ft. open front porch, 182.6 sq. ft. rear deck & 154.4 sq. ft. deck over flat roof

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the **Village Clerk's Office at 516-377-3632** to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the **VILLAGE CLERK'S OFFICE** at 377-2300.

Very truly yours,

Sergio A. Mauras
Superintendent of Buildings

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VILLAGE OF FREEPORT, NY
23 FEB 24 A 10:56

/cd
encl.
c: Village Clerk
Dennis Oliver, R.A.

ZBA Approval Needed: Yes ___ No X

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

 The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project :

Building Permit App. 20222949

Location: 890 S. Long Beach Avenue, Freeport, NY

Applicant: Bruce Lyons

Description: Proposed 194 sq. ft. open front porch, 182.6 sq. ft. rear deck and a 154.4 sq. ft. deck over flat roof

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

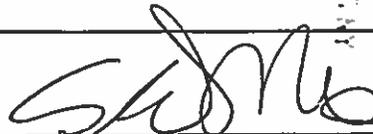
REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) _____

B) Possible environment effects identified:
(only if positive determination)

Dated: December 28, 2022



Sergio A. Mauras
Superintendent of Buildings

2023 FEB 24 A 10:36
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VILLAGE OF FREEPORT, NY

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IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information		
Name of Action or Project: FRONT PORCH AND DECK		
Name of Applicant or Sponsor: BRUCE LYONS		
Project Location (describe, and attach a location map): 890 S. LONG BEACH AVE		
Brief Description of Proposed Action: FRONT PORCH / BEAR WOOD DECK		
Name of Applicant or Sponsor: BRUCE LYONS		Telephone: 516-754-0754
		E-Mail:
Address: 890 S. LONG BEACH AVE		
City/PO: FREEPORT	State: NY	Zip Code: 11520
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input checked="" type="checkbox"/> YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:		NO <input checked="" type="checkbox"/> YES <input type="checkbox"/>
3.a. Total acreage of the site of the proposed action? _____ acres		RECEIVED VILLAGE OFFICE FREEPORT, NY FEB 21 10:56
b. Total acreage to be physically disturbed? _____ acres		
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres		
4. Check all land uses that occur on, adjoining and near the proposed action.		
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland		

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES

I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

Applicant/sponsor name: BRUCE LYONS Date: 8-11-22
 Signature: Bruce Lyons

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	✓	
2. Will the proposed action result in a change in the use or intensity of use of land?	✓	
3. Will the proposed action impair the character or quality of the existing community?	✓	
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	✓	
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	✓	
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	✓	
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?	✓ ✓	
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	✓	
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	✓	

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	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	✓	
11. Will the proposed action create a hazard to environmental resources or human health?	✓	

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

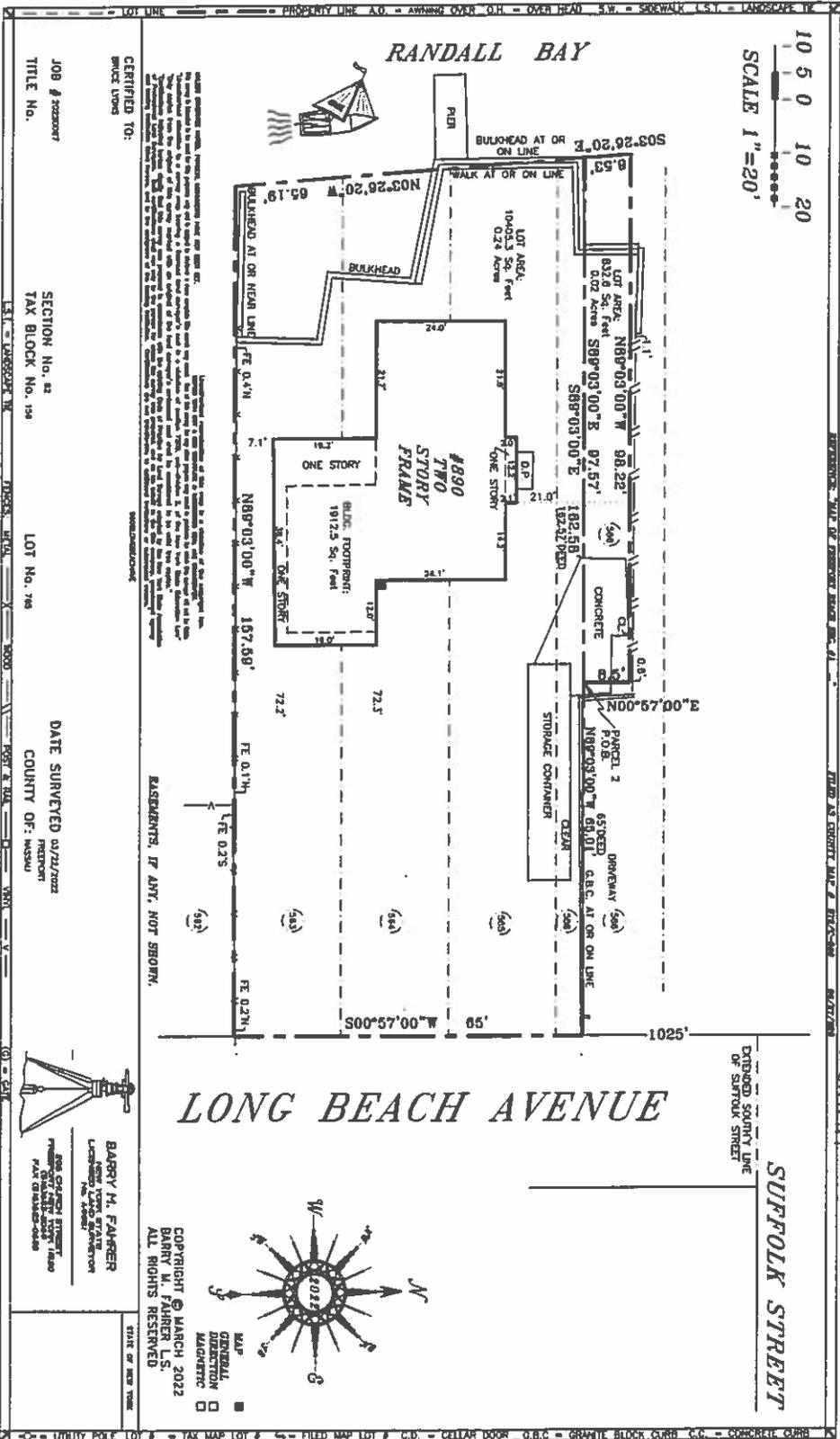
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2023 FEB 24 A 10:56
CLERK'S OFFICE
VILLAGE OF I NEPONT, NY

<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
Name of Lead Agency	Date
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

RECEIVED

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CLERK'S OFFICE
VILLAGE OF FREEPORT, NY



890 S. LONG BEACH AVE (REAR)

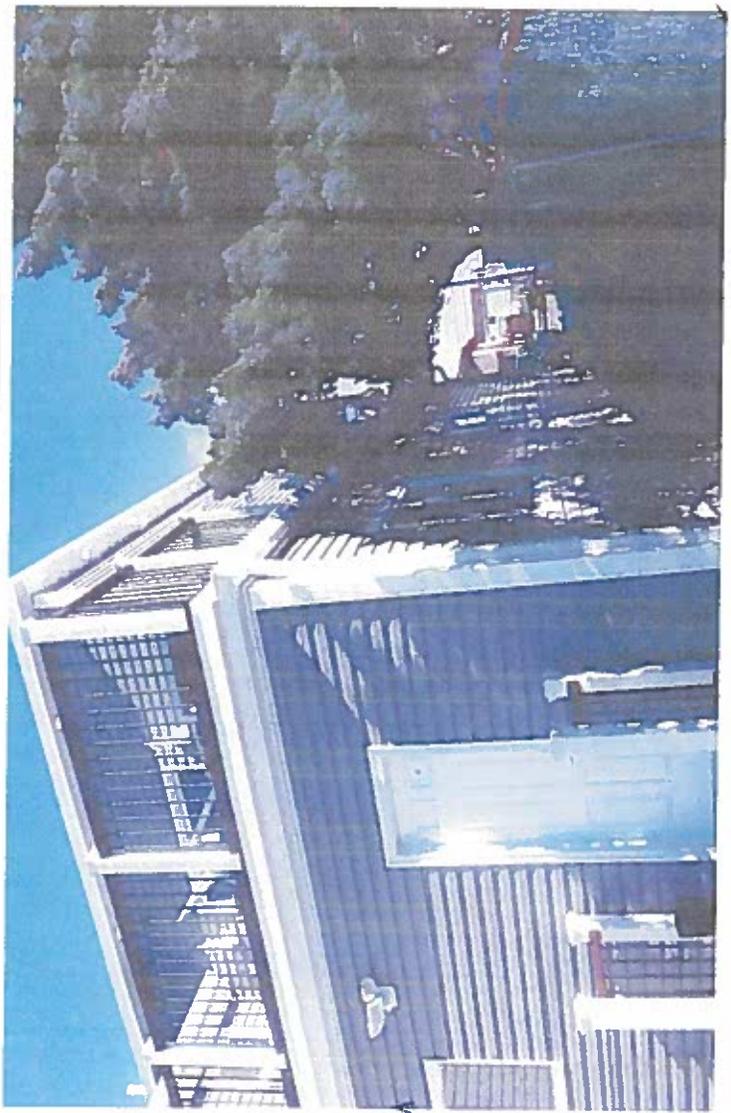
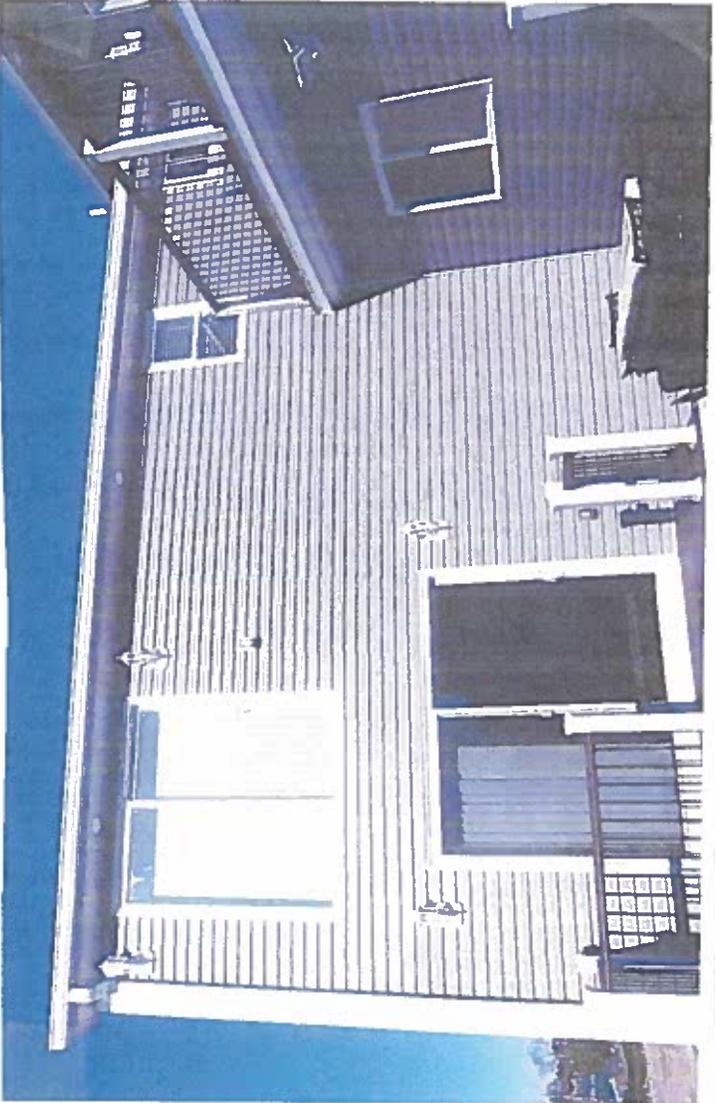


RECEIVED

2023 FEB 24 A 10:56

HERNANDEZ'S OFFICE
VILLAGE OF FULTON, NY

890 S LONG BEACH AVE (LEFT SIDE)



RECEIVED
2023 FEB 24 A 10:56
CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

890 S. LONG BEACH AVE (RIGHT SIDE)



CLEAN'S OFFICE
WELDING & FREEDOM, NY

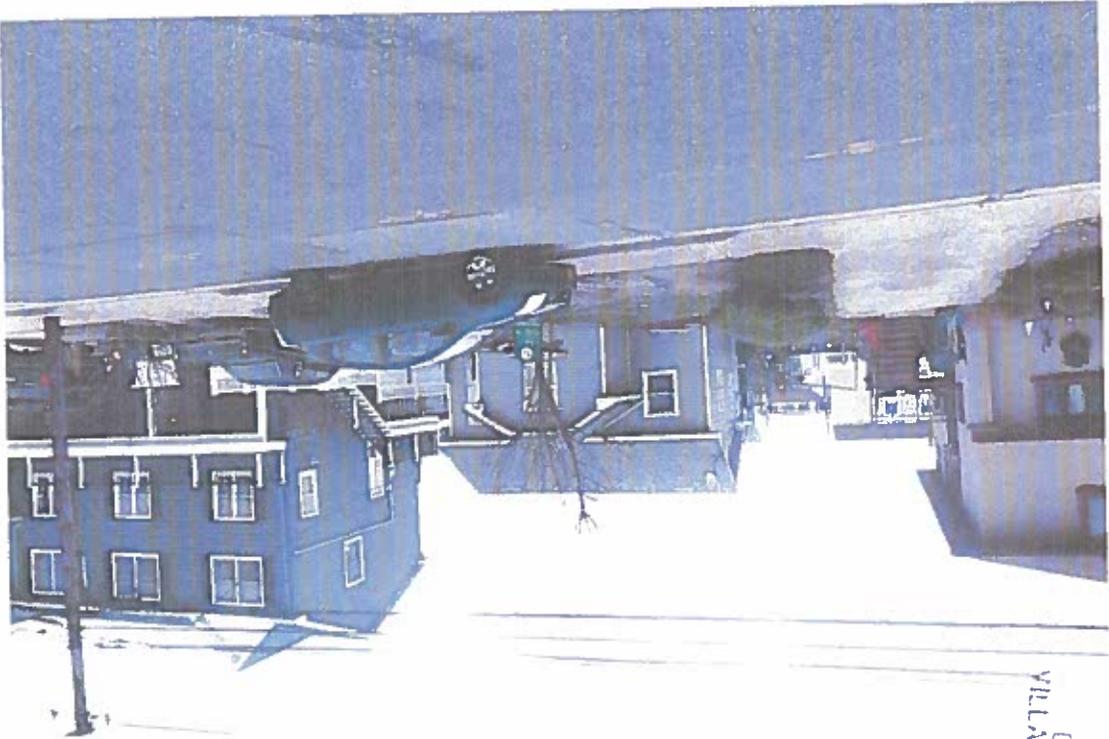
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890 S. LONG BEACH AVE (FRONT)



891 S. LONG BEACH AVE



887 S. LONG BEACH AVE

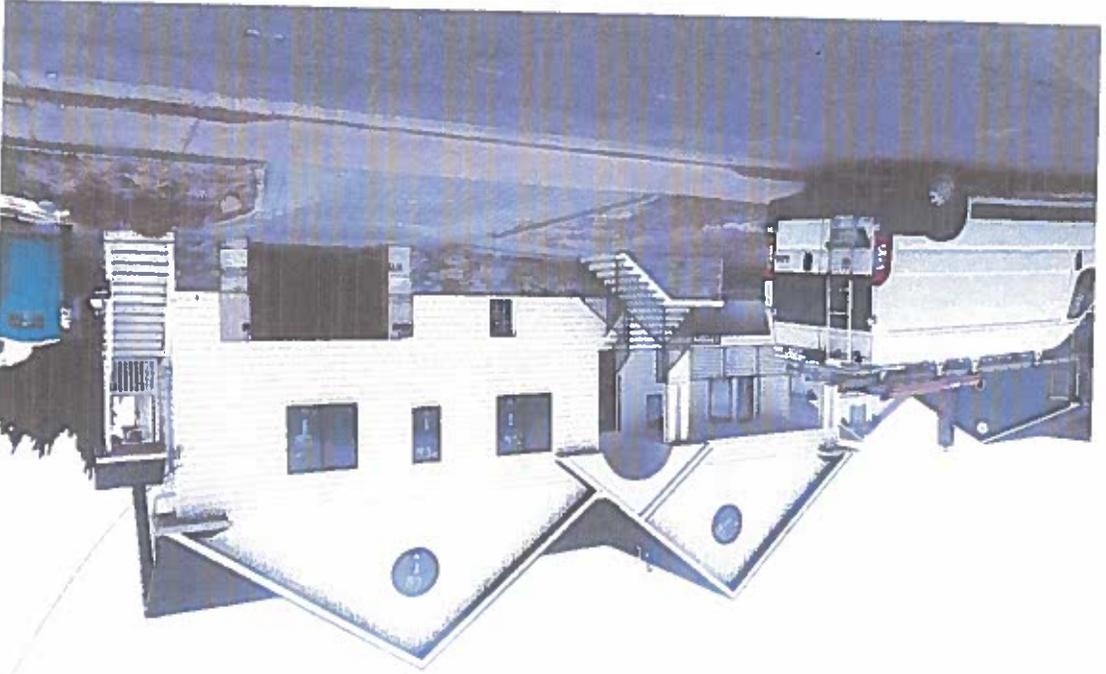


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2023 FEB 24 A 10:56

CLERK'S OFFICE
VILLAGE OF FRIEBOURN, NY

892 S. LONG BEACH AVE



888 S. LONG BEACH AVE



RECEIVED

2023 FEB 24 A 10:57

CLERK'S OFFICE
VILLAGE OF FREETOWN, NY



EAGLE DESIGN ASSOCIATES
 604 MEMPHIS ROAD NORTH BELLEVUE, NY 11760
 PHONE # 815 331 4208 FAX # 815 331 6388
 EAGLEDESIGNARCHITECTS@GMAIL.COM

THIS ADOPTION OF THE LAW FOR ANY PERSON, UNDER ACTING UNDER THE DIRECTION OF THE LICENSED ARCHITECT, TO ALTER THE PLAN IN ANY WAY, BY ACCEPTANCE AND USE OF THESE REVISED DRAWINGS, SHALL BE AT THE ARCHITECT'S SOLE RESPONSIBILITY AND RISK. THE ARCHITECT ASSOCIATION AND EMPLOYERS SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THE ORIGINAL DESIGN OR IN THE TOTAL AGREEMENT. THE ARCHITECT ASSOCIATION SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THE ORIGINAL DESIGN OR IN THE TOTAL AGREEMENT.

LYAN'S RESIDENCE
 890 S LOUIS BEACH AVE
 FREEPORT NY 11760

RECEIVED
 2023 FEB 24 A 10:57
 CLERK'S OFFICE
 VILLAGE OF FREEPORT, NY

PROPOSED FRONT
 PORCH AND DECK

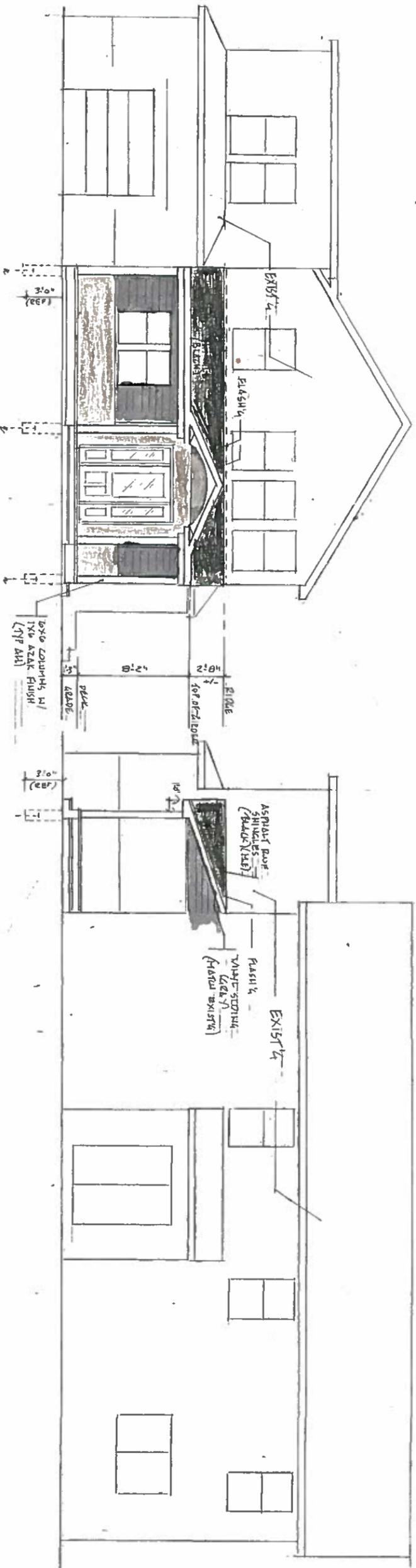
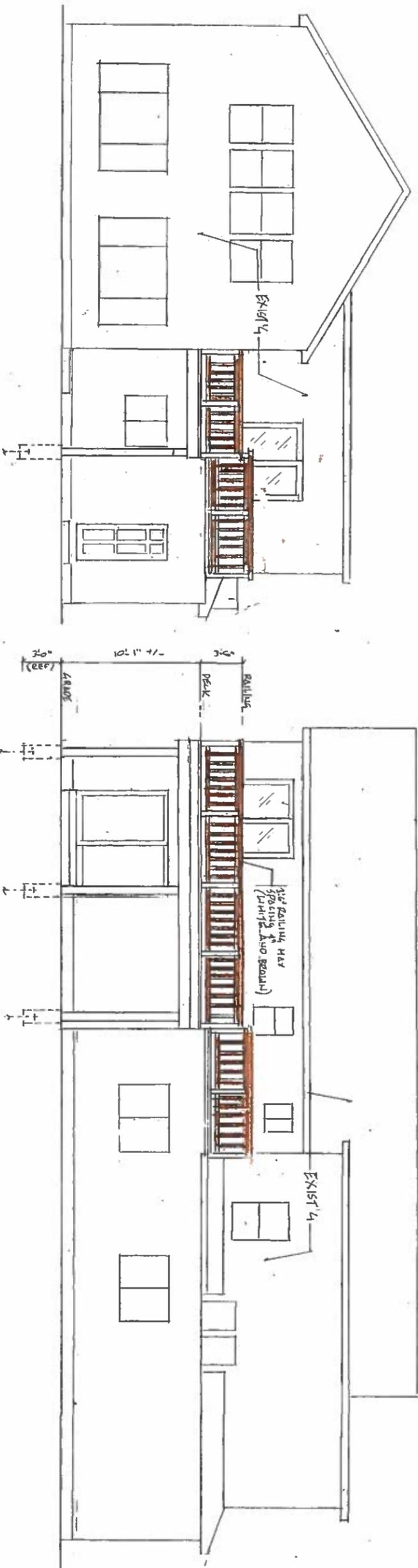
JUNE 28, 2022

DESIGN SHALL BE IN COMPLIANCE WITH RESIDENTIAL A BUILDING CODE OF NEW YORK STATE 2020 EDITION, THE 2018 WOOD FRAME CONSTRUCTION STANDARD IS

REVISIONS:

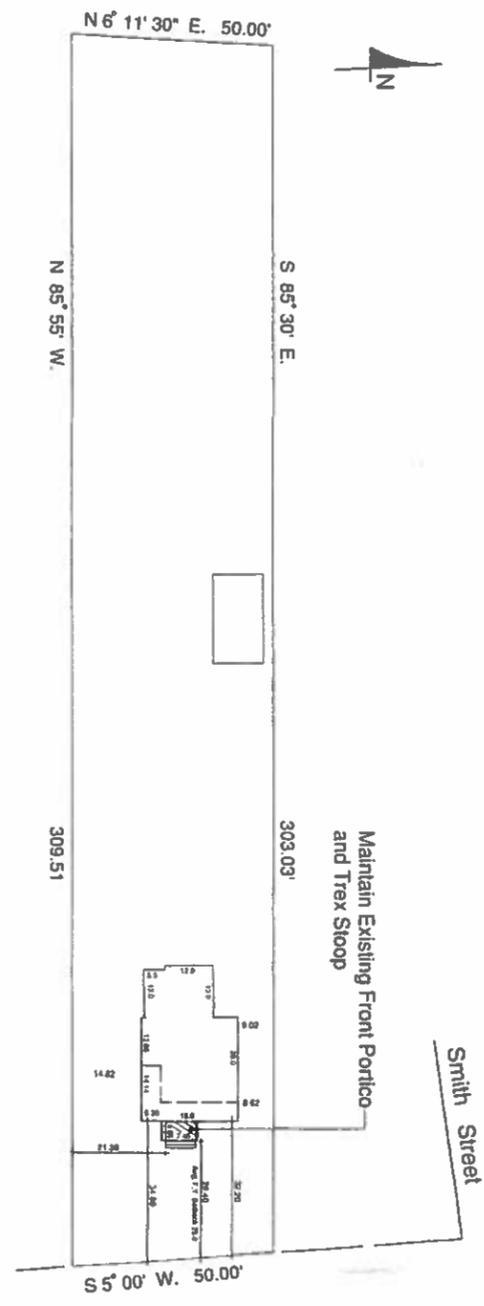
SHEET NUMBER

5 OF 6



PERSPECTIVE
166 CHURCH ST.
FREEPORT, N.Y.





Plot Plan
Scale: 1" = 20.0'

CLIMATIC and GEOGRAPHIC DESIGN CRITERIA Table 301.2 (1)

Ground Snow Load	Wind Design		Special Wind Region	Windborne Debris Zone	Subject to damage from:	Termin	Winter Design Temperature	Ice Barrier Requirement	Flood Hazard Zone	Mean Annual Temperature	Air-Freezing Index
	Speed (mph)	Exposed									
25 psf	130 mph	No	No	Within 1 Mile of Shoreline	Severe	48"	Moderate	15°F	No	52.9	1500 or less

STRUCTURAL LOADS

Live Loads, minimum lbs. per square foot

Entire Bakery	50psf
Ais. with Storage	20psf
Sleeping Rooms	20psf
Non-Sleeping Rooms	40psf
Dead Loads	20psf

WEIGHTS of MATERIALS per (per sq ft):
Concrete: 150 lbs/cu yd
1" mortar base
Hardwood Flooring 2 1/4" thick

5/8" Organum Board w/underlayment
TYPICAL DEAD LOADS lbs per square foot
Floor with mud set tile finish = 21 psf
Floor with hardwood finish = 12 psf

MAXIMUM ALLOWABLE DEFLECTION
Floor and Ceiling Joists
Live Load = 1/250
Total Load = 1/480
Roof Rafters with no snow load ceiling
Live Load = 1/180
Total Load = 1/240
Roof Rafters with rafter finish ceiling
Live Load = 1/250
Total Load = 1/480

GENERAL NOTES

1. All work shall be in accordance with codes of the Village of Freeport, N.Y. State Building and Fire Prevention Code, NYS DEC, Board of Fire Underwriters and any Other Authorities Having Jurisdiction.
2. The work in this contract shall consist of the labor, equipment and materials necessary for the construction of the work as noted on these drawings. The work shall be constructed and finished in every part to a good substantial and workmanlike manner in accordance with the accompanying drawings and specifications to the full extent and meaning thereof. All work shall be done in a substantial manner. It is the intent of these drawings, plans and specifications that the Contractor shall be responsible for the design, construction and maintenance of the work. All materials to be used, installed and maintained during the course of the work in strict accordance with the manufacturer's instructions.
3. The Contractor shall verify all dimensions and conditions and shall report any discrepancies to the Architect prior to the commencement of construction work.
4. The Contractor is solely responsible for the means, methods and all aspects of construction and shall take all necessary precautions to insure the safety of all occupants, employees and general public. Any materials and property not included in the scope of work shall be suitably protected against damage and if necessary, shall be removed to its original state.
5. The Contractor shall maintain workmen's compensation, disability, and public liability, (each type and in any amount to satisfy the law and the Owner) for protection from any claims for damages arising from the contractor's operations under the project.
6. All Plumbing, Electrical and other work as required is to be performed by approved licensed contractors.
7. The Contractor shall at all times keep the site free from the accumulation of waste material or rubbish caused by operations. At the completion of the work, all waste material, rubbish, equipment and surplus materials shall be removed and the site left in a "broom clean" condition.

Sheet Legend

Sheet #	Description
1 of 3	Plot Plan and Notes
2 of 3	Elevations, Plans and Section
3 of 3	Details

Maintain Existing Front Portico and Trex Stoop

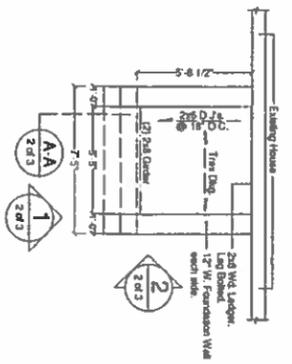
Residence @:
166 Church Street
Freeport, New York

James Lerner, Architect
424 Madison Street
Westbury, N.Y. 11590
Tel.: 516-876-6521
Email: jalarch46@yahoo.com

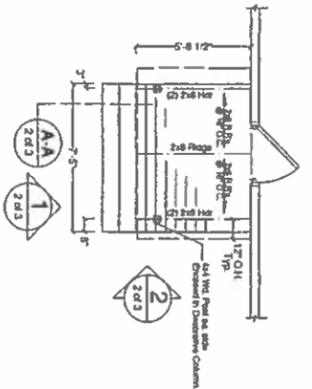


Maria J. Miro
Design and Drafting
1022 Merrick Avenue, N. Merrick, New York 11566
Tel. (516) 547-5251 Email: kandi93@aol.com

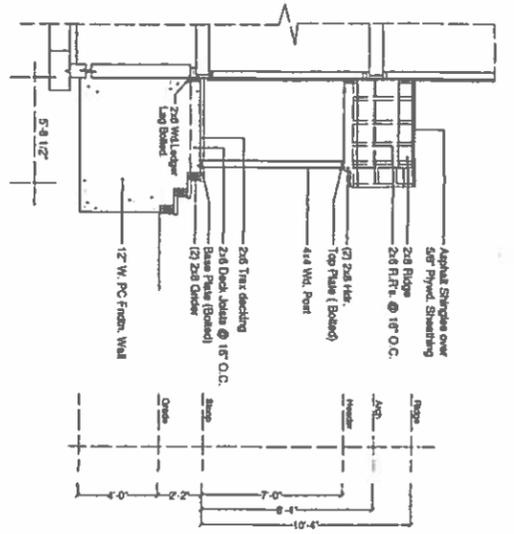
Project: Residence @: 166 Church Street Freeport, New York	
Scale: as noted	Drawn by: MJM
Date: 12/22/22	Checked by: JL



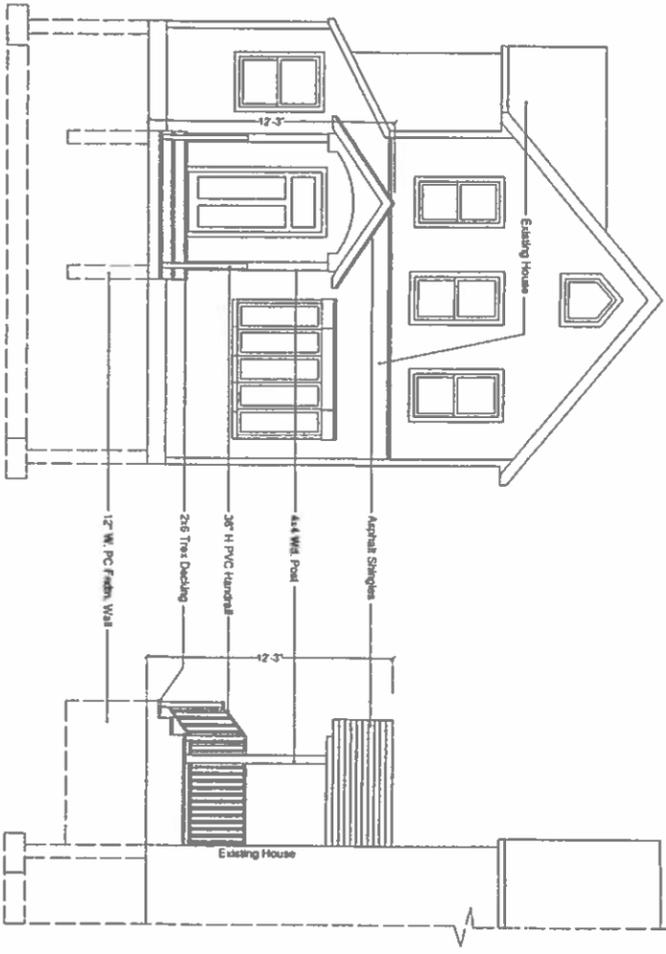
Foundation Plan
 Scale: 1/4" = 1'-0"



Plan
 Scale: 1/4" = 1'-0"



A-A Section
 Scale: 1/4" = 1'-0"



1 Front Elevation
 Scale: 1/4" = 1'-0"

2 Side Elevation - Right
 Scale: 1/4" = 1'-0"

Maintain Existing Front Portico and Trex Stoop

Residence @:
 166 Church Street
 Freeport, New York

James Lerner, Architect
 424 Madison Street
 Westbury, N.Y. 11590
 Tel.: 516-876-6521
 Email: jalarch46@yahoo.com

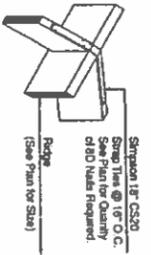


Maria J. Miro
 Design and Drafting
 1002 Merrick Avenue, N. Merrick, New York 11566
 Tel. (516) 547-5251 Email: landk93@aol.com

Title: Maintain Existing Front Portico and Trex Stoop

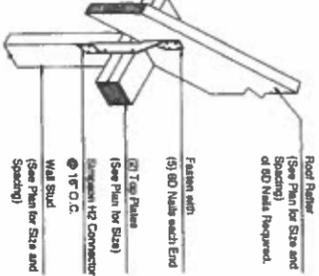
Project: Residence @:
 166 Church Street
 Freeport, New York

Scale: as noted
 Date: 12/22/22
 Drawn by: MJM
 Checked by: JL



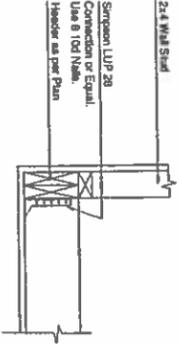
Complete with Table 3.4, WFCOA 1985

Simpson Rafter to Ridge Connection Detail
Scale - N.T.S.

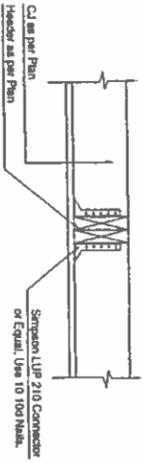


Complete with Table 3.26, WFCOA

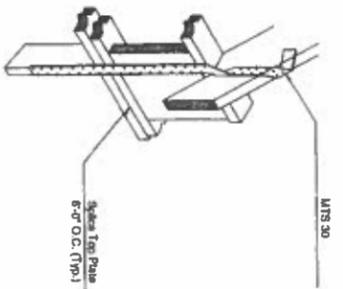
Simpson H2 Connector Detail
Scale - N.T.S.



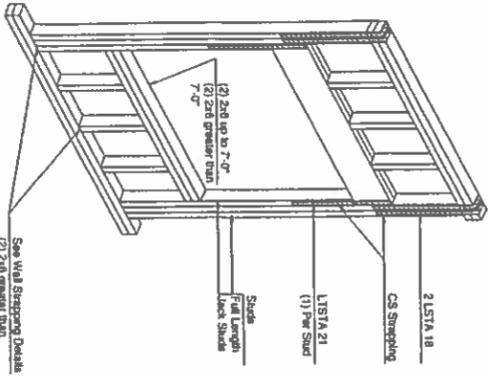
Typical Flush Header / Joist Connection at Ceiling
Scale - N.T.S.



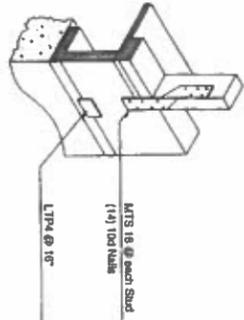
Typical Flush Header / Joist Connection at Ceiling 2
Scale - N.T.S.



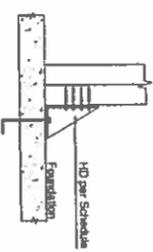
Rafter Tie-Down Detail
Scale - N.T.S.



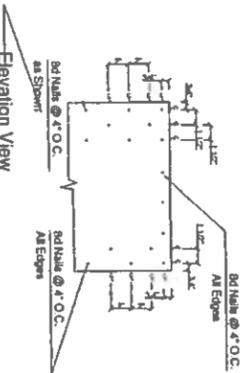
Typical Header Opening
Scale - N.T.S.



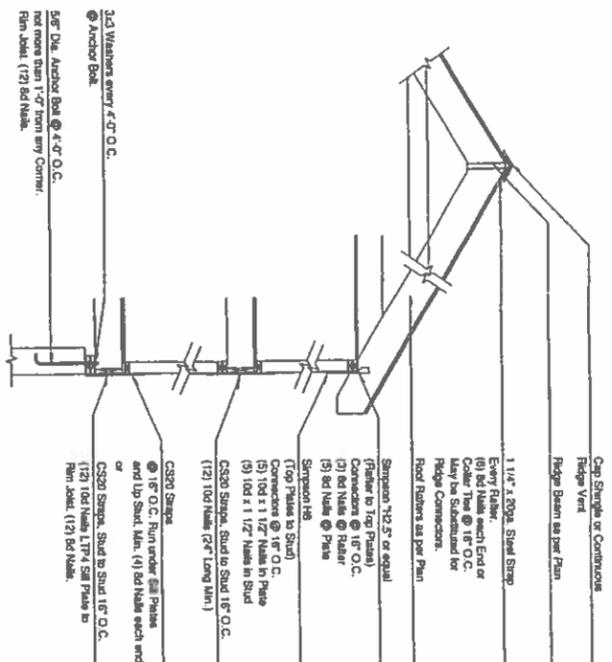
Wall Strap Detail
Scale - N.T.S.



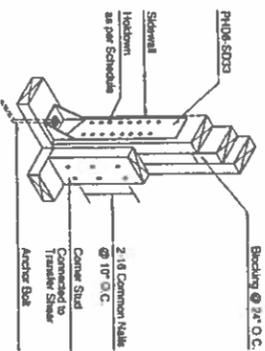
HD Holddown
Scale - N.T.S.



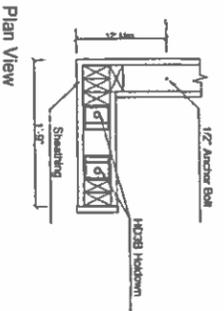
Wall Bracing Details
Scale - N.T.S.



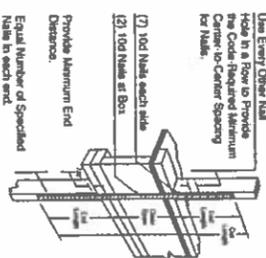
Tie Down / Foundation Detail 'A'
Scale - N.T.S.



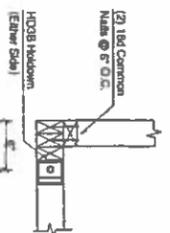
Corner Stud @ H.D.
Scale - N.T.S.



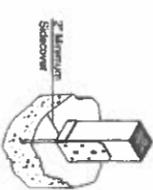
Plan View



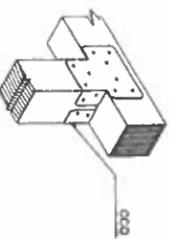
Wall Strap
Scale - N.T.S.



Typical Corner Holdown Detail
Scale - N.T.S.



Post Base Connection
Scale - N.T.S.



Post Top Detail
Scale - N.T.S.



Girder Connection to Pipe Column
Scale - N.T.S.

Jack Stud Requirements

Header Spacing (ft)	Ground Snow Load			
	30 PSF	50 PSF	70 PSF	100 PSF
2	1	1	1	1
4	2	2	2	2
6	3	3	3	3
8	4	4	4	4
10	5	5	5	5
12	6	6	6	6
14	7	7	7	7
16	8	8	8	8
18	9	9	9	9
20	10	10	10	10
22	11	11	11	11
24	12	12	12	12
26	13	13	13	13
28	14	14	14	14
30	15	15	15	15
32	16	16	16	16
34	17	17	17	17
36	18	18	18	18
38	19	19	19	19
40	20	20	20	20
42	21	21	21	21
44	22	22	22	22
46	23	23	23	23
48	24	24	24	24
50	25	25	25	25
52	26	26	26	26
54	27	27	27	27
56	28	28	28	28
58	29	29	29	29
60	30	30	30	30

Maintain Existing Front Portico and Trex Stoop

Residence @:
166 Church Street
Freeport, New York

James Lerner, Architect
424 Madison Street
Westbury, N.Y. 11590
Tel.: 516-876-6521
Email: jalarch46@yahoo.com



Maria J. Miro
Design and Drafting
1002 Merrick Avenue, N. Merrick, New York 11566
Tel. (516) 547-5251 Email: lands93@aol.com

Title: Maintain Existing Front Portico and Trex Stoop
Project: Residence @:
166 Church Street
Freeport, New York
Scale: as noted
Date: 12/22/22
Drawn by: MJM
Checked by: JL
Sheet No.: 3 of 3

Application Date: 3/1/23
Fees Paid: \$ 225.00

SP# 3622

INCORPORATED VILLAGE OF FREEPORT
SITE PLAN REVIEW APPLICATION
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 166 Church Street ZONING DISTRICT RES A
SECTION 62 BLOCK 076 LOT 32 LOT SIZE: _____

<input type="checkbox"/> TENANT	<input checked="" type="checkbox"/> APPLICANT	<input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>MARIA J MIRO</u>		Name: <u>FERNANDA ENAMORADO</u>	
Address: <u>1002 Merrick Ave</u>		Address: <u>166 Church St</u>	
<u>N. Merrick, N.Y 11566</u>		<u>Freeport, N.Y 11520</u>	
Telephone #: _____		Telephone #: <u>1-347-593-1813</u>	

Agent
Attorney Name: MARIA J. MIRO Address: 1002 Merrick Ave.
(optional) Phone #: 516-547-5251 N Merrick, N.Y 11566.

Present Land Use: 1 Family Residential Proposed Land Use: 1-Family Residential

Description of Proposed Work: Maintain Front Portico + Stoop

I request a preliminary meeting: YES NO

I request a waiver of the public hearing and hereby certify the following:
A. The subject property is zoned Residence A or Residence AA.
B. The proposed construction is not a new building or dwelling.
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.

APPLICANT'S SIGNATURE
Sworn to before me this 9th day of February, 2023

DATE 2/9/23



Notary Public
Property Owner's Consent:
I, FERNANDA ENAMORADO am (are) the owner(s) of the subject property and consent to the filing of this application.
Fernanda Enamorado 04/28/2022

PROPERTY OWNER'S SIGNATURE
Sworn to before me this 23rd day of April, 2022
Amparo Tejada
Notary Public
AMPARO TEJEDA DATE
Notary Public, State of New York
No. 01TE0208960
Qualified in Nassau County
Commission Expires July 13, 2025

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: YES NO Date of Hearing: _____
Date of Decision: _____
Village Clerk's Signature: _____ Approved Denied
Date: _____
Planning Board Signature: _____ Date: _____

INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242

FAX (516) 377-2493

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

ROBERT T. KENNEDY
MAYOR

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

January 12, 2023
UPDATED SITE PLAN LETTER

Fernanda Enamorado
166 Church Street
Freeport, NY 11520

RE: 166 Church St., Freeport, NY
Zoning District – Residence A Sec. 62 Blk. 076 Lot 32
Building Permit Application #20222628
Description- Maintain front portico and stoop

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. Only after this initial appointment should the additional copies be made.

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the VILLAGE CLERK'S OFFICE at 377-2300.

Very truly yours,

Sergio A. Mauras

Sergio A. Mauras
Superintendent of Buildings
Jonathan Smith, Building Inspector
/cd
Encl.

c: Village Clerk
James Lerner, R.A.
Maria Miro Design & Drafting
ZBA Approval Needed:
Yes: _____ No X

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project :

Building Permit App. 20222628

Location: 166 Church Street, Freeport, NY

Applicant: Fernanda Enamorado

Description: Maintain front portico and stoop

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) _____

B) Possible environment effects identified:
(only if positive determination)

Dated: April 18, 2022


Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

617.20
Appendix B
Short Environmental Assessment Form

20222628

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: <i>FERNANDA ENAMORADO</i>			
Project Location (describe, and attach a location map): <i>166 Church St., Freeport, NY 11520</i>			
Brief Description of Proposed Action: <i>MAINTAIN FRONT PAVEMENT + TREX STAIR</i>			
Name of Applicant or Sponsor: <i>FERNANDA ENAMORADO</i>		Telephone: <i>347-593-1813</i>	
Address: <i>166 Church St.</i>		E-Mail:	
City/PO: <i>Freeport</i>		State: <i>NY</i>	Zip Code: <i>11520</i>
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: <i>Village of Freeport</i>			YES <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		<i>.3616</i> acres	
b. Total acreage to be physically disturbed?		<i>.3616</i> acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		<i>.3616</i> acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): <i>FR 11 2022</i> <input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
b. Consistent with the adopted comprehensive plan?		/	
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
b. Are public transportation service(s) available at or near the site of the proposed action?	/		
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	/		
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing potable water: _____	NO	YES	/
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	NO	YES	/
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	/
b. Is the proposed action located in an archeological sensitive area?	/		
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	/
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: <u>N/A</u>			
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	/
16. Is the project site located in the 100 year flood plain?	NO	YES	/
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: <u>Drywells + catch basins</u> <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES	NO	YES	/

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>Fernanda ENAMCRADO</u> Date: <u>1-28-22</u>		
Signature: <u>[Signature]</u> For <u>Fernanda ENAMCRADO</u>		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?		
2. Will the proposed action result in a change in the use or intensity of use of land?		
3. Will the proposed action impair the character or quality of the existing community?		
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?		
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?		
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?		
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?		
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?		
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?		

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?		
11. Will the proposed action create a hazard to environmental resources or human health?		

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

MATERIAL LIST PORTICO: 166 Church Street, Freeport, N.Y.

Roof: Timberline Roof Shingles
Pewter Gray

Deck: Trex Decking, Black Onyx

Posts, Railings, Trim: Aztec Decking Products, Bright White PVC

Siding Front of House: Norandex Siding
Color: Deep Water
w/ bright white trim

Sides and Rear of the House:
Norandex Siding: Beige

Plantings: Low evergreen shrubs perimeter of house



AMBERWOOD

BLACK WALNUT

GOLDEN CYPRESS



DRIFTWOOD GREY

ROSEWOOD

SILVER TEAK

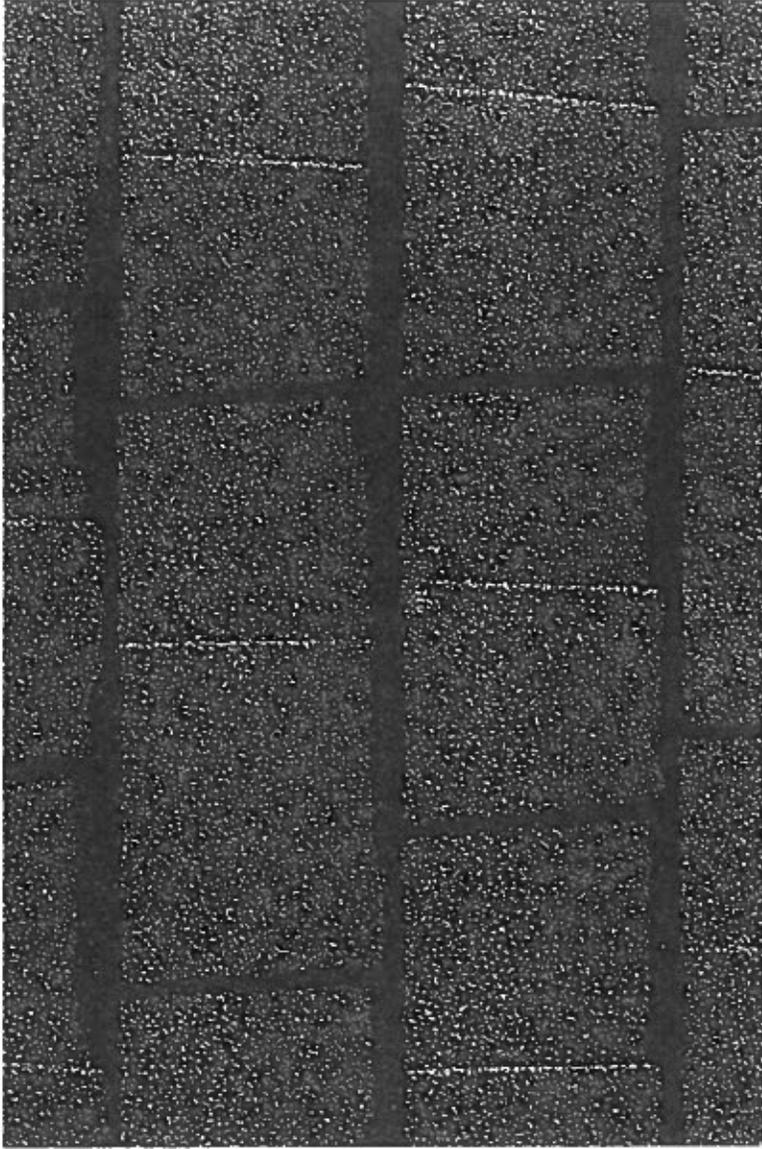


TEAKWOOD

WEATHERED PIE

ONYX

← Trex Decking Onyx



Timberline Pewter Gray.

MATERIAL LIST PORTICO: 166 Church Street, Freeport, N.Y.

Roof: Timberline Roof Shingles
Pewter Gray

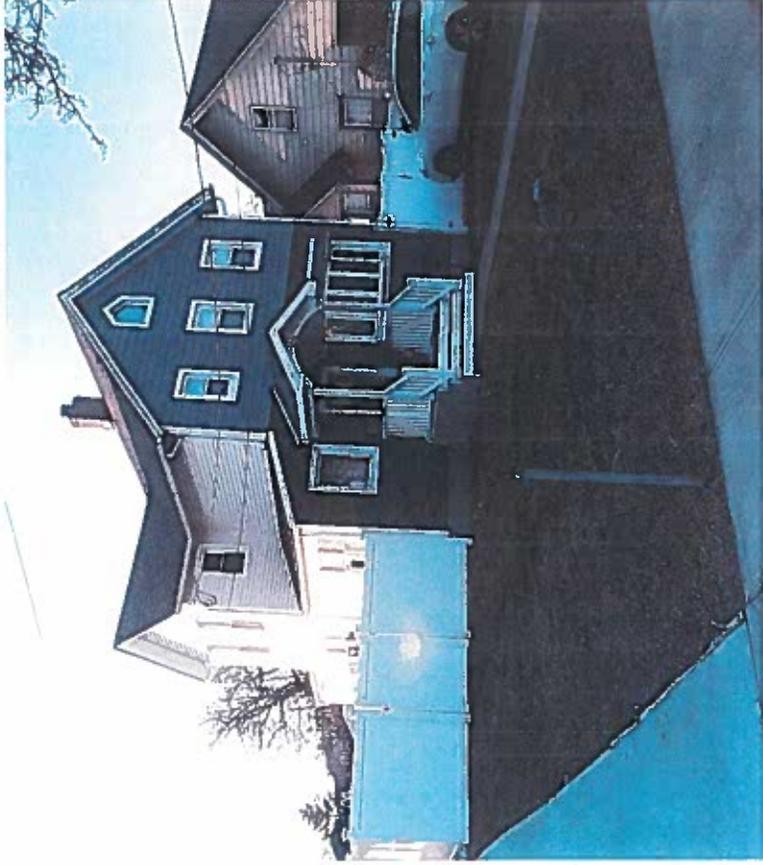
Deck: Trex Decking, Black Onyx

Posts, Railings, Trim: Aztec Decking Products, Bright White PVC

Siding Front of House: Norandex Siding
Color: Deep Water
w/ bright white trim

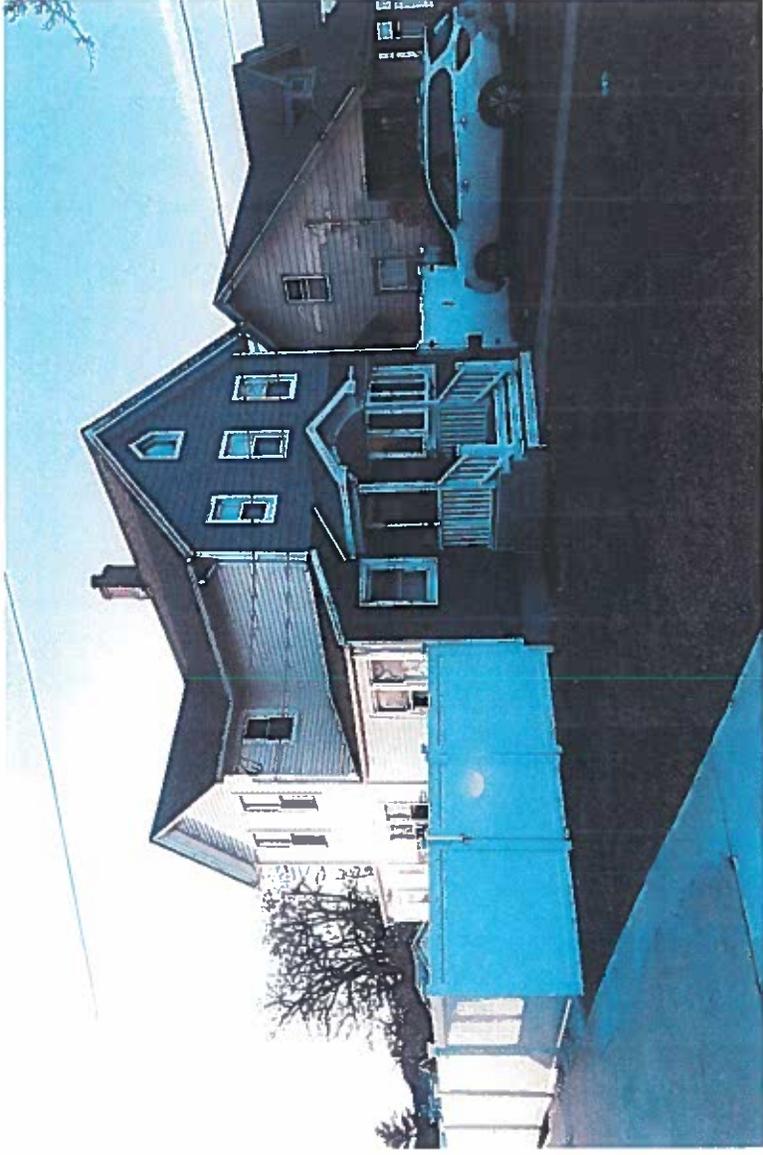
Sides and Rear of the House:
Norandex Siding: Beige

Plantings: Low evergreen shrubs perimeter of house



Front View

166 Church St.
Freeport, N.Y.



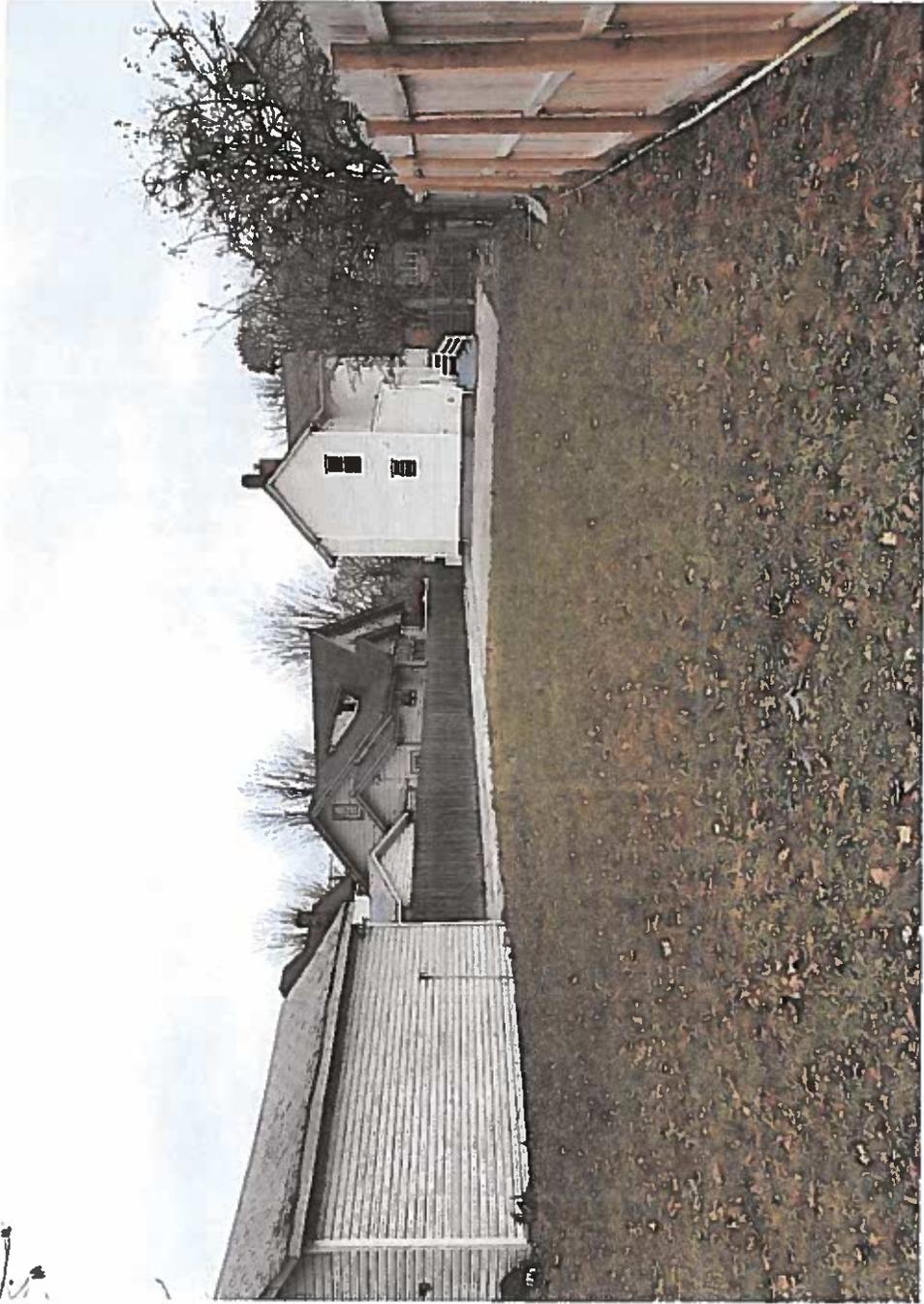
Front & South Side

166 Church St.
Freeport, N.Y.



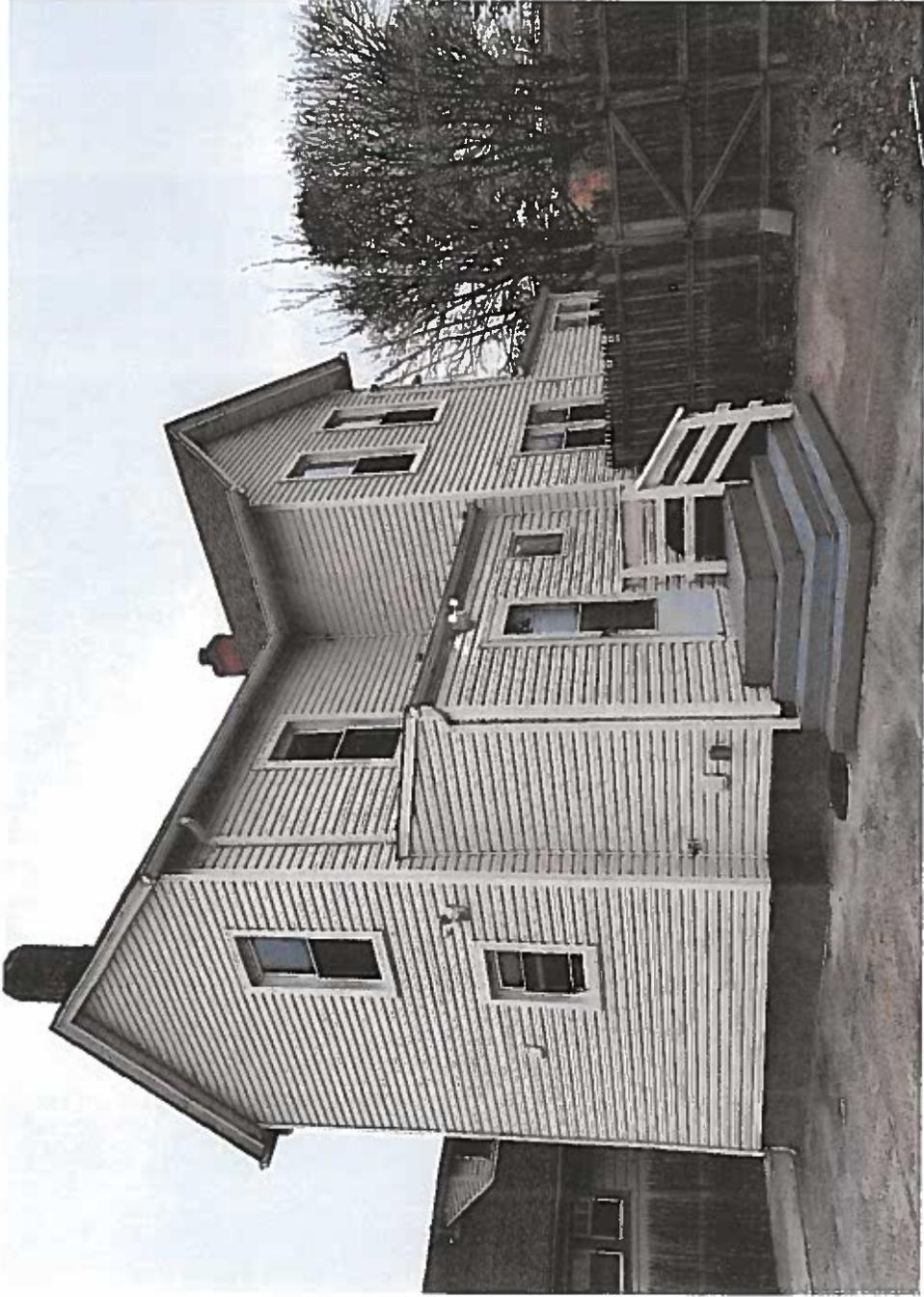
Front View

166 Church St
Freeport, N.Y.



Rear Yard + Rear House

166 Church St
Freeport, NY



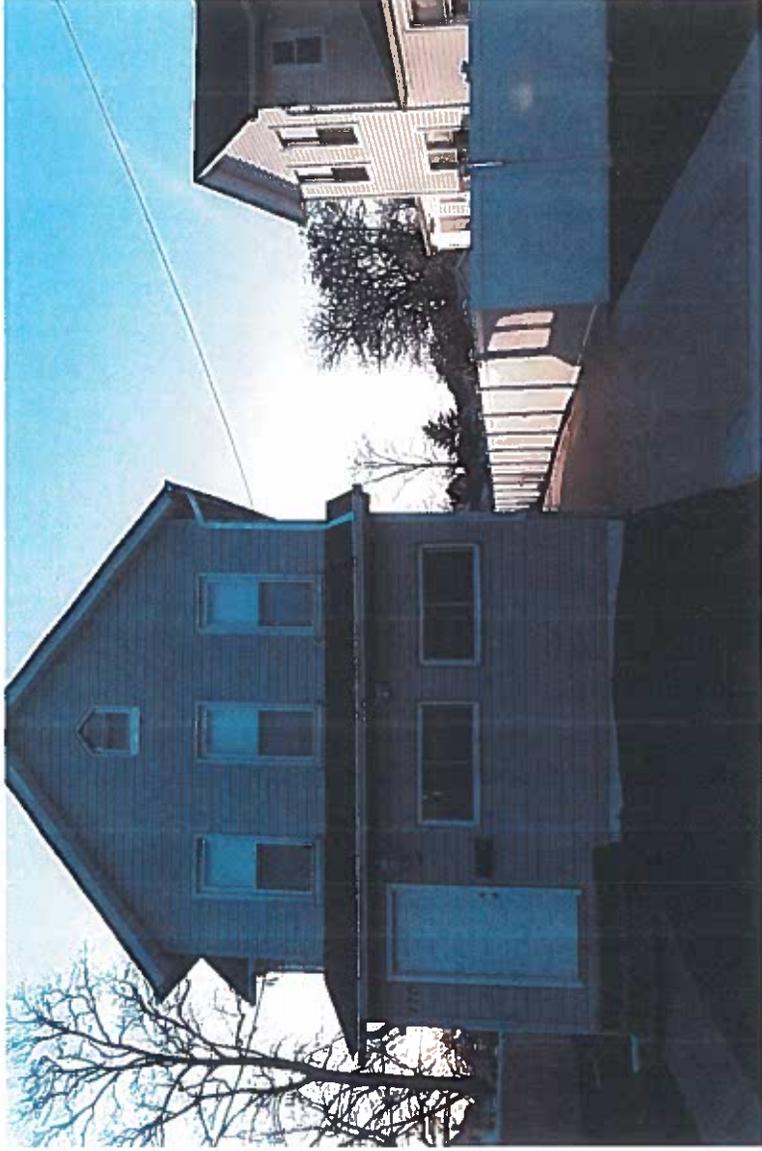
REAR PHOTO

166 Church St.
Freeport, NY

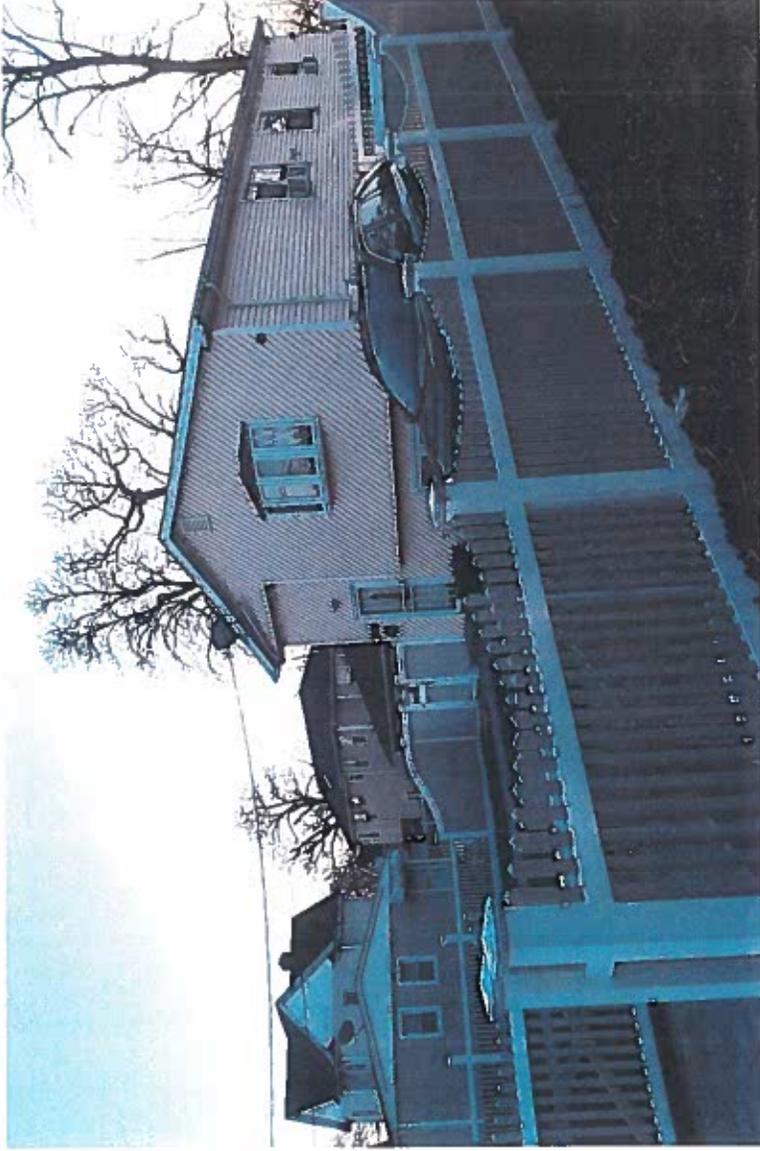


ADJACENT PROPERTY
OWNER (North of Subject Site)

166 Church St.
Freeport, NY

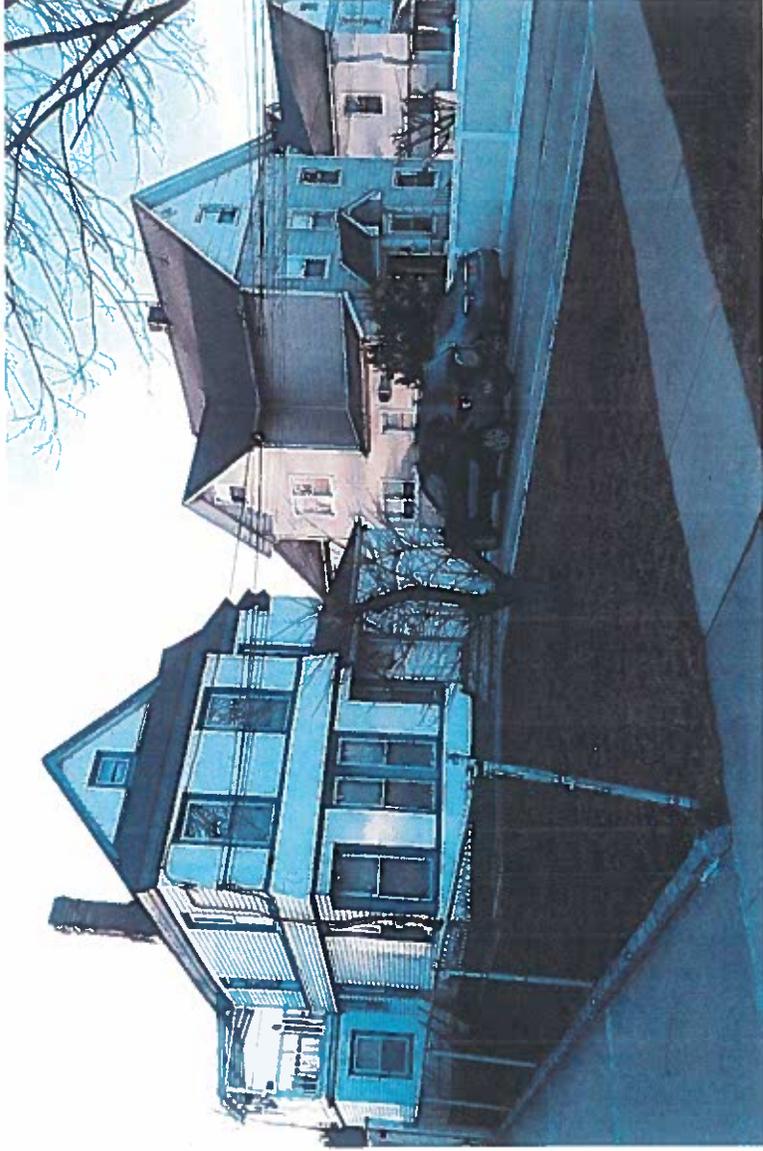


Adjacent Property Owner
#17C Church St.



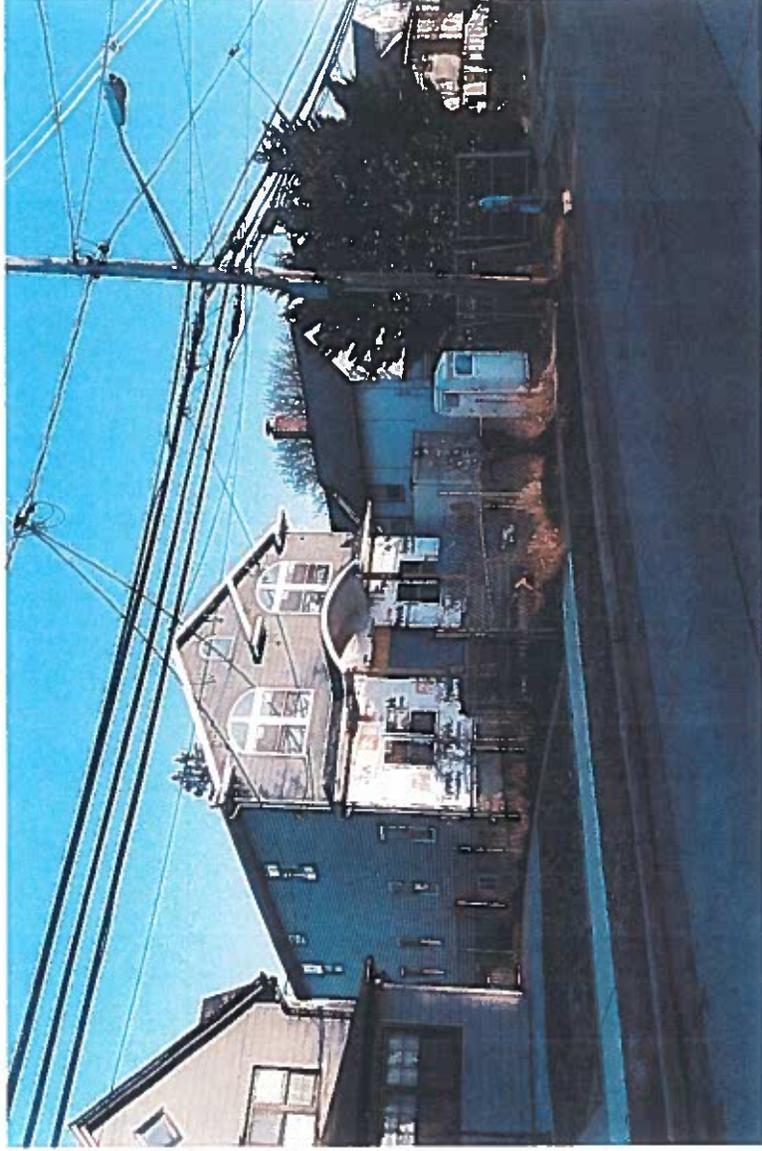
ADJACENT PROPERTY OWNER
SOUTH SIDE SUBJECT SITE

166 Church St.
Freeport, N.Y.



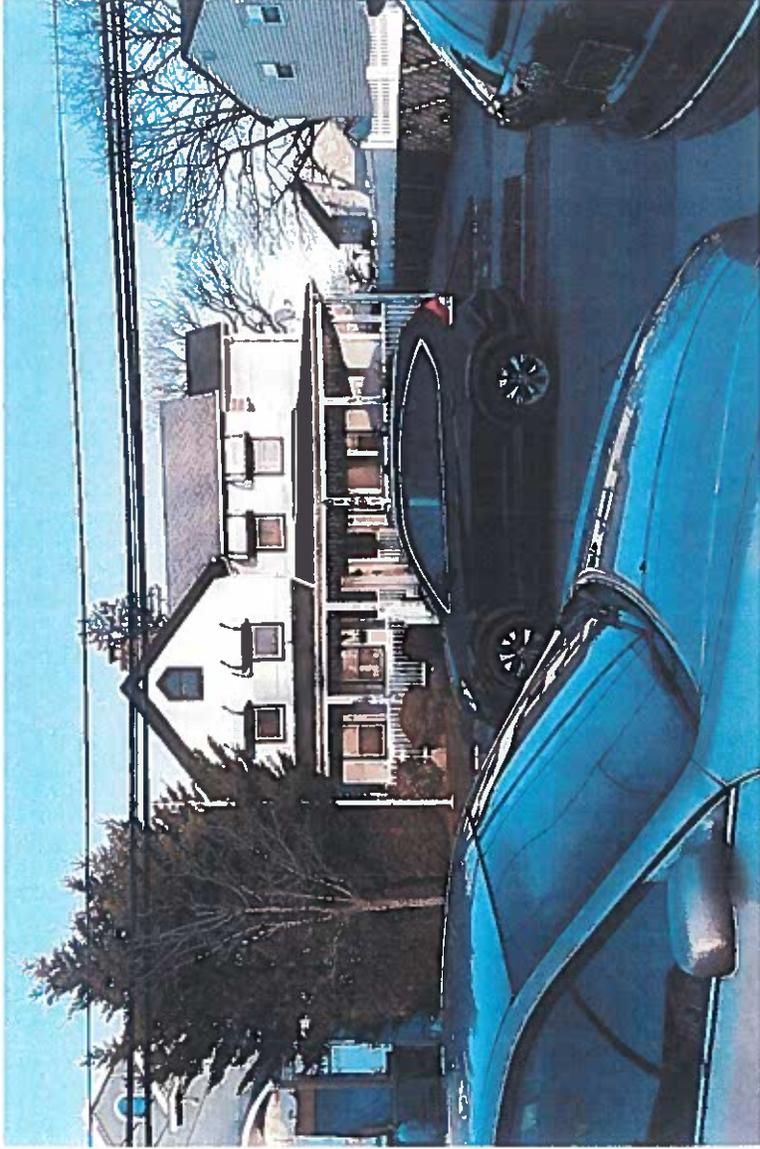
Properties North
Subject Site

166 Church St.
Freeport, NY

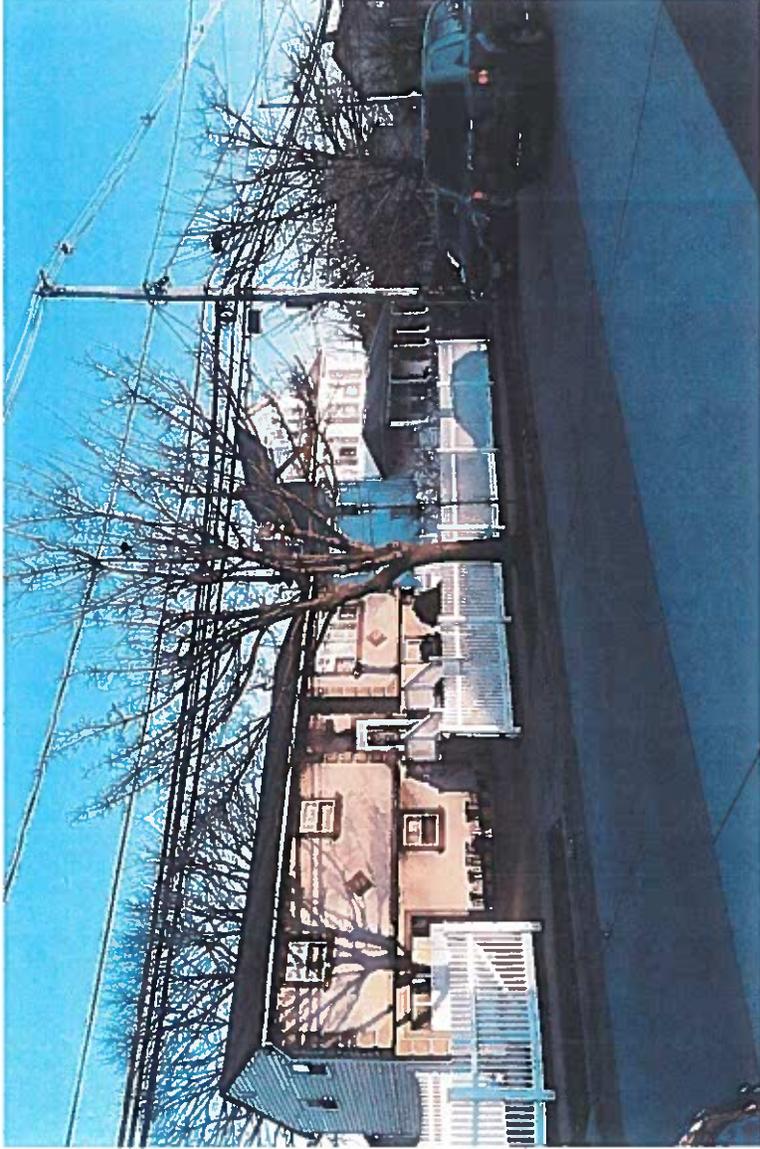


PROPERTIES DIRECTLY
ACROSS ST.
(EAST SIDE Church ST.)

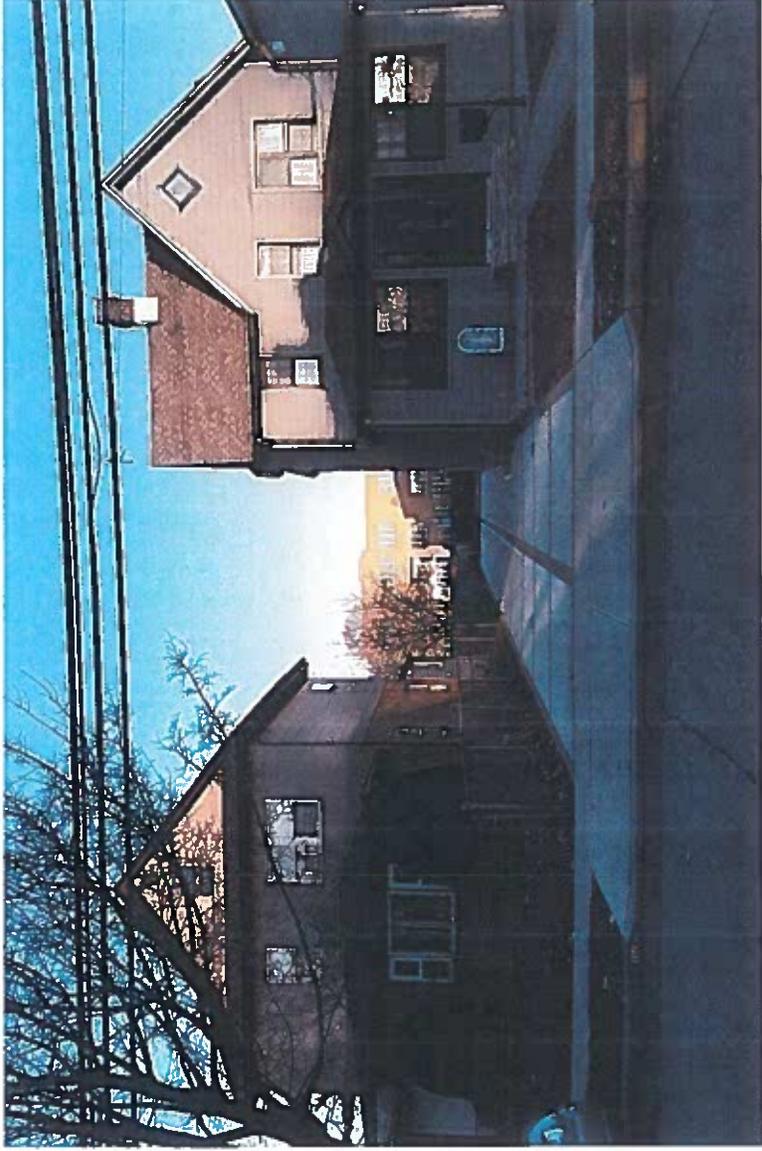
166 Church St.
FREEPORT, N.Y.



#169 Church St.
EAST SIDE Church St.



SEVENTH SIDE CHURCH.



Northwest Side of Church St.

Application Date: 1/11/23
Fees Paid: 225.00

SP# 6614

INCORPORATED VILLAGE OF FREEPORT
SITE PLAN REVIEW APPLICATION
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 62 Park Avenue ZONING DISTRICT Residence A
SECTION 54 BLOCK 086 LOT 8 LOT SIZE: 89x100

<input type="checkbox"/> TENANT	<input checked="" type="checkbox"/> APPLICANT	<input type="checkbox"/> LESSEE	PROPERTY OWNER	
Name: <u>Maximo Ventura</u>			Name: <u>Francisco Hermida</u>	
Address: <u>119 E. Deon St.</u>			Address: <u>62 Park Ave.</u>	
<u>Freeport, N.Y. 11520</u>			<u>Freeport, N.Y. 11520</u>	
Telephone #: <u>(516) 244-8999</u>			Telephone #: <u>(516) 301-8909</u>	

Attorney Name: _____ Address: _____
(optional) Phone #: 516-244-8999

Present Land Use: Residential Proposed Land Use: Residential

Description of Proposed Work: Replace Existing Driveway with new Expanded Driveway - Concrete with Paver Borders + new Concrete walkways as per rendering

I request a preliminary meeting: YES NO

I request a waiver of the public hearing and hereby certify the following:
A. The subject property is zoned Residence A or Residence AA.
B. The proposed construction is not a new building or dwelling.
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.
 YES NO

APPLICANT'S SIGNATURE DATE
Sworn to before me this _____
day of _____, 20____.

Notary Public

Property Owner's Consent:
I, Francisco Hermida am (are) the owner(s) of the subject property and consent to the filing of this application.

Francisco Hermida
PROPERTY OWNER'S SIGNATURE DATE
Sworn to before me this 30th
day of DECEMBER, 2022.

STEVEN CONNELLY
Notary Public, State of New York
No. 01CO8171676
Qualified in Nassau County
Commission Expires August 13, 2023

Notary Public

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: <input type="checkbox"/> YES <input type="checkbox"/> NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	Approved <input type="checkbox"/> Denied <input type="checkbox"/> Date: _____
Planning Board Signature: _____	Date: _____



INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

ROBERT T. KENNEDY
MAYOR

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

December 5, 2022
SITE PLAN LETTER

Francisco Hermida
62 Park Avenue
Freeport, NY 11520

RE: 62 Park Avenue, Freeport, NY
Zoning District: Residence A Sec. 54 Blk. 86 Lot 8
Building Permit Application #20223070
Description: Widen existing driveway with concrete and paver borders & install new concrete walkways

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the **Village Clerk's Office at 516-377-3632** to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the **VILLAGE CLERK'S OFFICE** at 377-2300.

Very truly yours,

Sergio A. Mauras
Superintendent of Buildings

/cd
encl.
c: Village Clerk
Future Designs

ZBA Approval Needed: Yes No

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VILLAGE OF FREEPORT, NY

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project :

Building Permit App. 20223070

Location: 62 Park Avenue, Freeport, NY

Applicant: Francisco Hermida

Description: Widen existing driveway with concrete and paver borders & install new concrete walkways

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A)

B) Possible environment effects identified:
(only if positive determination)

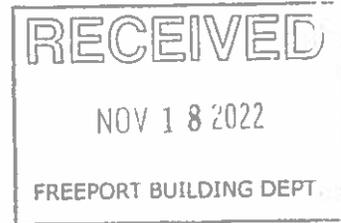
Dated: December 5, 2022

Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

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VILLAGE OF FREEPORT, NY

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Appendix B
Short Environmental Assessment Form



Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: Hermida Project			
Project Location (describe, and attach a location map): 62 Park Ave. Freeport, N.Y. 11520			
Brief Description of Proposed Action: Replace Existing Asphalt Driveway with new concrete Driveway + Install new concrete walkways from Driveway to Back patio + to Front stoop			
Name of Applicant or Sponsor: Futured Designs, Inc.		Telephone: (516) 244-8999	
Address: 119 E. Dean St. 1		E-Mail: Futuredny@gmail.com	
City/PO: Freeport		State: N.Y.	Zip Code: 11520
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		VILLAGE ENGINEER'S OFFICE FREEPORT, N.Y.	2023 JAN 21 10:56 RECEIVED
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			RECEIVED
3.a. Total acreage of the site of the proposed action? _____ acres			
b. Total acreage to be physically disturbed? _____ acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres			
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			

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FREEPORT BUILDING DEPT

	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?		✓	
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?		✓	✓
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____		✓	✓
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation service(s) available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?		✓	✓
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____		✓	✓
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing potable water: _____		✓	✓
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____		✓	✓
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places? b. Is the proposed action located in an archeological sensitive area?	✓	✓	✓
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	✓	✓	✓
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban	56		RECEIVED
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	✓	✓	
16. Is the project site located in the 100 year flood plain?	✓	✓	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ _____	✓	✓	

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VILLAGE OF FREEPORT
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18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES

19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES

20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES

I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>Future Designs, Inc.</u>		Date: <u>11/15/2022</u>
Signature: <u>[Signature]</u>		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

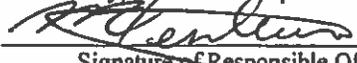
	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	✓	
2. Will the proposed action result in a change in the use or intensity of use of land?	✓	
3. Will the proposed action impair the character or quality of the existing community?	✓	
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	✓	
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	✓	
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	✓	
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?	✓ ✓	
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	✓	
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	✓	

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	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	✓	
11. Will the proposed action create a hazard to environmental resources or human health?	✓	

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

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<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input checked="" type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
<u>Future Design, Inc.</u> Name of Lead Agency	<u>11/15/2022</u> Date
<u>Maximo Ventura</u> Print or Type Name of Responsible Officer in Lead Agency	<u>Project Manager</u> Title of Responsible Officer
 Signature of Responsible Officer in Lead Agency	 Signature of Preparer (if different from Responsible Officer)



Cor. Park Ave & Lexington Ave



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WILLIAMS COUNTY OFFICE
OF FREEDOM



Proposal
Futured Designs, Inc.
Custom Stone and Masonry Work
119 E. Dean St. Freeport, N.Y. 11520
Phone# (516) 244-8999
License# H2217210000

Proposal Submitted To:	Mr. Hermida	Phone:	(516) 301-8904	10/26/2022
Street:	62 Park Ave	Job Name:	Driveway/Walkways Project	
City, State, and Zip:	Freeport, NY 11520	Job Location	Same as Mailing Address	
Estimator:	Max Ventura	Date of plans:	Start Date: (Weather Permitting)	

We hereby submit specifications for doing the following masonry work at the above mentioned premises:

We will install new concrete driveway with paver borders and concrete walkways as per plans submitted by Futured Designs, Inc. Work includes demo, excavation and carting away of debris as necessary for new construction. We will then install new concrete driveway with paver borders. Paver borders will be installed over a 3" concrete base, concrete will be a minimum of 6" depth, a 4000 PSI mix with expansion as necessary. We will also install new concrete walkways. Concrete walkways will be a minimum of 4" in depth, a 4000 PSI mix with expansion as necessary.

Pavers Chosen: 6x9 Fire Island

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VILLAGE OF FREEPORT, NY

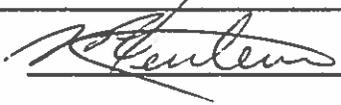
*Note, we are responsible for our masonry work only. we are NOT responsible for any plumbing, landscaping, sprinkler systems or electric work, etc.
*Please note, we cannot be held responsible for any natural impurities or imperfections in natural stone.
Example: Iron spots, color, variations, textures, ect....
**Please note, Presti Construction, Corp. cannot be held responsible for efflorescence which may occur on brick work or masonry.
*You, the buyer, may cancel this transaction at any time prior to midnight of the third business day after the date of this transaction.
See the attached notice of cancellation form for an explanation of this right"

We Propose hereby to furnish material and labor - Complete in accordance with above specifications for the sum of:
Ten Thousand _____ dollars (\$) 10,000.00

Payment to be made as follows:
30% Deposit upon signing this proposal, 30% as work progresses, and 40% to be paid in full upon completion

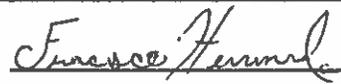
Accepted manner of payments:
Personal checks, business checks, or cash

All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado and other necessary insurance. Our workers are fully covered by Workmen's Compensation Insurance. Payment will be made as outlined above. Overdue balances are subject to 1 & 1/2 percent interest per month, as well as attorney fees for collection.

Authorized Signature: 

Note: This proposal may be withdrawn by us if not accepted with 30 days.

Acceptance of proposal The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Signature: 

Date of Acceptance: 10/29/2022

Signature: _____