

Application Date: 5/12/23
Fees Paid: 0225

SP# 3635

INCORPORATED VILLAGE OF FREEPORT
SITE PLAN REVIEW APPLICATION
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 66 East Dean St ZONING DISTRICT Residence A
SECTION 55 BLOCK 252 LOT 125 LOT SIZE: _____

| <input type="checkbox"/> TENANT | <input checked="" type="checkbox"/> APPLICANT | <input type="checkbox"/> LESSEE | PROPERTY OWNER | |
|---------------------------------|---|---------------------------------|---------------------------------|--|
| Name: <u>Cristian Britzola</u> | | | Name: <u>Cristian Britzola</u> | |
| Address: <u>66 East Dean St</u> | | | Address: <u>66 East Dean St</u> | |
| <u>Freeport NY 11520</u> | | | <u>Freeport NY 11520</u> | |
| Telephone #: | | | Telephone #: | |

Attorney Name: _____ Address: _____
(optional) Phone #: _____

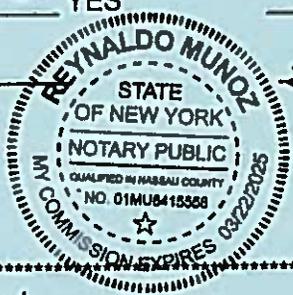
Present Land Use: 66 East Dean St Proposed Land Use: _____
Freeport NY 11520

Description of Proposed Work: Construct an additional 18x20 concrete driveway

I request a preliminary meeting: _____ YES NO

I request a waiver of the public hearing and hereby certify the following:
A. The subject property is zoned Residence A or Residence AA.
B. The proposed construction is not a new building or dwelling.
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.
X CB YES NO

Cristian Britzola
APPLICANT'S SIGNATURE
Sworn to before me this 8th
day of May, 2023.
Notary Public



5-8-23
DATE

Property Owner's Consent:
I, Cristian Britzola am (are) the owner(s) of the subject property and consent to the filing of this application.

Cristian Britzola
PROPERTY OWNER'S SIGNATURE
Sworn to before me this 8th
day of May, 2023.
Notary Public



5-8-23
DATE

FOR VILLAGE USE ONLY

| | |
|---|-----------------------------|
| Site Plan Public Hearing Required: _____ YES _____ NO | Date of Hearing: _____ |
| Village Clerk's Signature: _____ | Date of Decision: _____ |
| Planning Board Signature: _____ | Approved _____ Denied _____ |
| | Date: _____ |
| | Date: _____ |



INC. VILLAGE OF FREEPORT

Department of Buildings
46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

ROBERT T. KENNEDY
MAYOR

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

April 28, 2023
SITE PLAN LETTER

Cristian Brizuela
66 East Dean Street
Freeport, NY 11520

RE: 66 East Dean Street, Freeport, NY
Zoning District: Residence A Sec. 55 Blk. 252 Lot 125
Building Permit Application #20233248
Description: Construct an additional 18'x20' concrete driveway

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the **Village Clerk's Office at 516-377-3632** to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the **VILLAGE CLERK'S OFFICE** at 377-2300.

Very truly yours,

Sergio A. Mauras
Superintendent of Buildings

c/d
encl.
c : Village Clerk

ZBA Approval Needed: Yes No

617.20
Appendix B
Short Environmental Assessment Form

20033048

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

| | | | |
|--|--|--------------------------------|--|
| Part 1 - Project and Sponsor Information | | | |
| Cristian A. Brizuela | | | |
| Name of Action or Project: Additional Drive way, new fence | | | |
| Project Location (describe, and attach a location map): 66 E Dean St Freeport NY 11520 | | | |
| Brief Description of Proposed Action: Additional Driveway and new fence around property | | | |
| Name of Applicant or Sponsor: Cristian A. Brizuela | | Telephone: 516 960 8899 | |
| | | E-Mail: | |
| Address: 66 E Dean St | | | |
| City/PO: Freeport | | State: NY | Zip Code: 11520 |
| 1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2. | | NO <input type="checkbox"/> | YES <input checked="" type="checkbox"/> |
| 2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: Village of Freeport, Building Permit | | NO <input type="checkbox"/> | YES <input checked="" type="checkbox"/> |
| 3.a. Total acreage of the site of the proposed action? _____ acres | | | |
| b. Total acreage to be physically disturbed? _____ acres | | | |
| c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 0.13 acres | | | |
| 4. Check all land uses that occur on, adjoining and near the proposed action. | | | |
| <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) | | | |
| <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ | | | |
| <input type="checkbox"/> Parkland | | | |

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project :

Permit Applications 20233229

Location: 66 E. Dean Street, Freeport, NY

Applicant: Cristian Brizucla

Description: Construct an additional 18'x20' concrete driveway

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

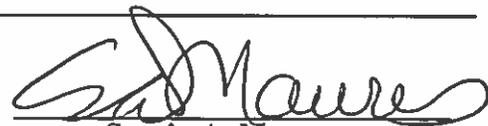
REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) _____

B) Possible environment effects identified:
(only if positive determination)

Dated: April 28, 2023



Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

| | NO | YES | N/A |
|--|-------------------------------------|-------------------------------------|-------------------------------------|
| 5. Is the proposed action, a. A permitted use under the zoning regulations? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b. Consistent with the adopted comprehensive plan? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 6. Is the proposed action consistent with the predominant character of the existing built or natural landscape? | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____ | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 8. a. Will the proposed action result in a substantial increase in traffic above present levels? | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| b. Are public transportation service(s) available at or near the site of the proposed action? | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action? | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing potable water: _____ | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____ | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places? | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| b. Is the proposed action located in an archeological sensitive area? | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban | | | |
| 15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered? | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 16. Is the project site located in the 100 year flood plain? | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

| | | |
|---|-------------------------------------|--------------------------|
| 18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ | NO | YES |
| _____ | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ | NO | YES |
| _____ | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ | NO | YES |
| _____ | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE | | |
| Applicant/sponsor name: <u>Cristian A. Brizuela</u> | | Date: <u>4-19-73</u> |
| Signature: <u>[Signature]</u> | | |

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

| | No, or small impact may occur | Moderate to large impact may occur |
|--|-------------------------------------|------------------------------------|
| 1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 2. Will the proposed action result in a change in the use or intensity of use of land? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 3. Will the proposed action impair the character or quality of the existing community? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 7. Will the proposed action impact existing: | | |
| a. public / private water supplies? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| b. public / private wastewater treatment utilities? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

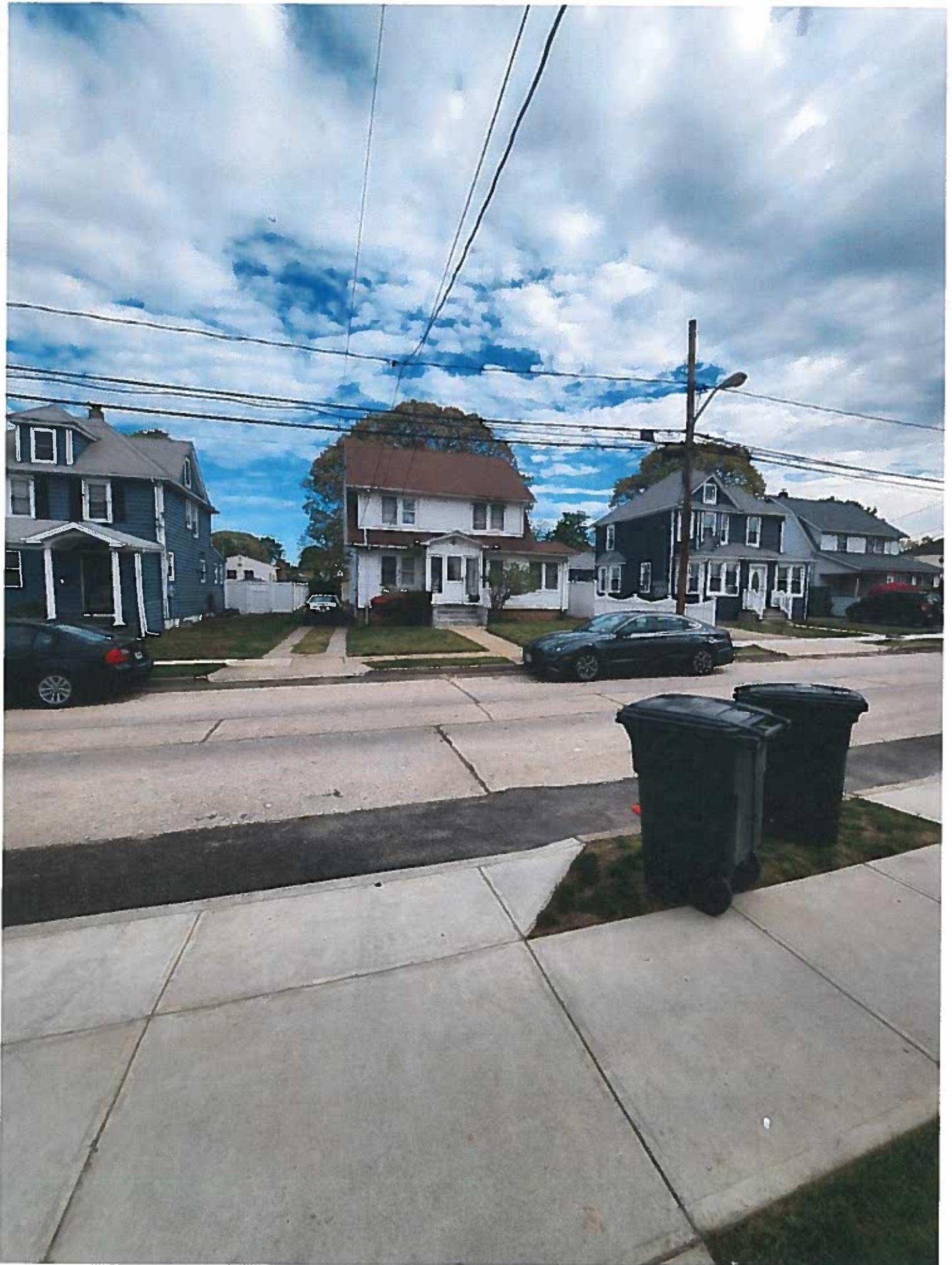
| | No, or small impact may occur | Moderate to large impact may occur |
|---|-------------------------------------|------------------------------------|
| 10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 11. Will the proposed action create a hazard to environmental resources or human health? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

| | |
|--|--|
| <input type="checkbox"/> | Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required. |
| <input type="checkbox"/> | Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts. |
| _____ | _____ |
| Name of Lead Agency | Date |
| <u>Cristian Brizuela</u> | <u>4-13-23</u> |
| Print or Type Name of Responsible Officer in Lead Agency | Title of Responsible Officer |
| <u>Cristian Brizuela</u> | <u>Home owner</u> |
| Signature of Responsible Officer in Lead Agency | Signature of Preparer (if different from Responsible Officer) |



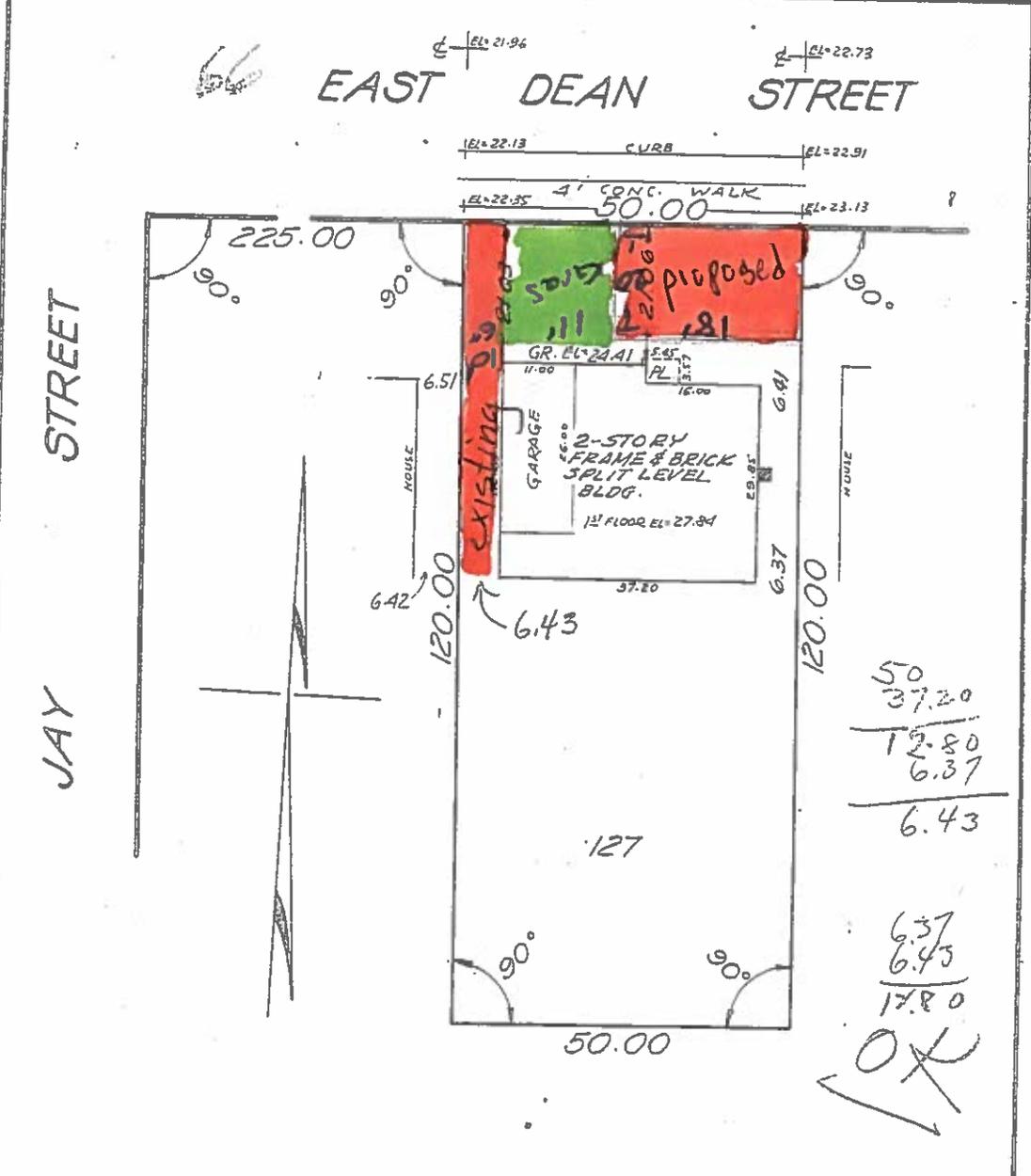






46 E DEAN

| DRAWN | CHECKED | JOB NO. | FILE NO. | SEC. | BLK. |
|--------|---------|---------|----------|------|------|
| R.H.B. | J.D.C | 264A | F-58 | | |



GUARANTEED TO:
 HOME TITLE GUARANTY CO.
 JAMAICA SAVINGS BANK OF JAMAICA
 VETERANS ADMINISTRATION
 FEDERAL HOUSING ADMINISTRATION RE-DATED: FEB. 26, 1954.
 Baldwin & Cornelius, C. RE-DATED DEC. 11, 1953
 J.D.C.

NOTE -
 LOCATIONS TO FOUND.
 NO HOUSE N^o.
 CONC. & BLACK TOP ST.
 GAS WATER & ELEC. IN ST.

LOT NO. 127
 MAP OF
 WALTERS & MILLER
 FREEPORT, N.Y.
 SURVEYED AUG. 24, 1953
 BALDWIN & CORNELIUS CO.
 CIVIL ENGINEERS & SURVEYORS
 LICENSE NO. 793 & 527
 FREEPORT, L.I., N.Y.
 SCALE 1"=20' N.Y. STATE STANDARD

Application Date: 5/16/23
Fees Paid: 325.00

SP# 3637

INCORPORATED VILLAGE OF FREEPORT
SITE PLAN REVIEW APPLICATION
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 105 Connecticut Ave ZONING DISTRICT Residence A
SECTION 85 BLOCK 385 LOT 62 LOT SIZE: _____

| <input type="checkbox"/> TENANT <u>APPLICANT</u> | <input type="checkbox"/> LESSEE | PROPERTY OWNER | |
|--|---------------------------------|------------------------------------|--|
| Name: <u>Milton McLaren</u> | | Name: <u>Maurice McLaren</u> | |
| Address: <u>105 Connecticut Ave</u> <u>Freeport</u> | | Address: _____ | |
| Telephone #: <u>(516) 322-8872</u> | | Telephone #: <u>(516) 425-5332</u> | |

Attorney Name: _____ Address: _____
(optional) Phone #: _____

Present Land Use: _____ Proposed Land Use: _____

Description of Proposed Work: Construct a cellar Entrance

I request a preliminary meeting: _____ YES NO

I request a waiver of the public hearing and hereby certify the following:
A. The subject property is zoned Residence A or Residence AA.
B. The proposed construction is not a new building or dwelling.
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied. YES _____ NO

RECEIVED
2023 MAY 16 P 3 04
CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

Milton McLaren
APPLICANT'S SIGNATURE
Sworn to before me this APRIL 26TH
day of APRIL, 2023
Peggy M. Lester
Notary Public

PEGGY M. LESTER 4/26/23 DATE
Notary Public, State of New York
No. 01LE6293122
Qualified in Nassau County
Commission Expires Nov. 25, 2025

Property Owner's Consent:
I, MILTON E.D. MCLAREN am (are) the owner(s) of the subject property and consent to the filing of this application.

Milton McLaren
PROPERTY OWNER'S SIGNATURE
Sworn to before me this 26TH
day of APRIL, 2023
Peggy M. Lester
Notary Public

PEGGY M. LESTER 4/26/23 DATE
Notary Public, State of New York
No. 01LE6293122
Qualified in Nassau County
Commission Expires Nov. 25, 2025

FOR VILLAGE USE ONLY

| | |
|---|---|
| Site Plan Public Hearing Required: _____ YES _____ NO | Date of Hearing: _____ Date of Decision: _____ |
| Village Clerk's Signature: _____ | Approved _____ Denied _____ Date: _____ |
| Planning Board Signature: _____ | Date: _____ |

SUBMISSION CHECKLIST

| YES | NO | N/A | |
|-------|-------|-------|--|
| _____ | _____ | _____ | 1. The Building Department shall provide the applicant with a G.I.S. survey of all parcels within a five hundred (500) foot radius of the subject parcel. (Required for new construction/subdivision, only). |
| _____ | _____ | _____ | 2. The applicant shall provide photographs of all parcels within a three hundred (300) foot radius of the subject parcel, with identifying comments on said photographs. |
| _____ | _____ | _____ | 3. A site plan shall include the following information, plotted as necessary to a scale of not more than twenty (20) feet to one (1) inch: |
| _____ | _____ | _____ | a. Title of drawing, including name and address of applicant. |
| _____ | _____ | _____ | b. North point, scale, and date. |
| _____ | _____ | _____ | c. Boundaries of the project. |
| _____ | _____ | _____ | d. Existing natural features, such as watercourse, waterbodies, wetlands, wooded areas, and individual large trees on the subject property. Features to be retained should be noted. |
| _____ | _____ | _____ | e. Floodplain boundaries as determined by the Federal Emergency Management Agency. |
| _____ | _____ | _____ | f. Location of proposed land and water uses and their areas in acres and location, together with the proposed use, dimensions, height and architectural features of all buildings and other structures. |
| _____ | _____ | _____ | g. Location of outdoor storage and description of materials to be stored. |
| _____ | _____ | _____ | h. Location of all existing or proposed site improvements including street, drains, culverts, retaining walls, fences, docks and easements, whether public or private. |
| _____ | _____ | _____ | i. Location and description of all proposed waterfront public access/recreation provisions. |
| _____ | _____ | _____ | j. Description of sewage disposal and water supply systems and locations of such facilities. |
| _____ | _____ | _____ | k. Location and proposed development of buffer areas and other landscaping; the general landscaping plan and planting schedule. |
| _____ | _____ | _____ | l. Location of all parking and loading area, internal circulation pattern, and ingress and egress drives. |
| _____ | _____ | _____ | m. Provision for pedestrian and patron access, including public and private sidewalks, walkways and docks. |
| _____ | _____ | _____ | n. Location, design and size of all signs and lighting facilities. |
| _____ | _____ | _____ | o. Approximate locations and dimensions of areas proposed for neighborhood parks, playgrounds or other permanent open space. |
| _____ | _____ | _____ | p. Building orientation and site design for energy efficiency and visual quality. |
| _____ | _____ | _____ | q. Location and design of all energy distribution facilities, including electrical, gas, and solar energy. |
| _____ | _____ | _____ | r. Description and location of erosion control measures including proposed location of sediment sink/setting pond and interceptor swales, etc.. |
| _____ | _____ | _____ | s. Location, supporting design data and copies of computations used as a basis for the design capacities and performance of stormwater management facilities. |
| _____ | _____ | _____ | t. Lines and dimensions of all property which is offered, or to be offered for dedication for public use, with the purpose indicated thereon, and of all property that is proposed to be reserved by deed covenant for the common use of the property owners of the development. |
| _____ | _____ | _____ | u. Estimated project construction schedule. |
| _____ | _____ | _____ | v. Record of application for approval status of all necessary permits from federal, state and county officials. |
| _____ | _____ | _____ | w. Identification of any federal, state or county permits required for project execution. |
| _____ | _____ | _____ | x. The Planning Board may require such additional information as it may deem necessary for a complete assessment of the project pursuant to this chapter. |

10788



INC. VILLAGE OF FREEPORT

Department of Buildings
46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

ROBERT T. KENNEDY
MAYOR

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

SERGIO MAURAS
SUPERINTENDENT OF BUILDINGS

April 17, 2023
AMENDED SITE PLAN LETTER

Maureen McLaren
105 Connecticut Avenue
Freeport, NY 11520

RE: 105 Connecticut Ave, Freeport, NY 11520
Zoning District: Residence A Sec: 55 Blk: 385 Lot: 62
Building Permit Application # 20222728
Description: Construct a cellar entrance

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerks Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the clerks office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the VILLAGE CLERK'S OFFICE at 377-2300.

Very truly yours,

Sergio Mauras
Superintendent of Buildings

/cd

c: Village Clerk

ZBA Approval Needed:
Yes: _____ No: X

RECEIVED
2023 MAY 16 P 3:04
CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

Update VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project:

Building Application # 20222728

Location: 105 Connecticut Avenue, Freeport, NY 11520

Applicant: Maureen McLaren

Description: Proposed finished cellar with 3 piece bath and cellar entrance

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A)

B) Possible environment effects identified:
(only if positive determination)

DATED: Freeport, New York

Updated April 26, 2023

Sergio A. Maura
Sergio Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

RECEIVED
MAY 16 3:04
VILLAGE OF FREEPORT, NY

617.20
Appendix B
Short Environmental Assessment Form

2022 2728

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

| Part 1 - Project and Sponsor Information | |
|---|--|
| Name of Action or Project: | |
| Project Location (describe, and attach a location map): <i>105 Connecticut Ave Freeport NY. 11520</i> | |
| Brief Description of Proposed Action: <i>PROPOSE FINISHED CELLAR WITH 3 PIECE BATH & CELLAR ENTRANCE</i> | |
| Name of Applicant or Sponsor: <i>Maureen McLaren</i> | Telephone: <i>516 925-5332</i> E-Mail: |
| Address: <i>105 Connecticut Ave</i> | |
| City/PO: <i>Freeport</i> | State: <i>NY.</i> Zip Code: <i>11520</i> |
| 1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2. | NO YES <input checked="" type="checkbox"/> <input type="checkbox"/> |
| 2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: | NO YES <input checked="" type="checkbox"/> <input type="checkbox"/> |
| 3.a. Total acreage of the site of the proposed action? | <i>1/8</i> acres |
| b. Total acreage to be physically disturbed? | _____ acres |
| c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? | _____ acres |
| 4. Check all land uses that occur on, adjoining and near the proposed action. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland | |

| | | |
|---|----|-----|
| 18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ | NO | YES |
| 19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ | NO | YES |
| 20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ | NO | YES |
| I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor name: <u>Maureen McLaren</u> Date: <u>3/17/2022</u> Signature: _____ | | |

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

| | No, or small impact may occur | Moderate to large impact may occur |
|--|-------------------------------|------------------------------------|
| 1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations? | ✓ | |
| 2. Will the proposed action result in a change in the use or intensity of use of land? | ✓ | |
| 3. Will the proposed action impair the character or quality of the existing community? | ✓ | |
| 4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)? | ✓ | |
| 5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway? | ✓ | |
| 6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities? | ✓ | |
| 7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities? | ✓ ✓ | |
| 8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources? | ✓ | |
| 9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)? | ✓ | |

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 PLANNING & ZONING DEPARTMENT
 PLANNING OFFICE

| | No, or small impact may occur | Moderate to large impact may occur |
|---|-------------------------------|------------------------------------|
| 10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems? | ✓ | |
| 11. Will the proposed action create a hazard to environmental resources or human health? | ✓ | |

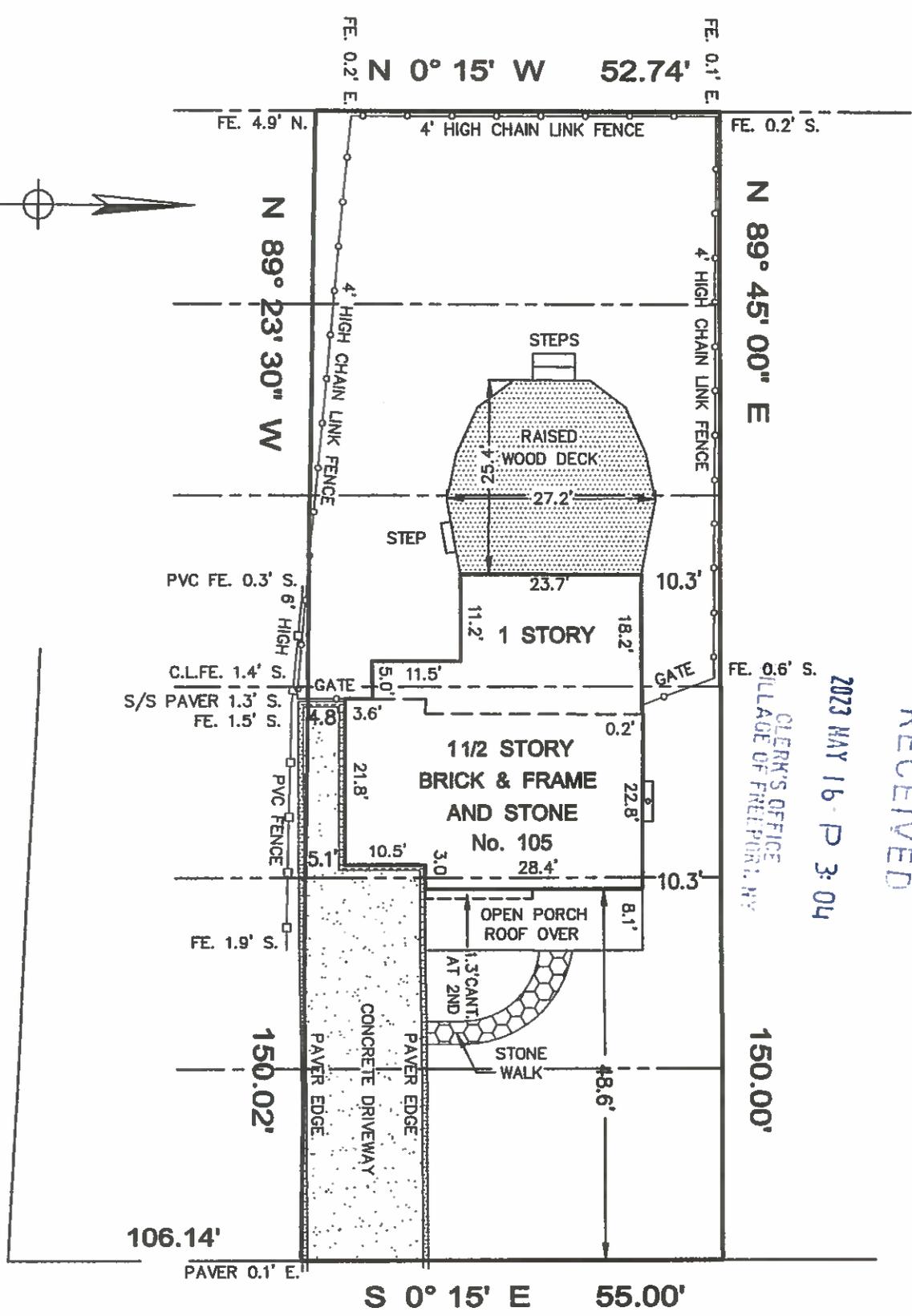
Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

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| | |
|---|---|
| <input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required. | |
| <input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts. | |
| _____ | _____ |
| Name of Lead Agency | Date |
| _____ | _____ |
| Print or Type Name of Responsible Officer in Lead Agency | Title of Responsible Officer |
| _____ | _____ |
| Signature of Responsible Officer in Lead Agency | Signature of Preparer (if different from Responsible Officer) |



WEST SEAMAN AVENUE



CONNECTICUT AVENUE
(60' WIDE)

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VILLAGE OF FREEPORT, NY

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THE OFFSETS OR DIMENSIONS SHOWN FROM THE STRUCTURES TO THE PROPERTY LINES ARE FOR A SPECIFIC PURPOSE AND USE AND THEREFORE ARE NOT INTENDED TO GUIDE THE ERECTION OF FENCES, RETAINING WALLS, POOLS, PATIOS, PLANTING AREAS, ADDITION TO STRUCTURES AND ANY OTHER CONSTRUCTION.

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THE EXISTENCE OF RIGHT OF WAYS AND/OR EASEMENTS OF RECORD, IF ANY, NOT SHOWN ARE NOT CERTIFIED

THOMAS MATARAZZO
LAND SURVEYOR 631-472-0968
32 SEQUOIA WAY, HOLBROOK, NY 11741
email: TomTheSurveyor@gmail.com

SCALE: 1" = 20' © 2021

SURVEY OF: P/O LOTS 612-617 INCL
FILED MAP: AMENDED MAP No. 2 OF RESIDENCE PARK
FILED: DECEMBER 23, 1932 MAP No. 793 NEW MAP No. 872

LOCATED AT: INCORPORATED VILLAGE OF FREEPORT
TOWN OF HEMPSTEAD, NASSAU COUNTY, NEW YORK

TAX DESIG.: SECTION 55; BLK 385; LOT 629

CERTIFIED TO:
FOR TOWN USE ONLY

TITLE NO.:
DATE: NOVEMBER 16, 2021



SHEET NOTES

CARBON MONOXIDE DETECTOR & ALARM DOLLS

- (1) CARBON MONOXIDE ALARM SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 915 OF THE 2020 FIRE CODE OF NEW YORK STATE.
- (2) A CARBON MONOXIDE ALARM SHALL BE PROVIDED IN EVERY SLEEPING AREA, MORE THAN ONE CARBON MONOXIDE ALARM SHALL BE PROVIDED WHERE NECESSARY MORE THAN 15 FEET AWAY FROM A CARBON MONOXIDE ALARM.
- (3) A CARBON MONOXIDE ALARM SHALL BE PROVIDED ON EVERY STORY THAT CONTAINS A CARBON MONOXIDE DETECTOR.
- (4) CARBON MONOXIDE ALARMS, CARBON MONOXIDE DETECTORS, AND THE ALARM CONTROL UNITS TO WHICH CARBON MONOXIDE DETECTORS ARE CONNECTED SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 915.1.1.1. CARBON MONOXIDE ALARMS SHALL BE PROVIDED WHERE NECESSARY MORE THAN 15 FEET AWAY FROM A CARBON MONOXIDE ALARM.
- (5) CARBON MONOXIDE ALARMS SHALL BE LISTED AND LABELED AS COMPLYING WITH UL 2034 OR CAN/CSA 6.19 AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- (6) WHEN MORE THAN ONE CARBON MONOXIDE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL SLEEPING UNIT, SLEEPING UNIT OR SLEEPING AREA, ALL SLEEPING UNIT OR SLEEPING AREA SHALL BE INTERCONNECTED.
- (7) CARBON MONOXIDE ALARMS, CARBON MONOXIDE DETECTORS, AND ALARM CONTROL UNITS SHALL BE MAINTAINED IN AN OPERATIVE CONDITION AT ALL TIMES. CARBON MONOXIDE ALARMS, CARBON MONOXIDE DETECTORS, AND ALARM CONTROL UNITS SHALL BE TESTED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. THE BATTERY OR BATTERIES (SCA AS THE PRIMARY OR BACKUP POWER SOURCE SHALL BE REPLACED WHEN LOW OR WHEN OTHERWISE REQUIRED BY THE MANUFACTURER'S INSTRUCTIONS. CARBON MONOXIDE ALARMS, CARBON MONOXIDE DETECTORS, AND ALARM CONTROL UNITS SHALL BE TESTED, REPAIRED WHERE DEFECTIVE, AND SHALL BE REPLACED WHEN THEY CEASE TO OPERATE AS INTENDED.

CEILING HEIGHT BARS

B302.1 MINIMUM HEIGHT

HABITABLE SPACE, HALLWAYS AND PORTIONS OF COMMON AREAS SHALL BE PROVIDED WITH CEILING HEIGHT BARS. CEILING HEIGHT BARS SHALL BE PROVIDED IN ALL ROOMS AND LAUNDRY ROOMS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 6 FEET 8 INCHES.

EXCEPTIONS:

1. FOR ROOMS WITH SLOPED CEILING, THE REQUIRED FLOOR AREA OF THE ROOM SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 5 FEET 8 INCHES.
2. THE CEILING HEIGHT ABOVE BATHROOM AND TOILET ROOM FIXTURES SHALL BE SUCH THAT THE FIXTURES IS SPACED TO THE CEILING WITH A MINIMUM OF 5 INCHES ABOVE AN AREA OF NOT LESS THAN 6 FEET 8 INCHES BY 30 INCHES AT THE SHOWERHEAD.
3. BARS, GIRDERS, JOISTS OR OTHER OBSTRUCTION IN BASEMENTS CONTAINING HABITABLE SPACE SHALL BE PERMITTED TO PROJECT TO WITHIN 6 FEET 4 INCHES OF THE FINISH FLOOR.

B302.1.1 BASEMENTS

PORTIONS OF BASEMENTS THAT DO NOT CONTAIN HABITABLE SPACE OR HALLWAYS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 6 FEET 8 INCHES.

EXCEPTION:

1. AT BEAMS, GIRDERS, JOISTS OR OTHER OBSTRUCTIONS, THE CEILING HEIGHT SHALL BE NOT LESS THAN 6 FEET 4 INCHES FROM THE FINISH FLOOR.

SAFETY GLAZING BARS

GLAZING INSTALLED IN HAZARDOUS LOCATIONS AS SHALL BE PROVIDED WITH A MANUFACTURER'S OR INSTALLER'S LABEL AND THICKNESS OF GLASS AND THE SAFETY GLAZING STANDARD WITH WHICH IT COMPLIES, WHICH IS VISIBLE IN THE FINAL INSTALLATION. THE LABEL SHALL BE ADDED TO THE LABELS OF THE GLAZING. EMBOSSED MARKS OR SMALL MARKS OF A TYPE WHICH CAN BE APPLIED CANNOT BE REVIEWED THROUGH GLASS.

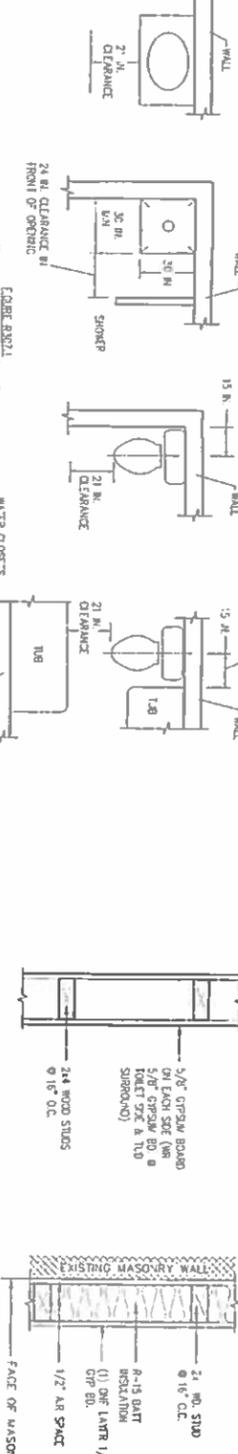
HAZARDOUS LOCATIONS SHALL BE AS FOLLOWS:

1. GLAZING IN SLEEPING ROOMS.
2. ASSEMBLIES AND PANELS OF SLIDING DOOR AND WINDOW ASSEMBLIES.
3. GLAZING IN STAIR DOORS.
4. GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATH-TUBS AND SHOWER, GLAZING IN ANY PART OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EDGE OF A TYPE WHICH CAN BE APPLIED CANNOT BE REVIEWED OR WALKING SURFACE.
5. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL, CLADDING, IN AN AREA WHERE THE NEAREST VERTICAL EDGE OF THE PANEL IS MORE THAN 5 FEET ABOVE THE FINISH FLOOR AND THE BOTTOM EDGE OF THE PANEL IS MORE THAN 80 INCHES (2032 MM) ABOVE THE FLOOR OR WALKING SURFACE.
6. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL, CLADDING, IN AN AREA WHERE THE NEAREST VERTICAL EDGE OF THE PANEL IS MORE THAN 5 FEET ABOVE THE FINISH FLOOR AND THE BOTTOM EDGE OF THE PANEL IS MORE THAN 80 INCHES (2032 MM) ABOVE THE FLOOR OR WALKING SURFACE.

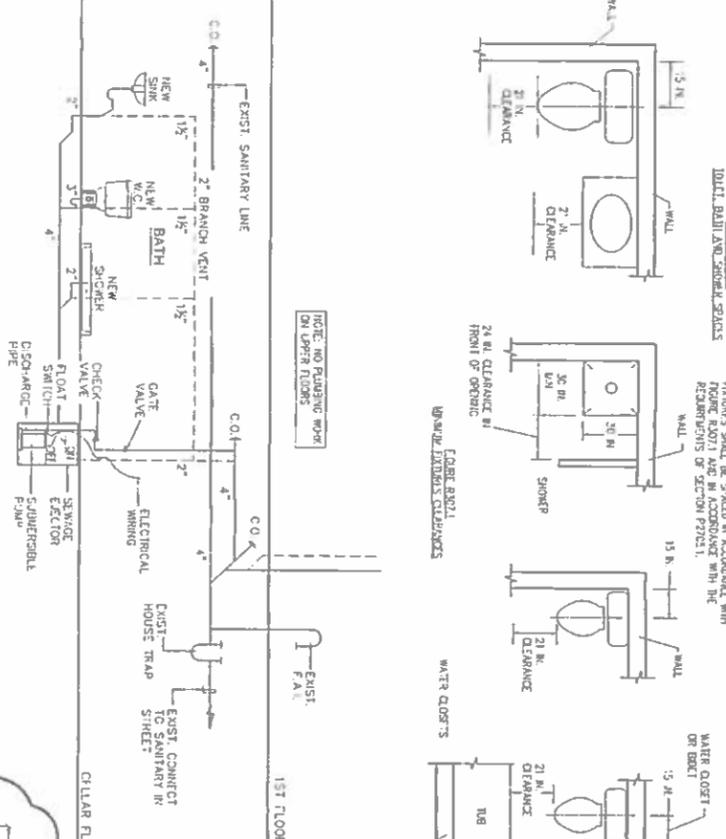
WALL TYPES

A INT. PARTITION

B FURRED WALL



PLUMBING RISER DIAGRAM



CEILING HEIGHT BARS

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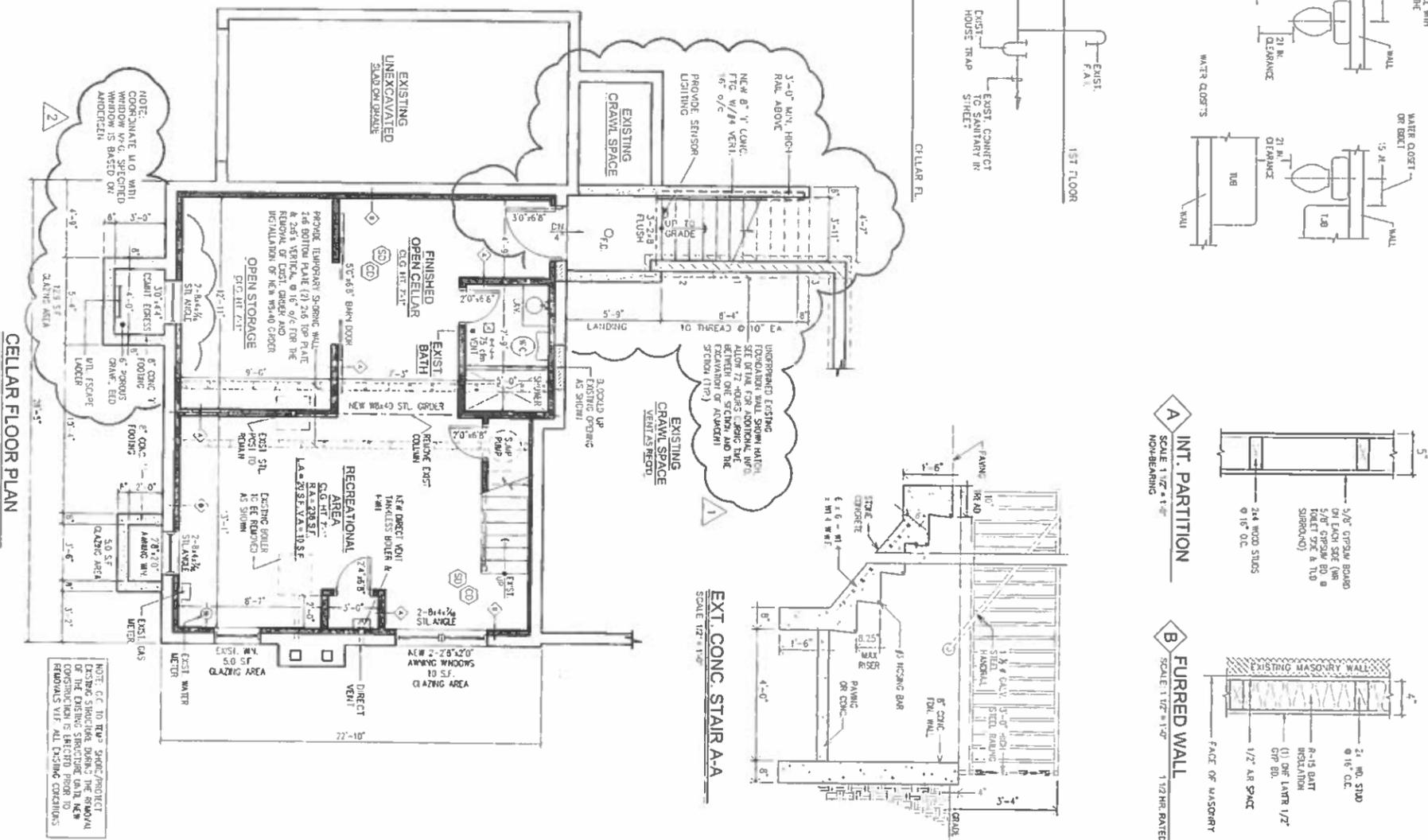
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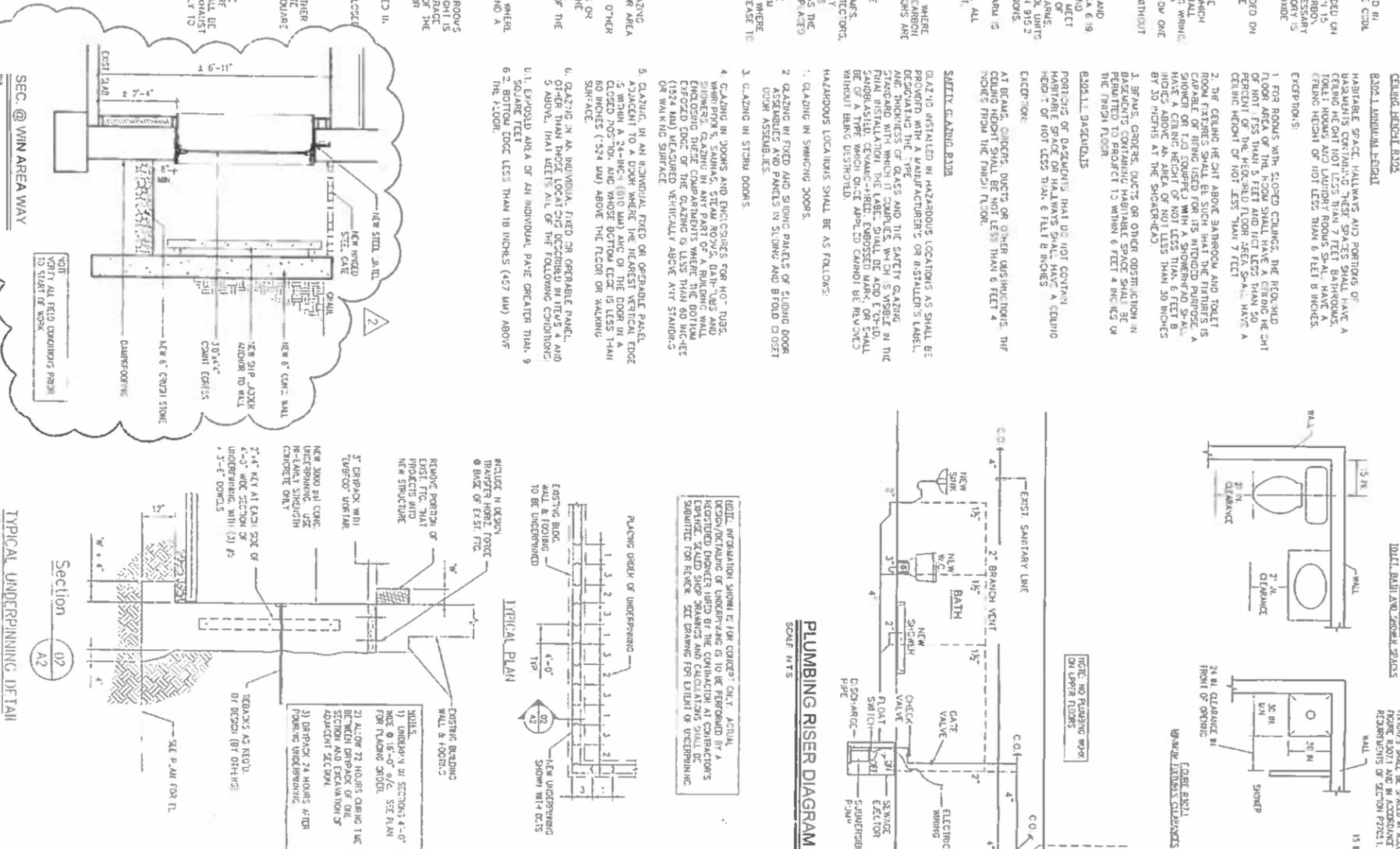
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CELLAR FLOOR PLAN



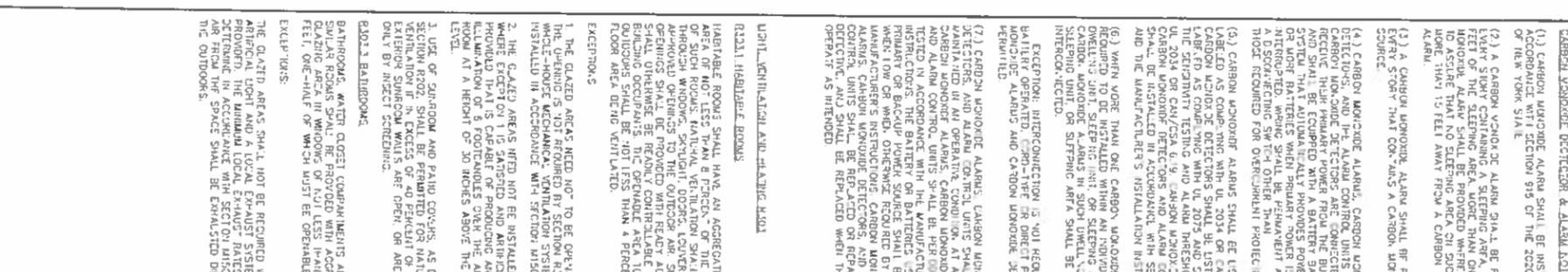
TYPICAL UNDERPINNING DETAIL



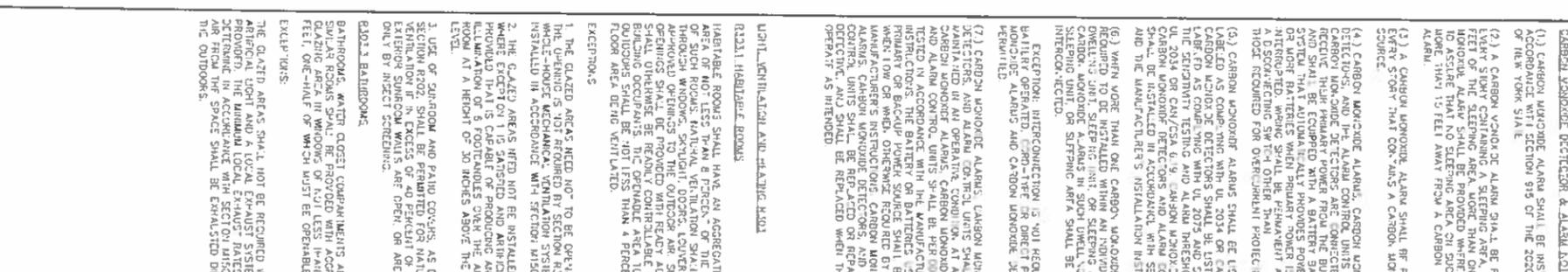
REINFORCED CONCRETE

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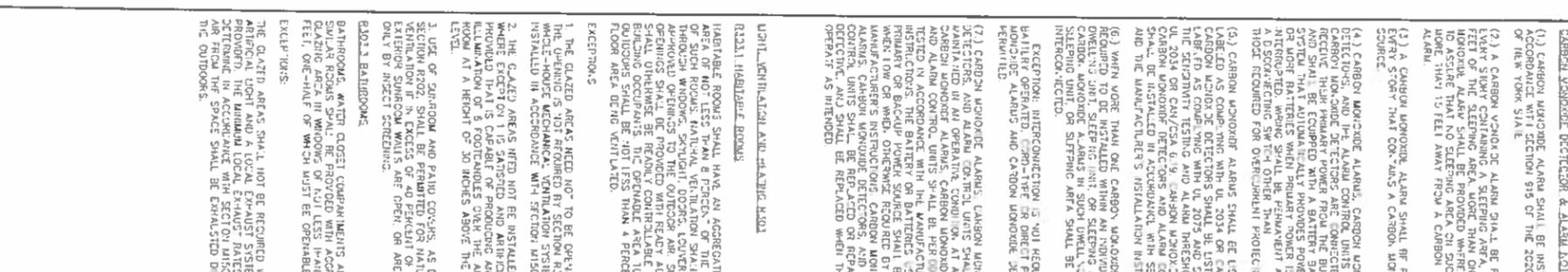
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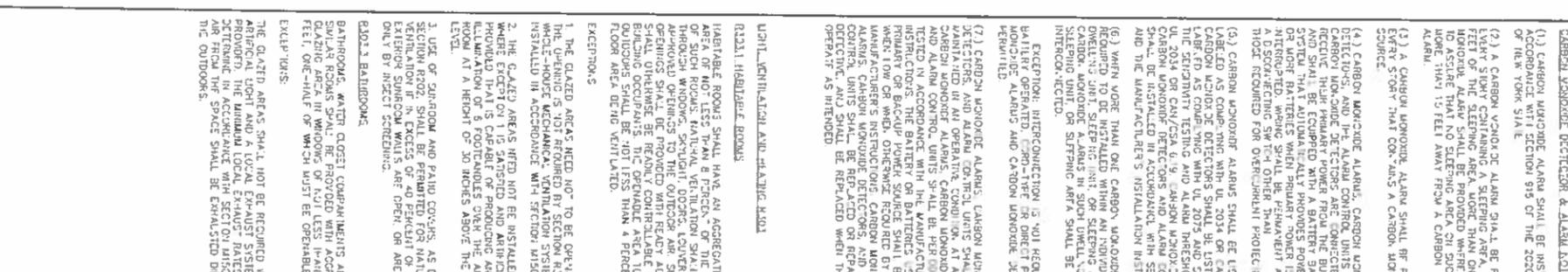
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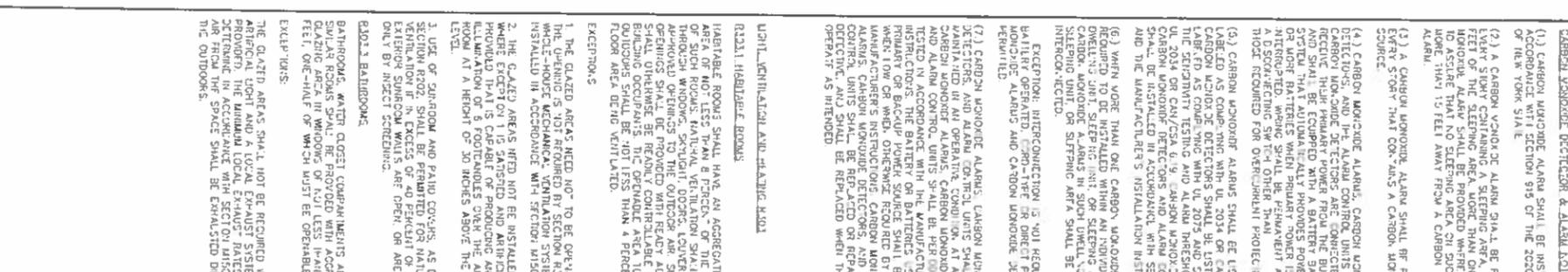
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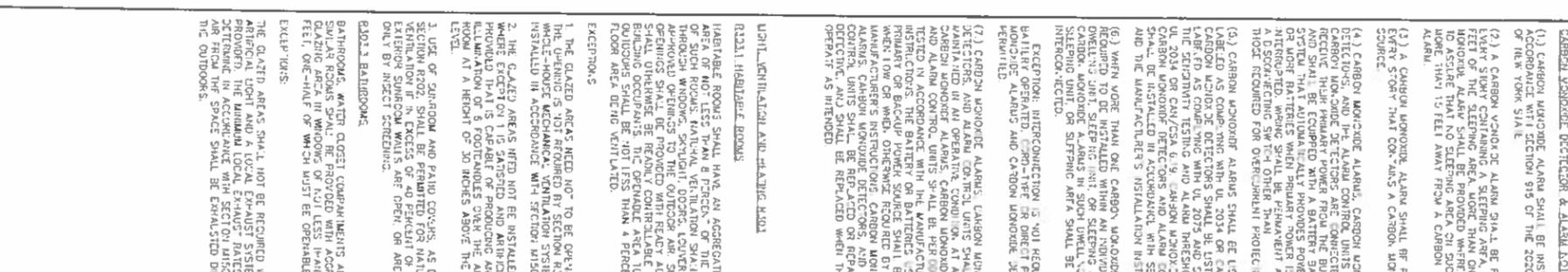
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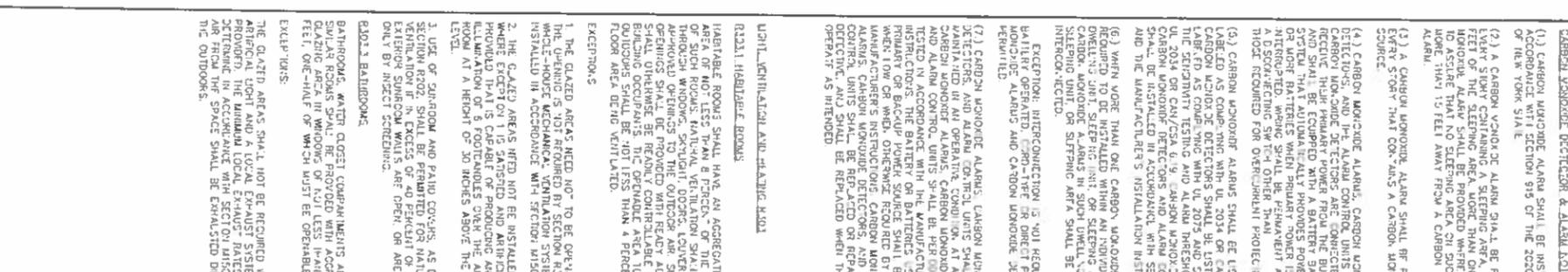
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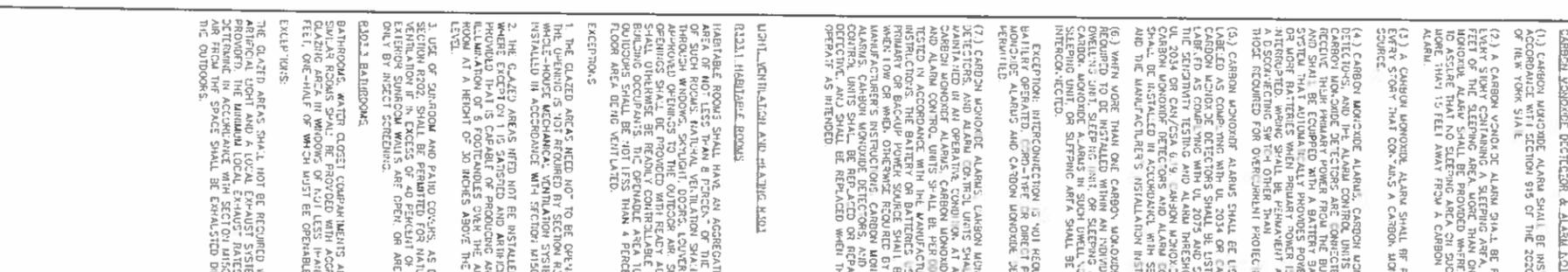
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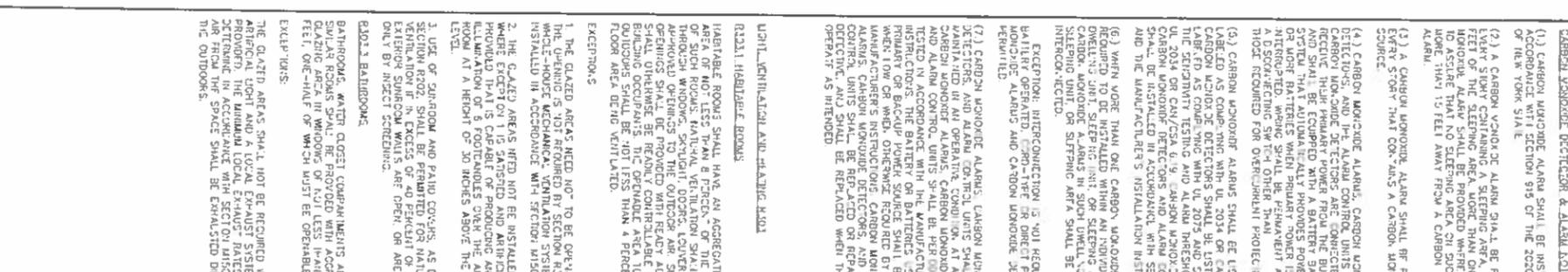
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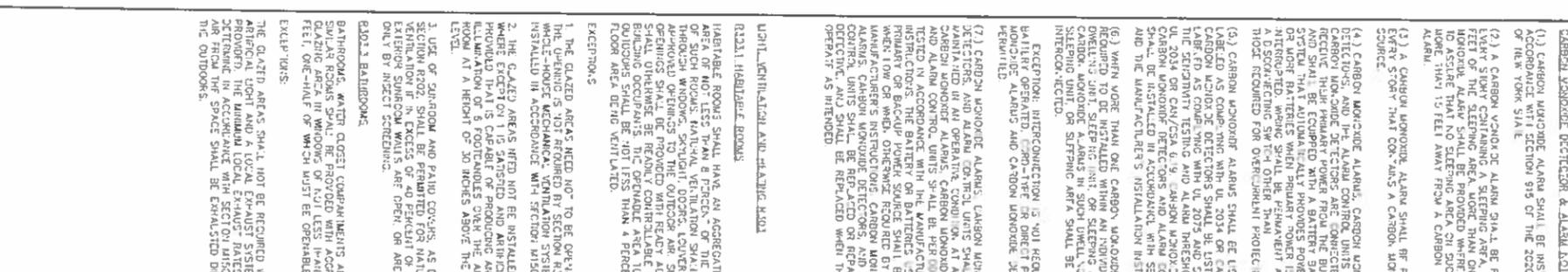
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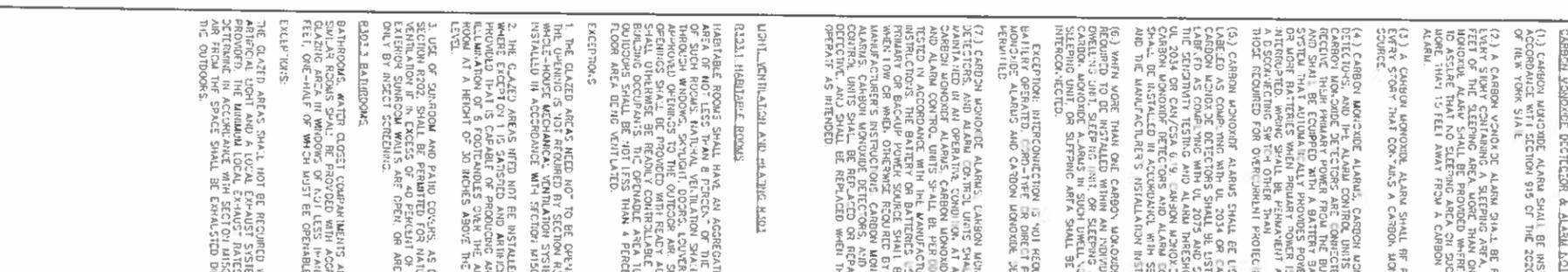
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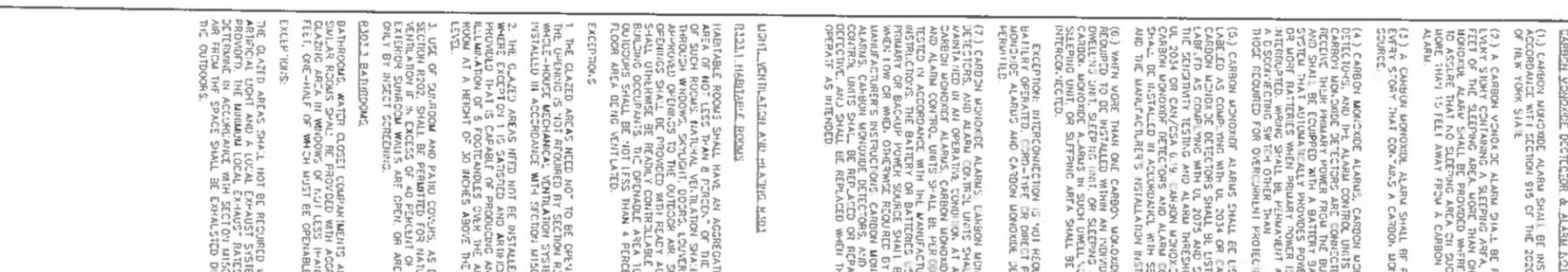
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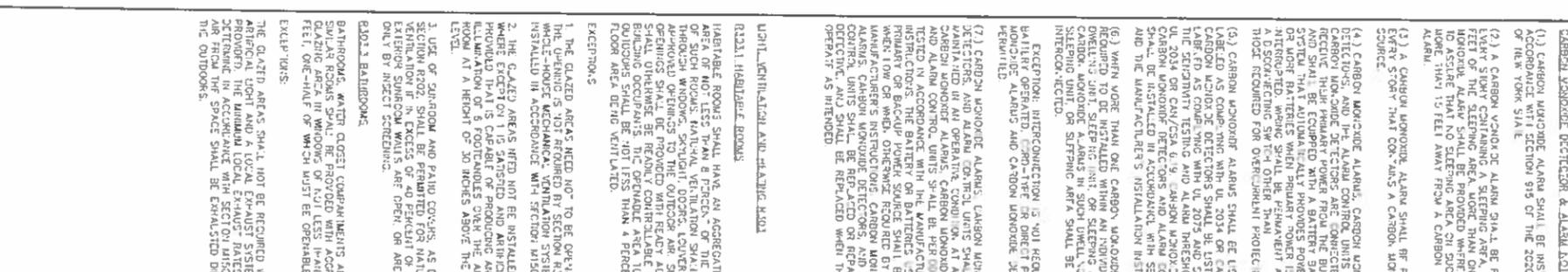
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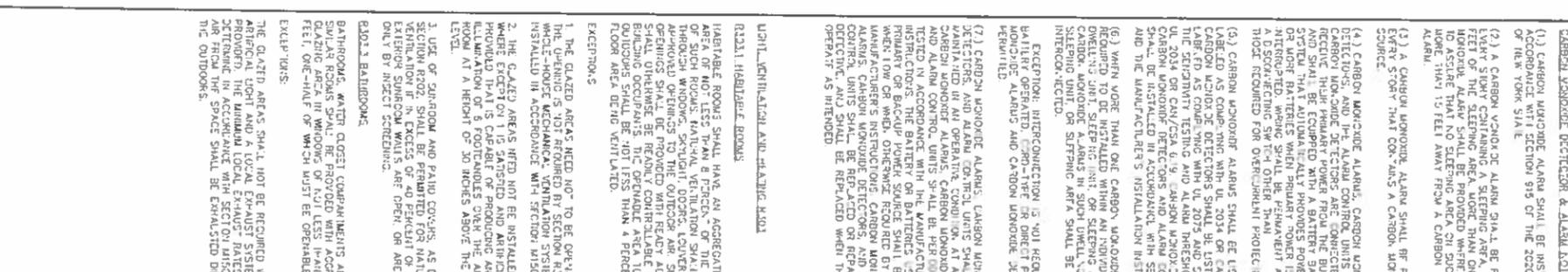
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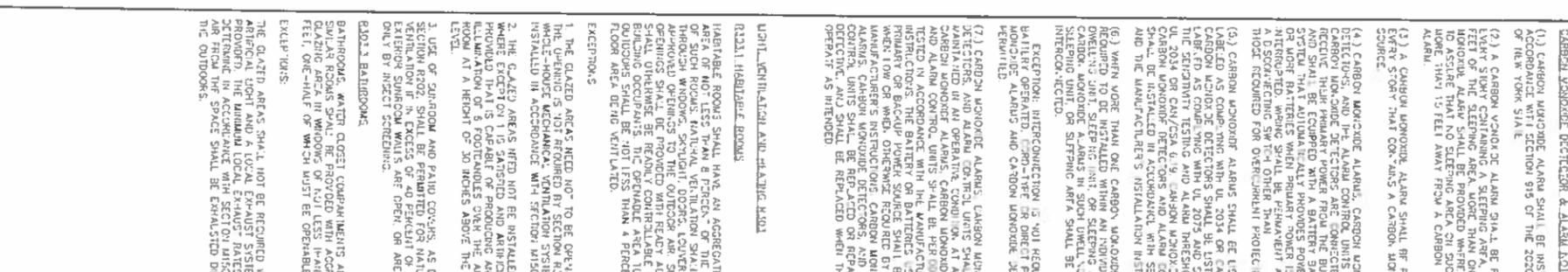
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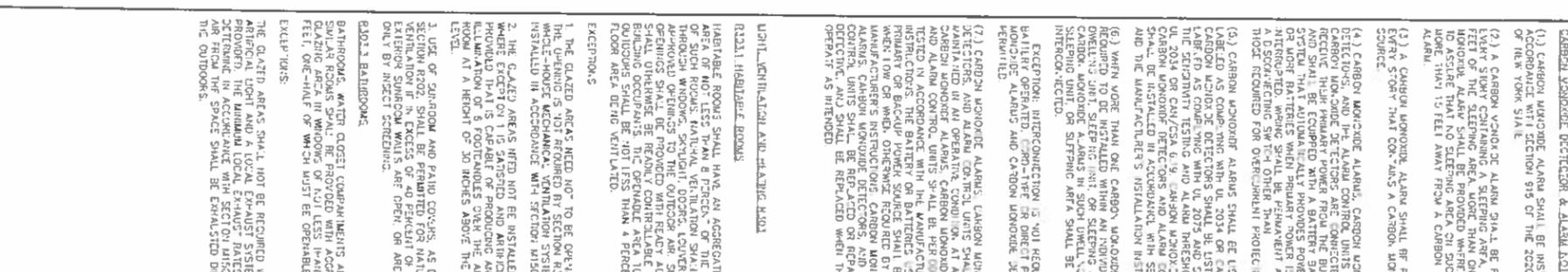
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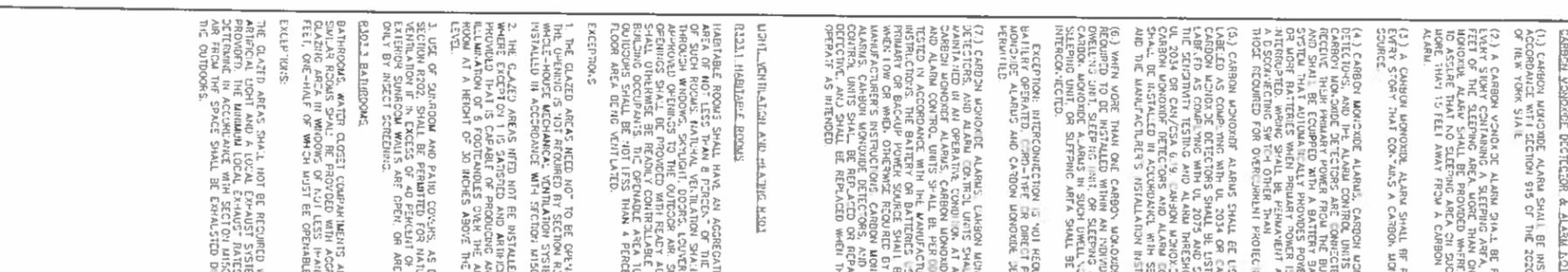
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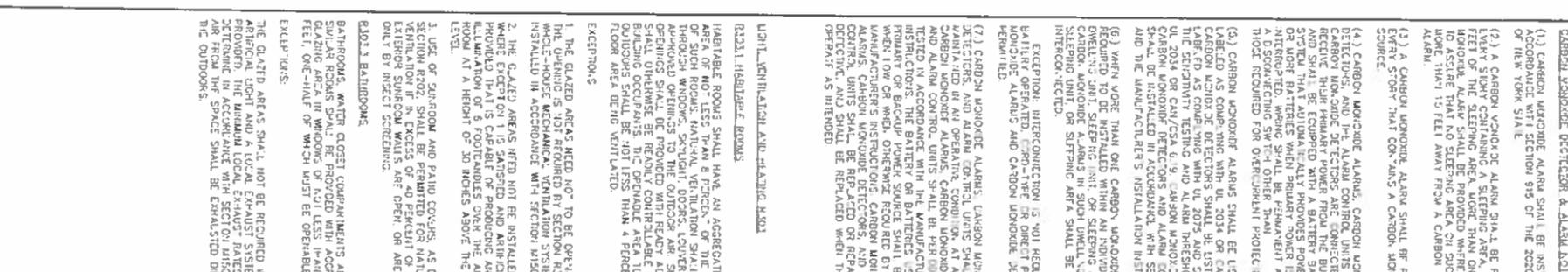
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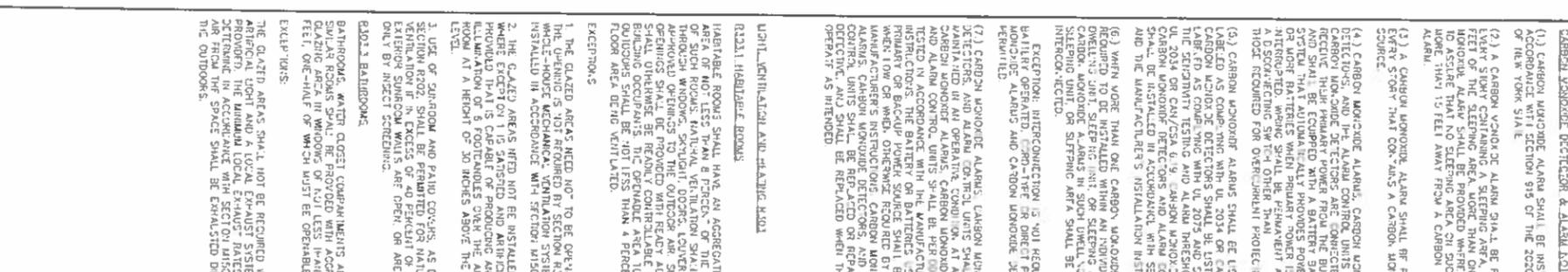
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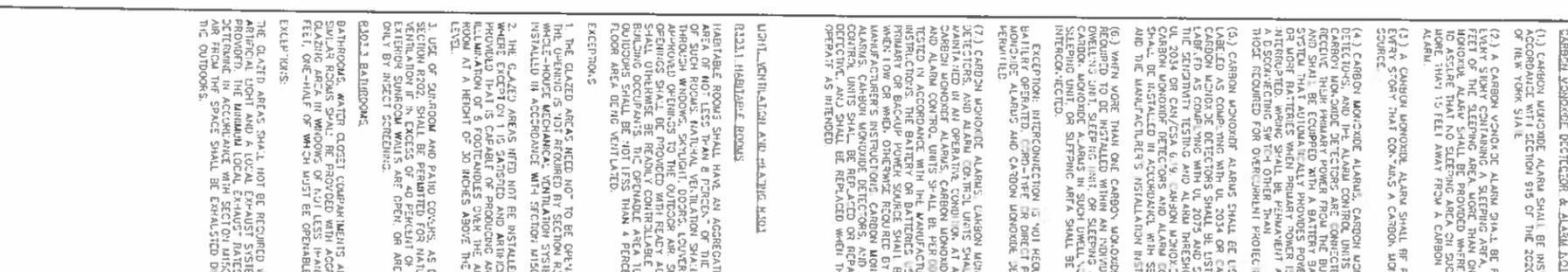
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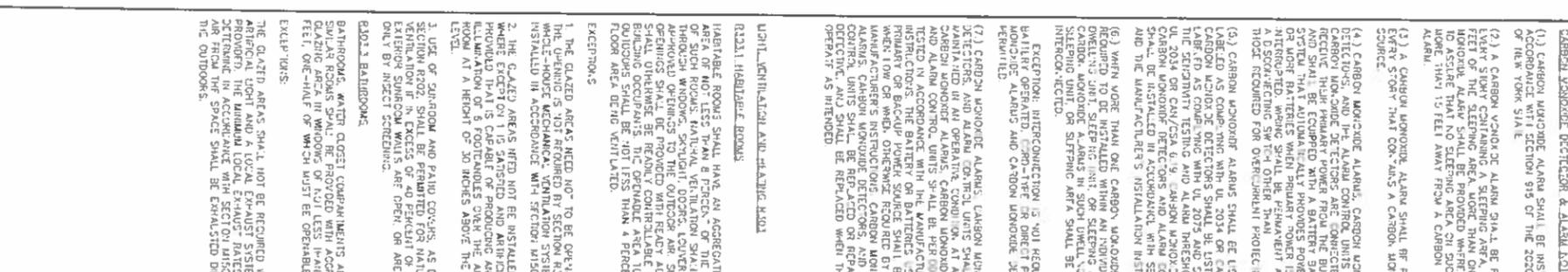
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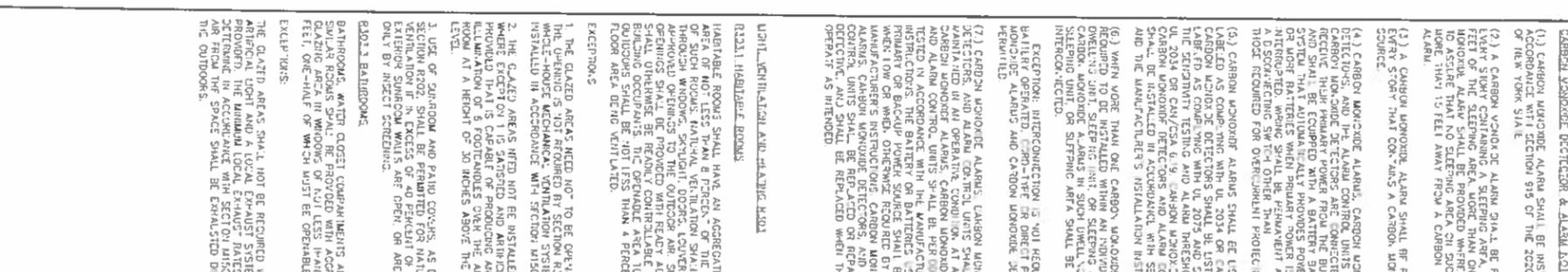
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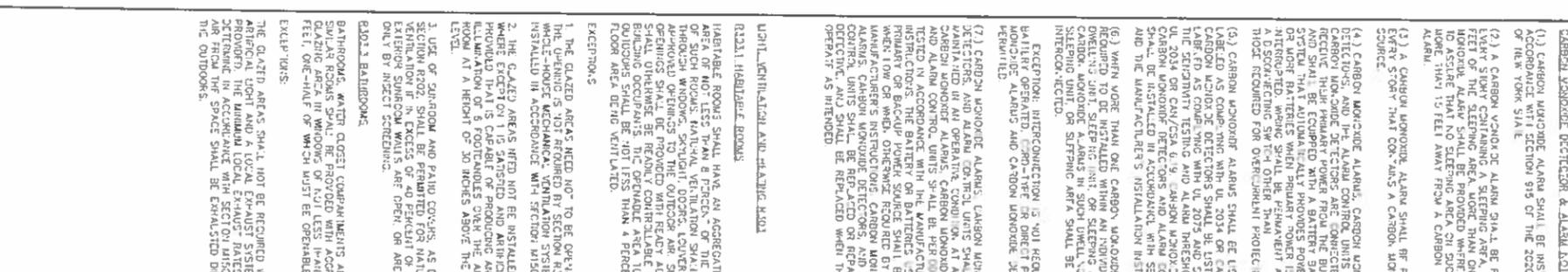
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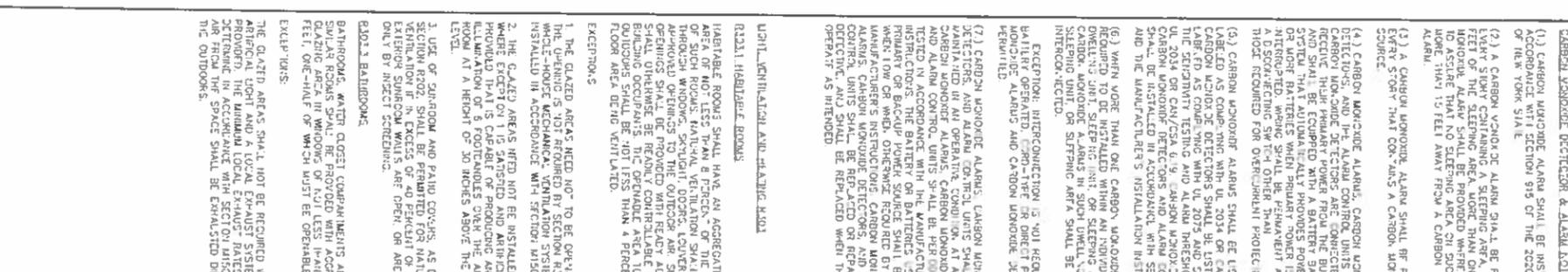
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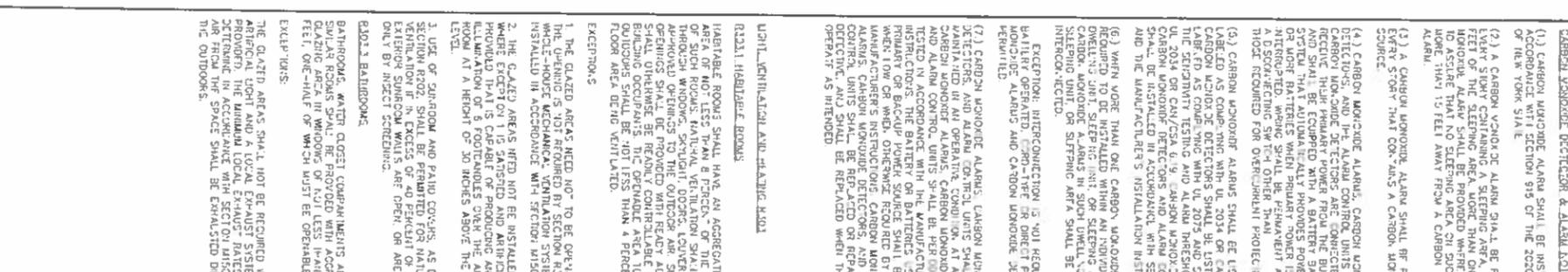
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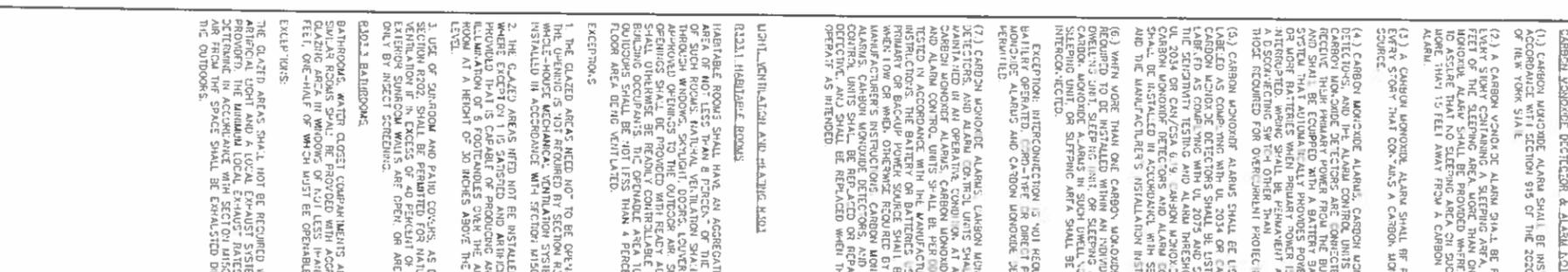
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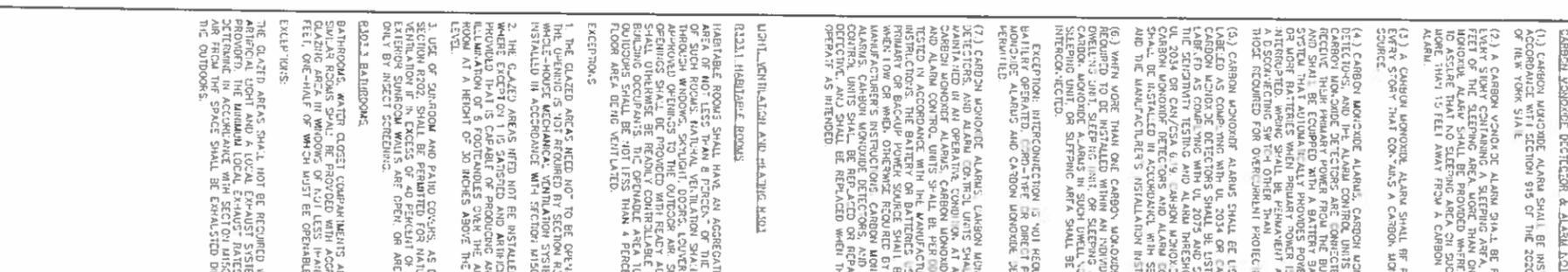
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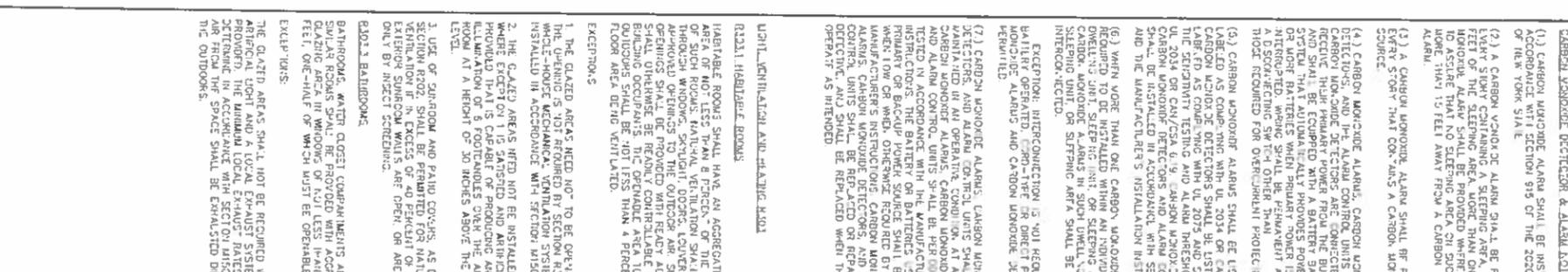
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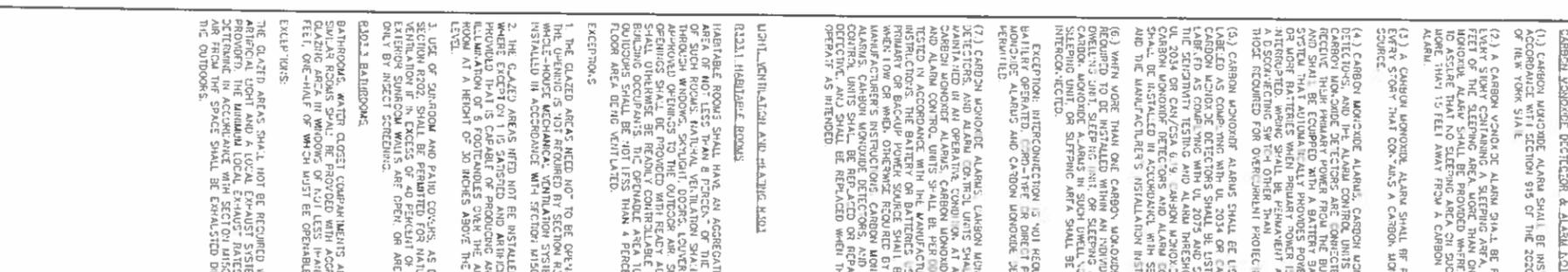
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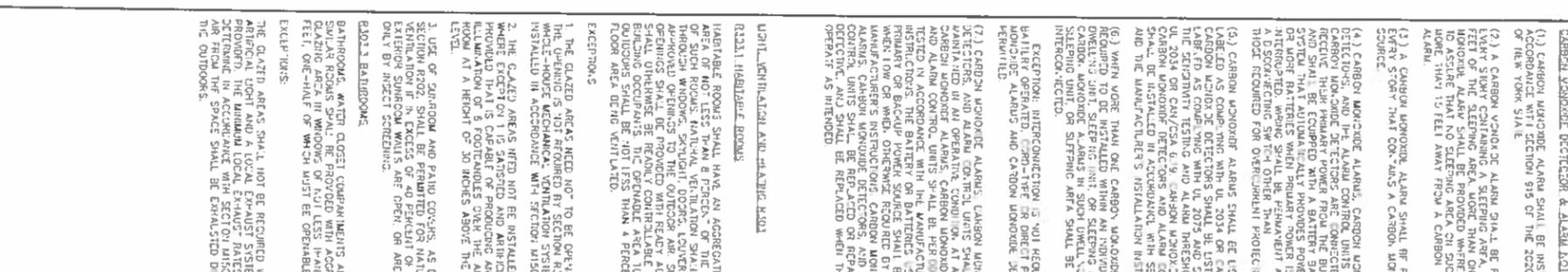
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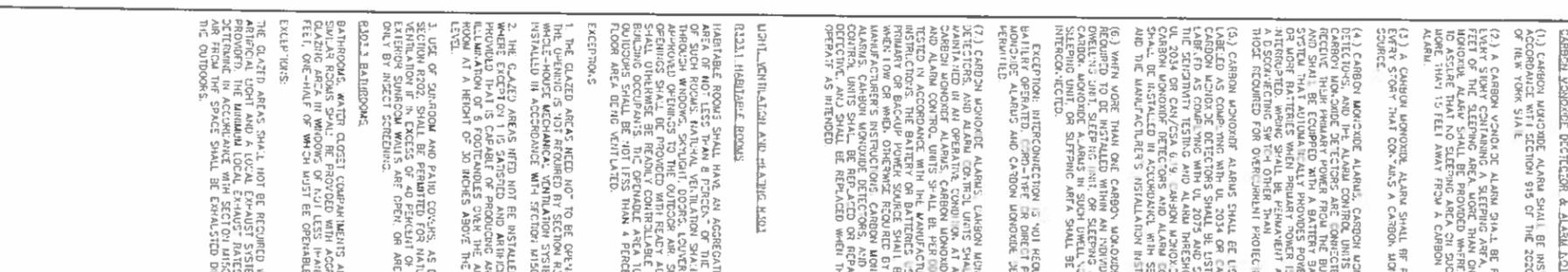
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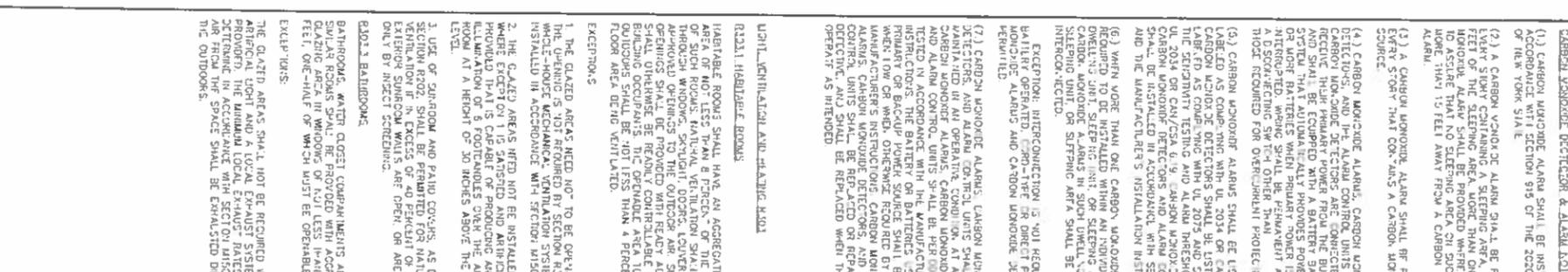
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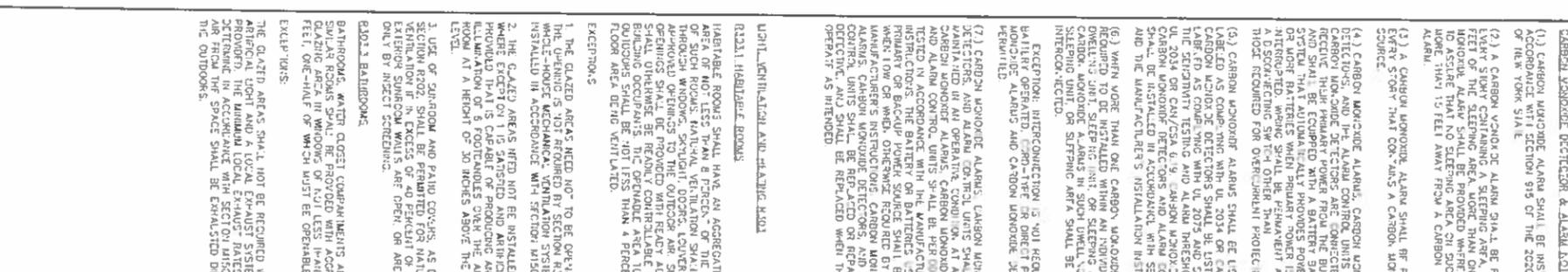
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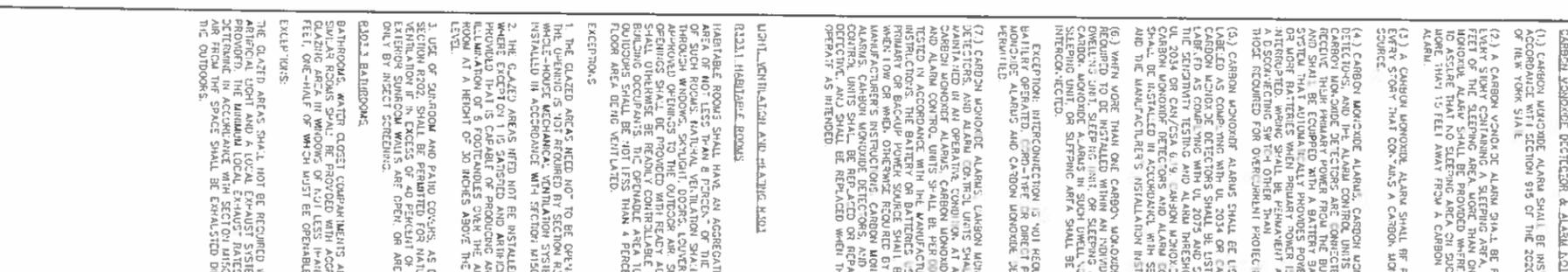
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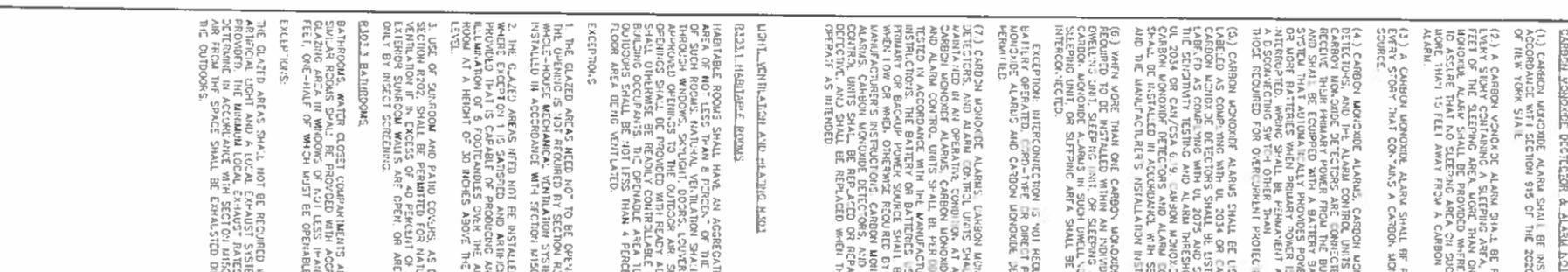
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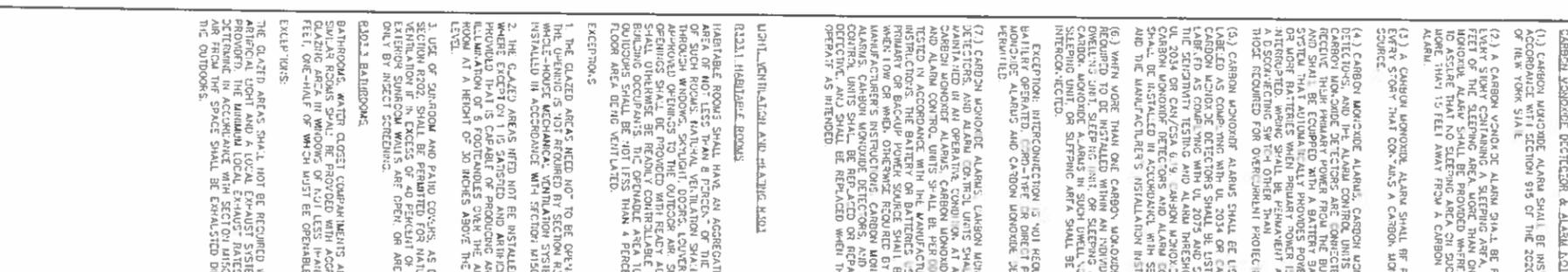
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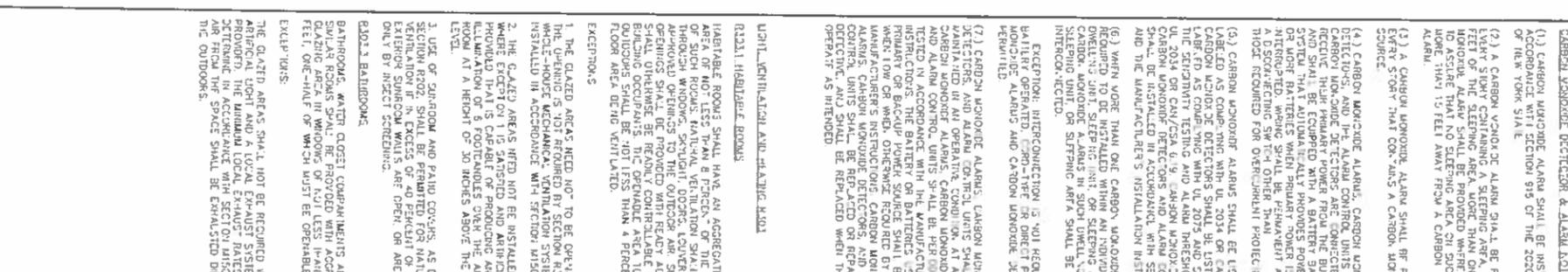
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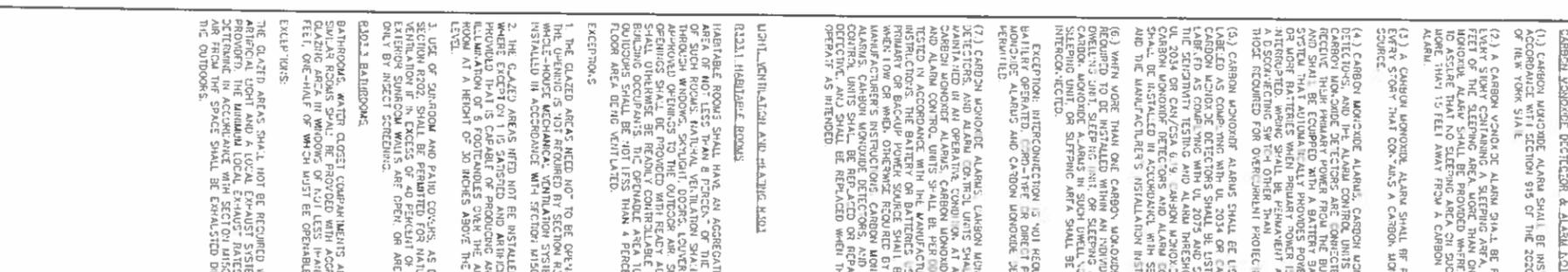
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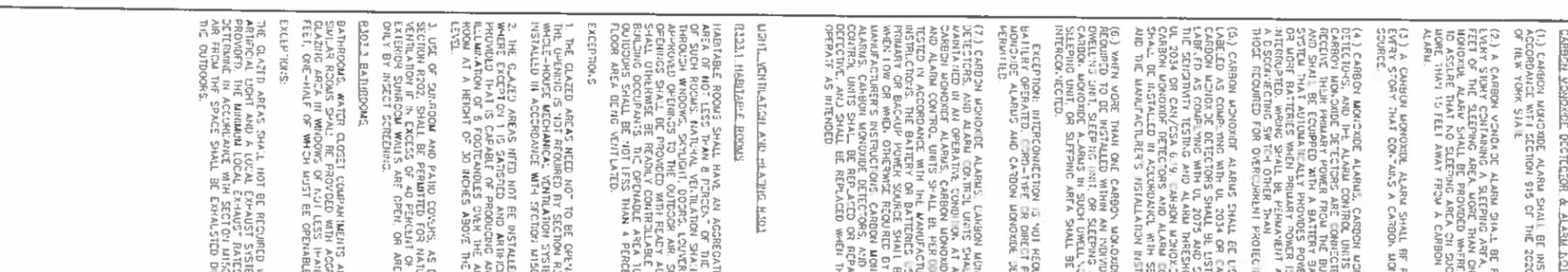
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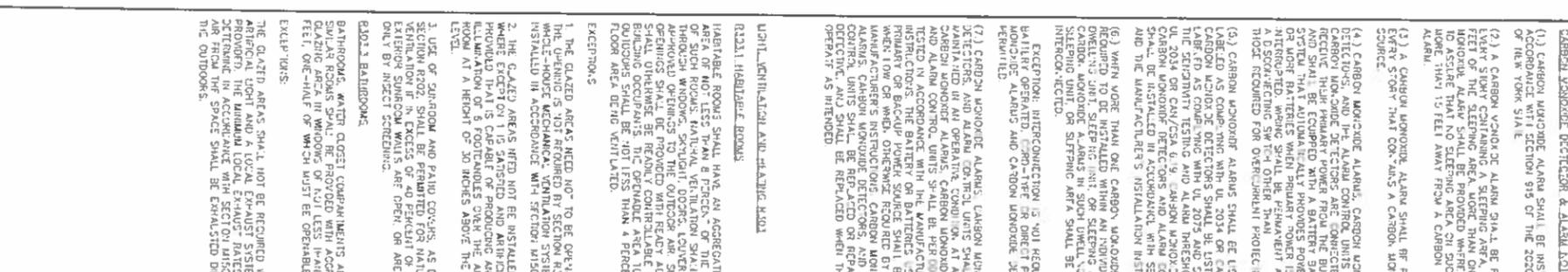
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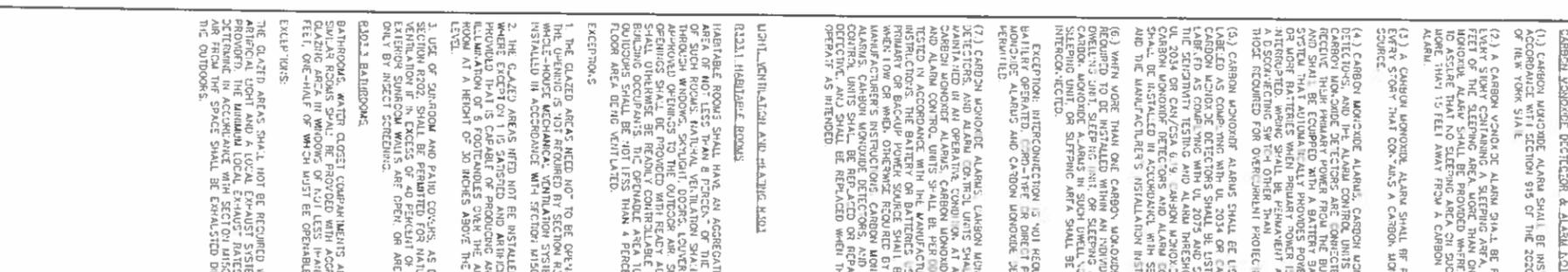
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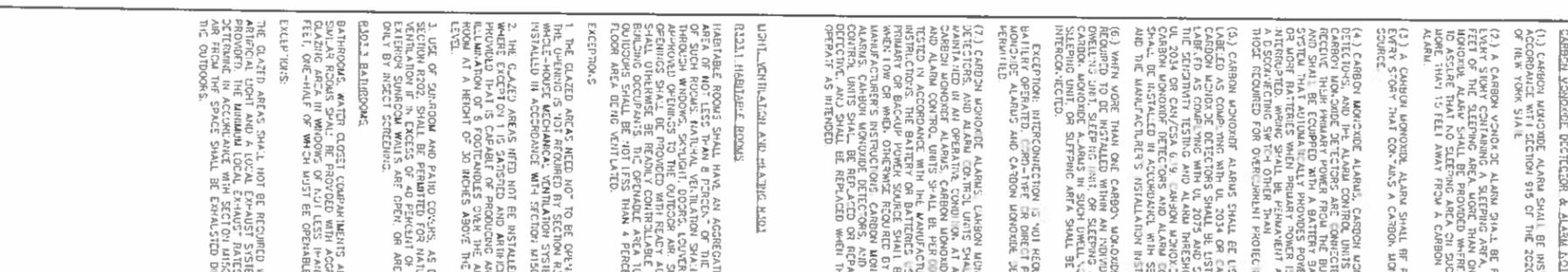
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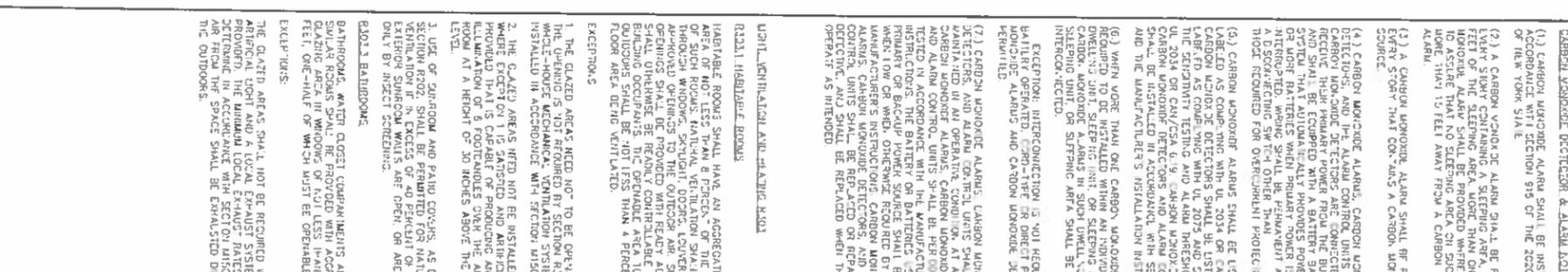
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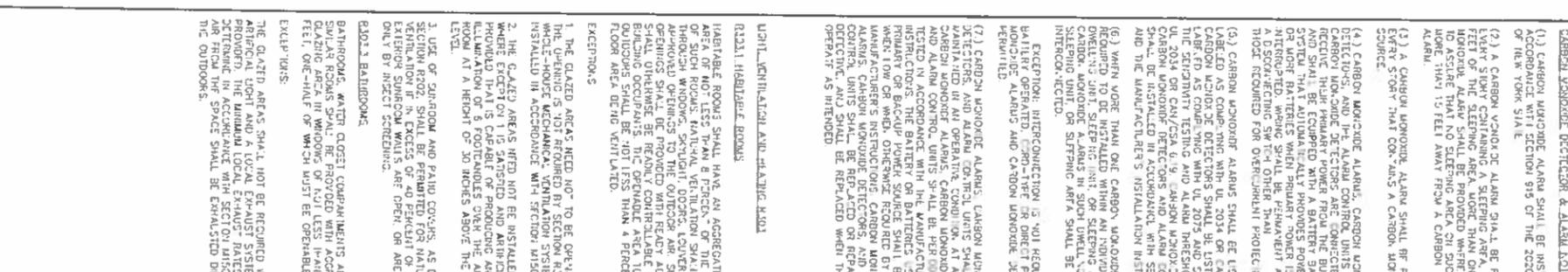
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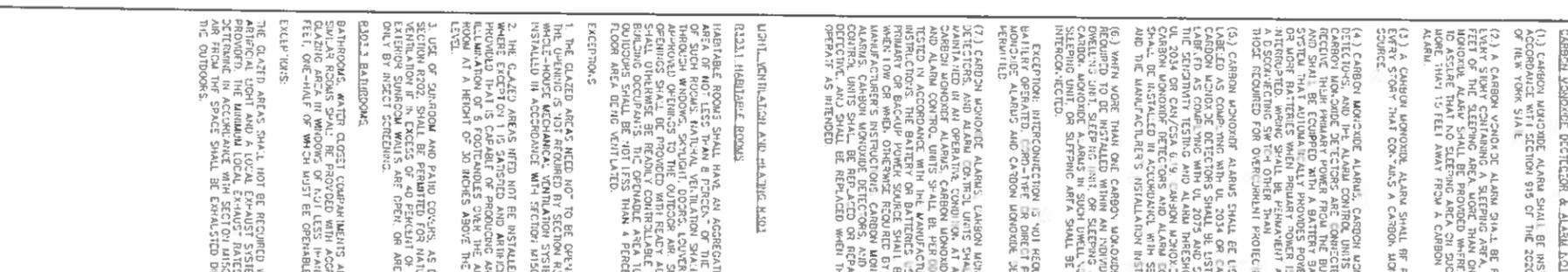
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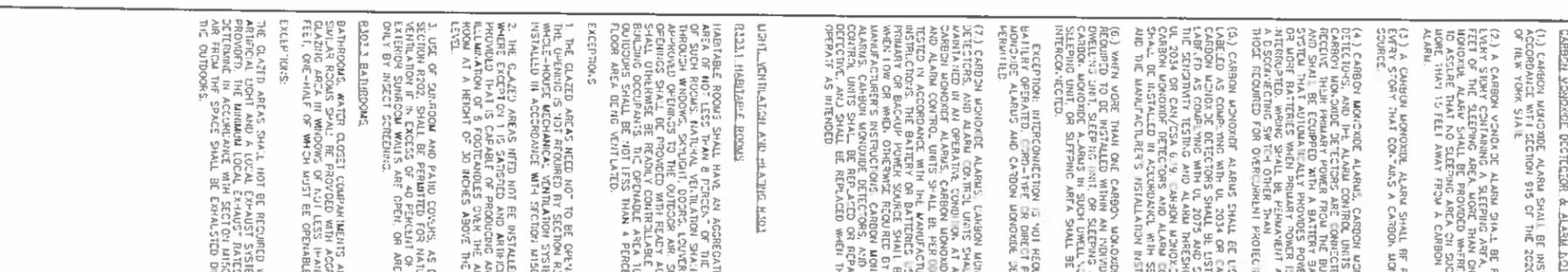
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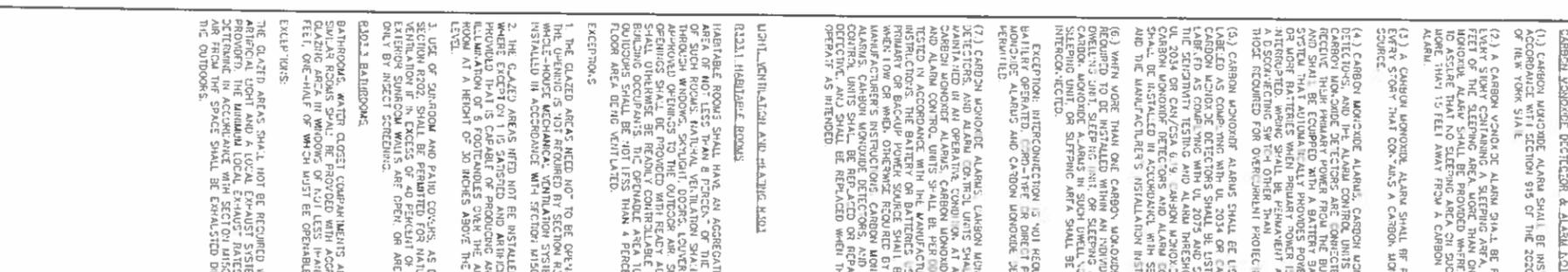
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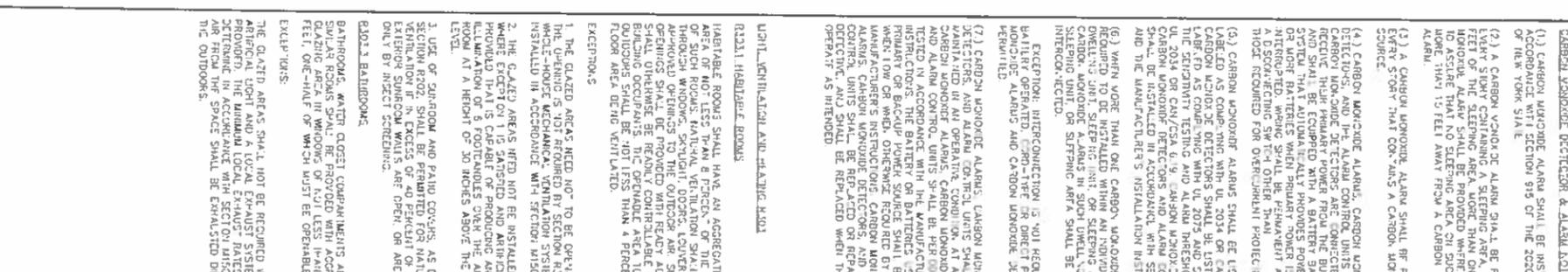
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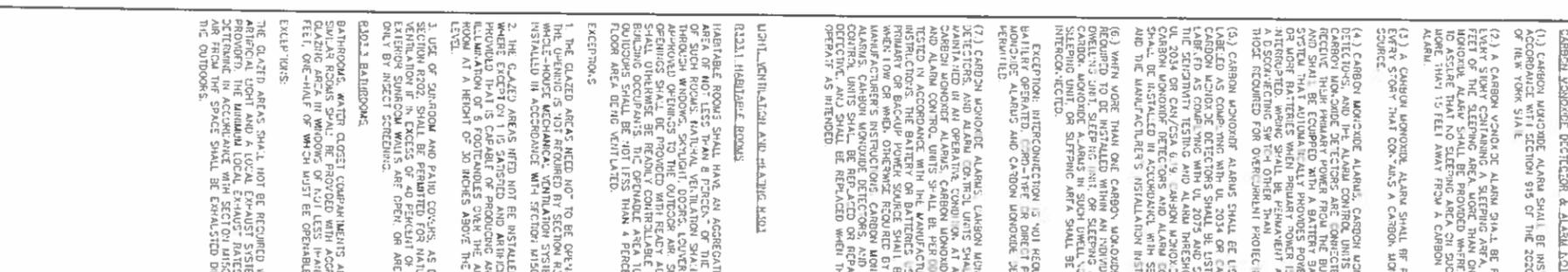
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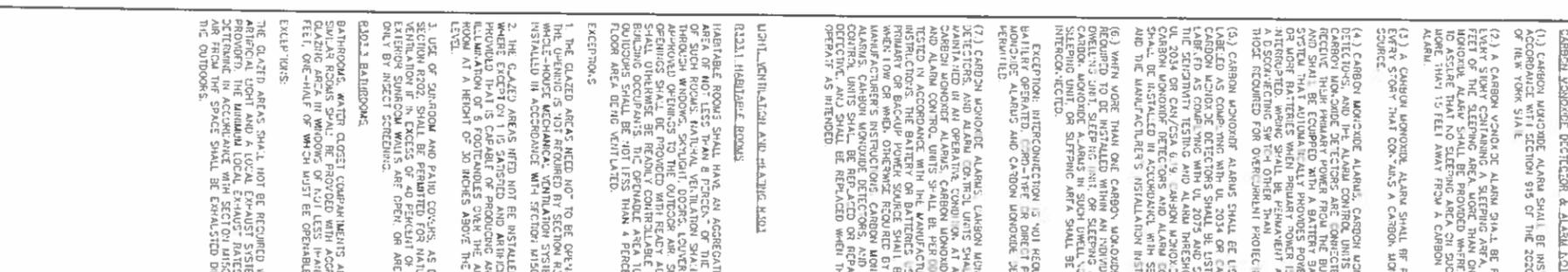
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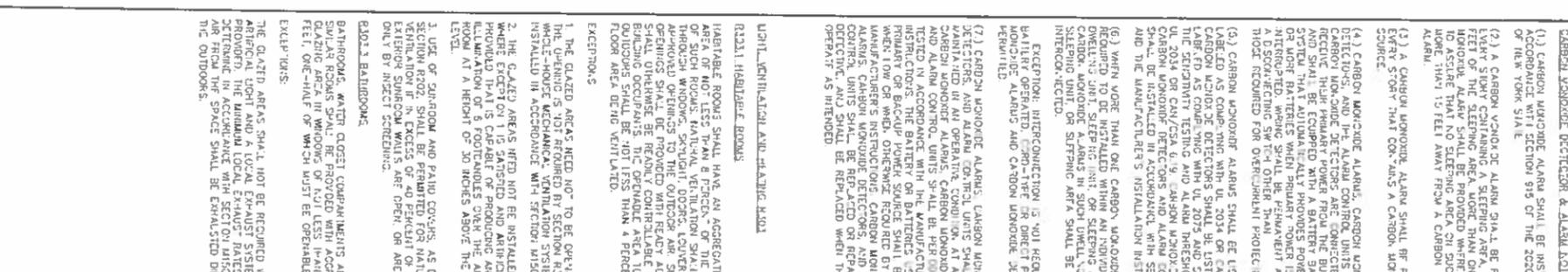
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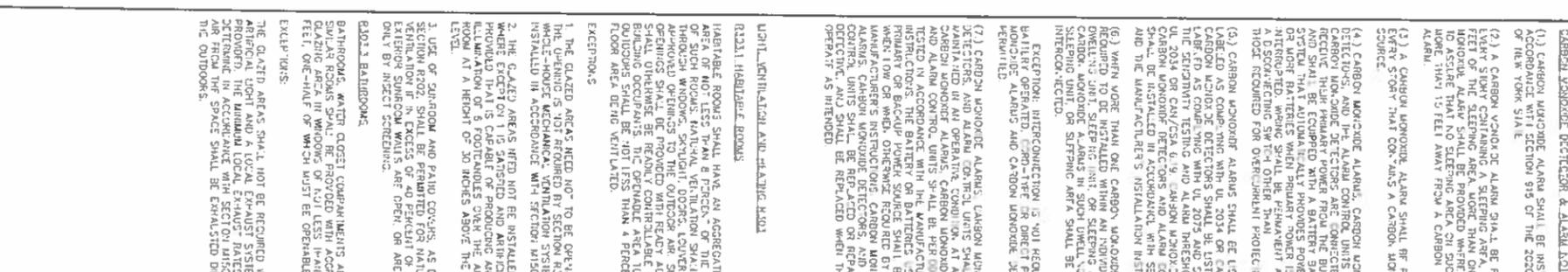
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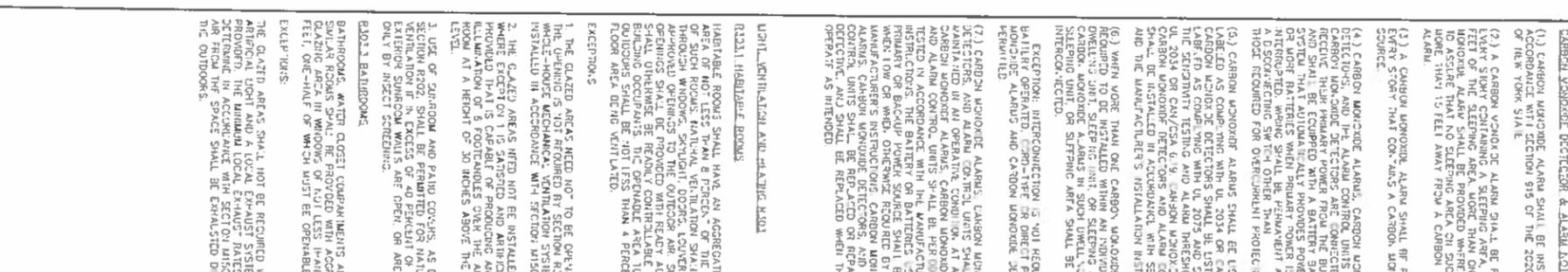
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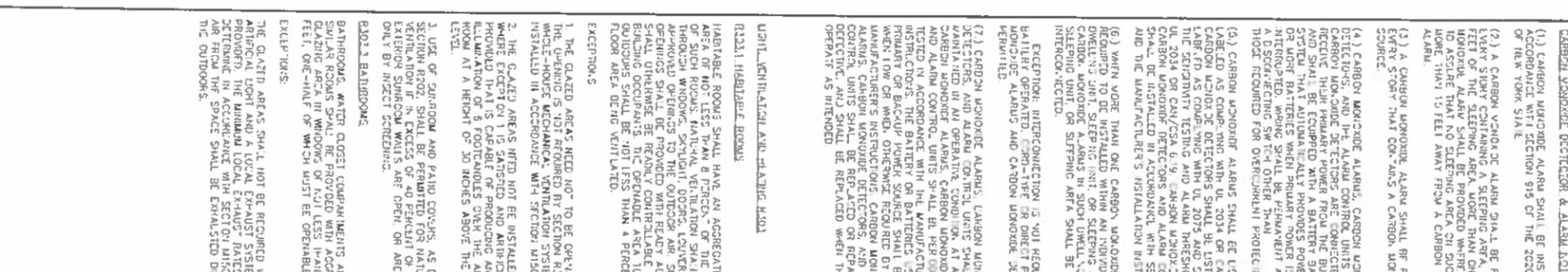
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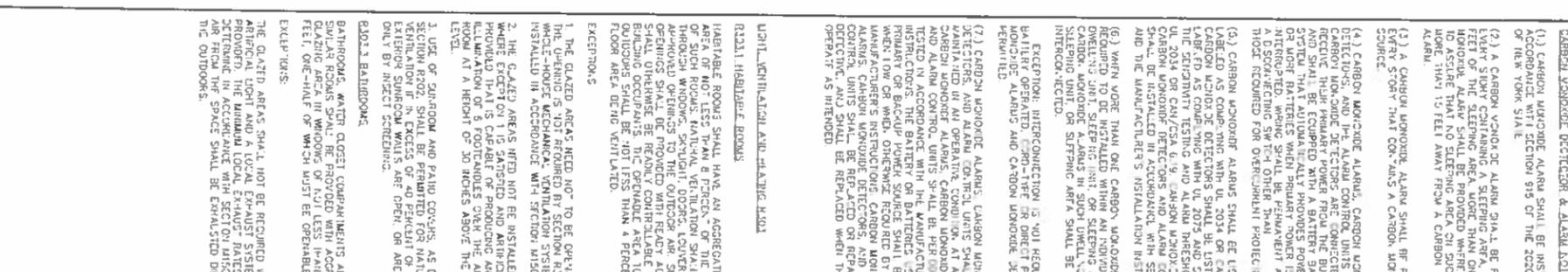
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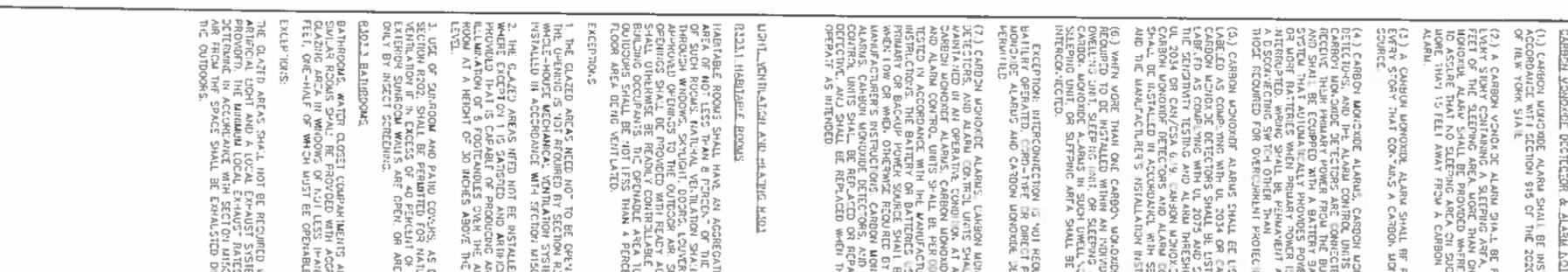
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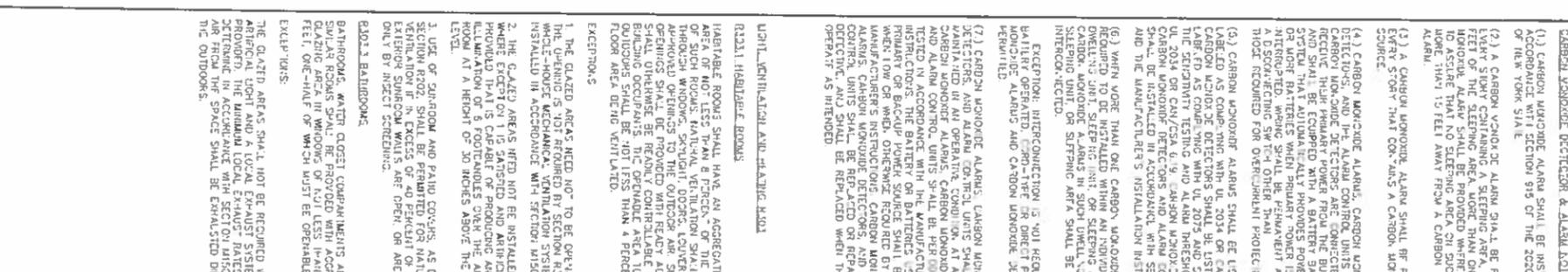
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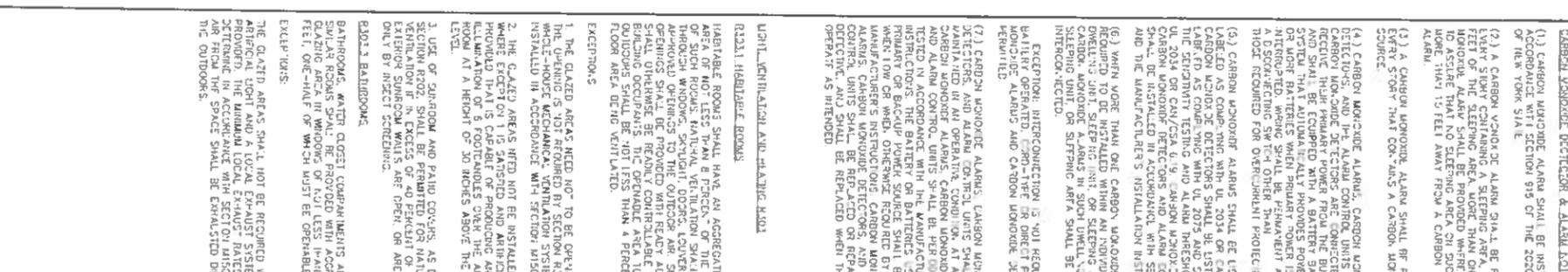
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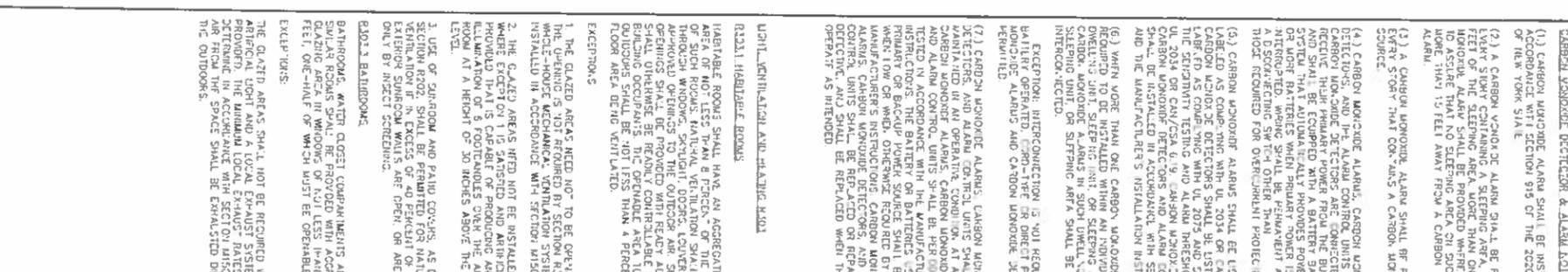
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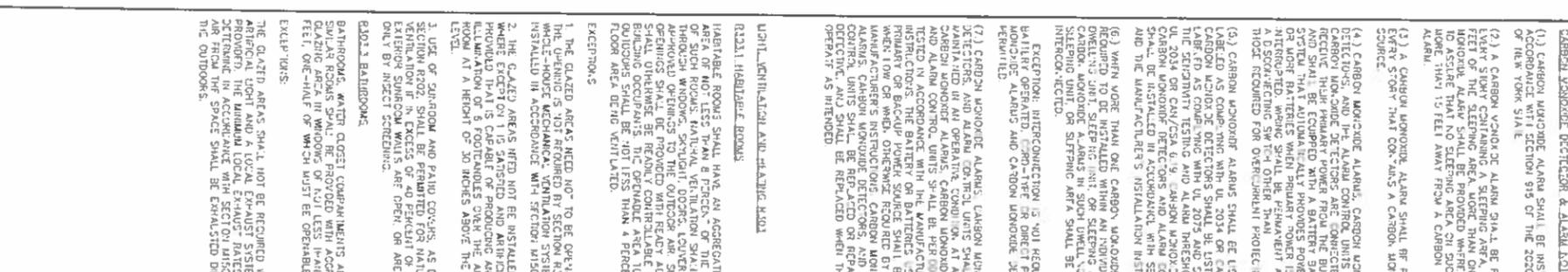
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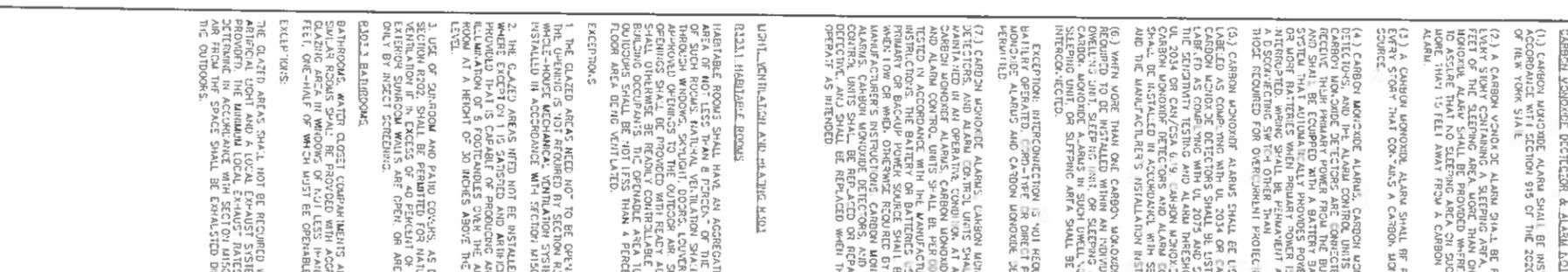
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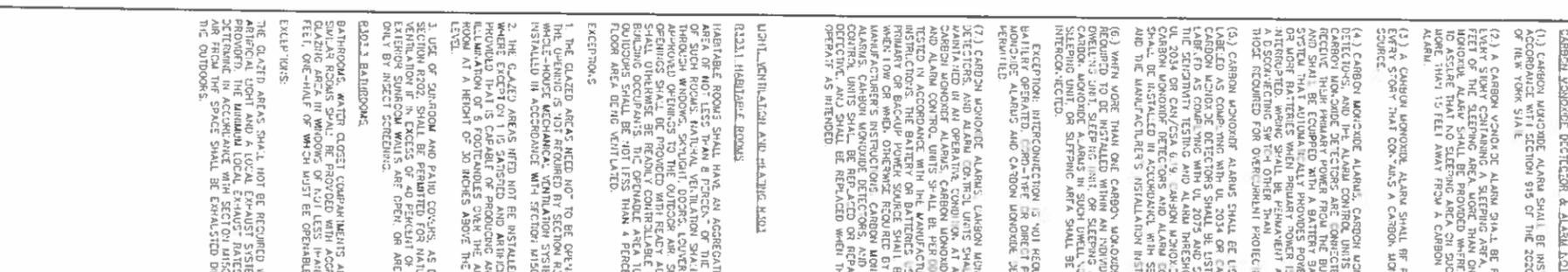
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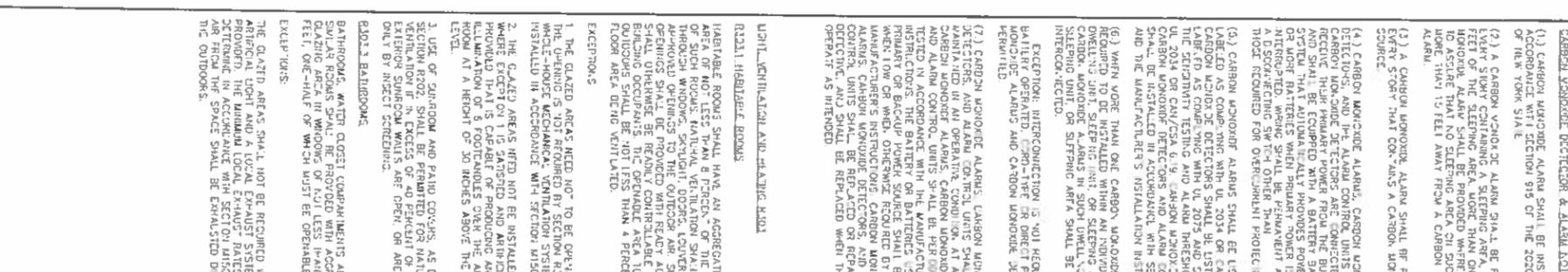
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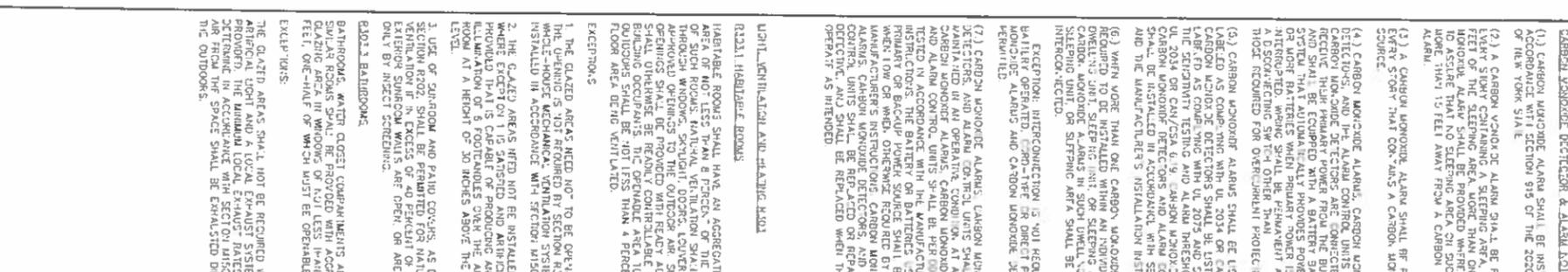
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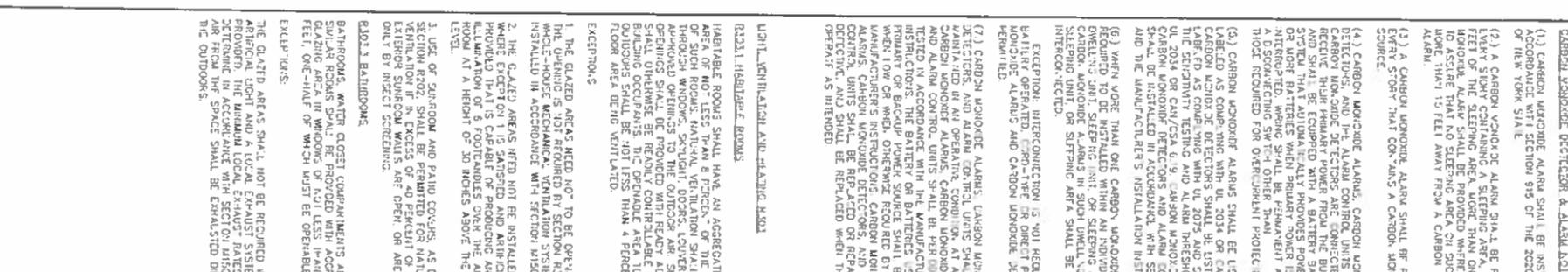
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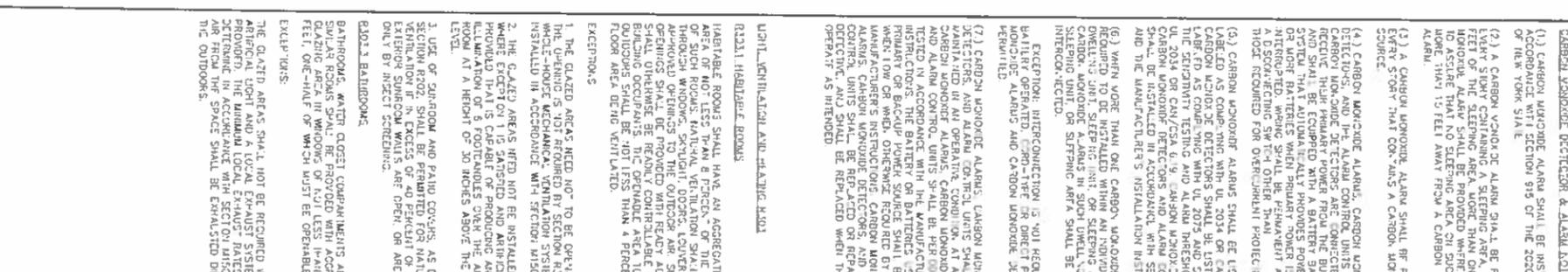
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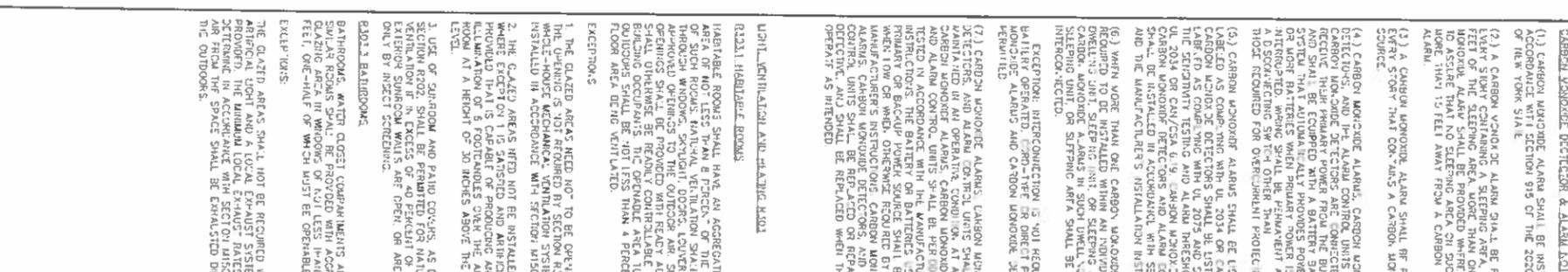
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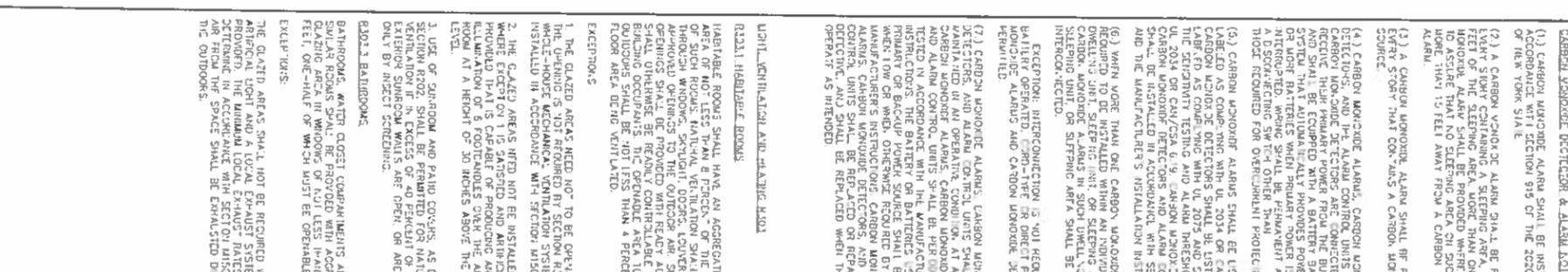
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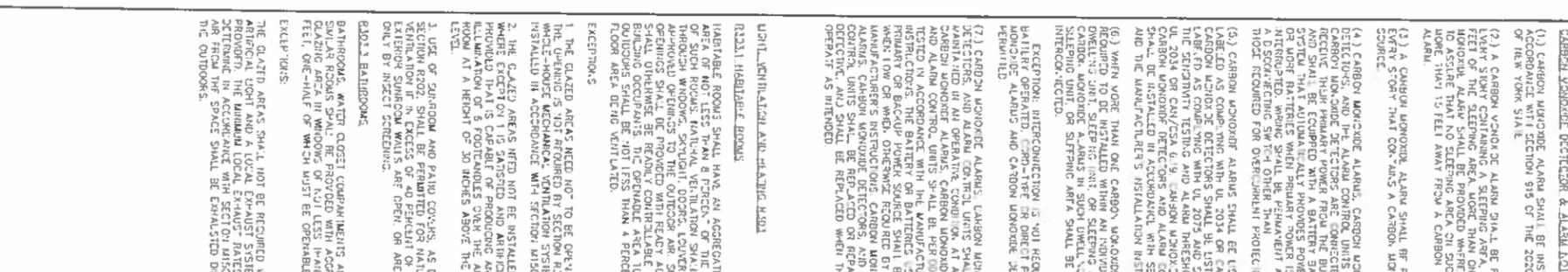
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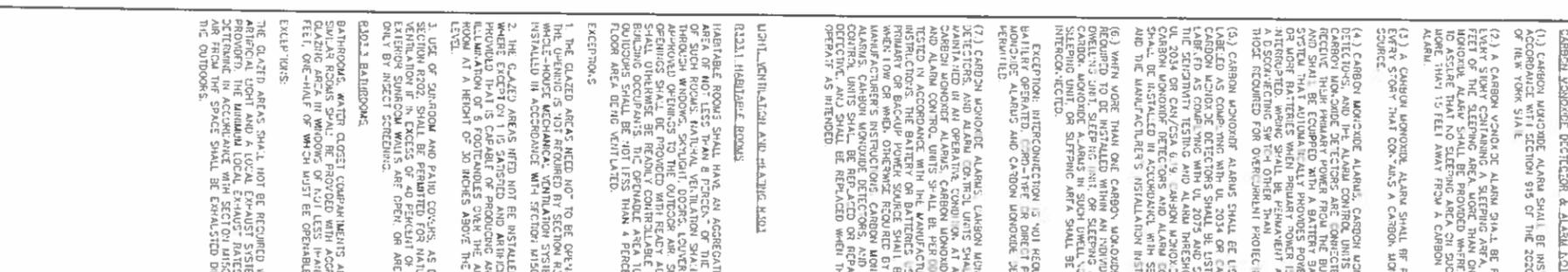
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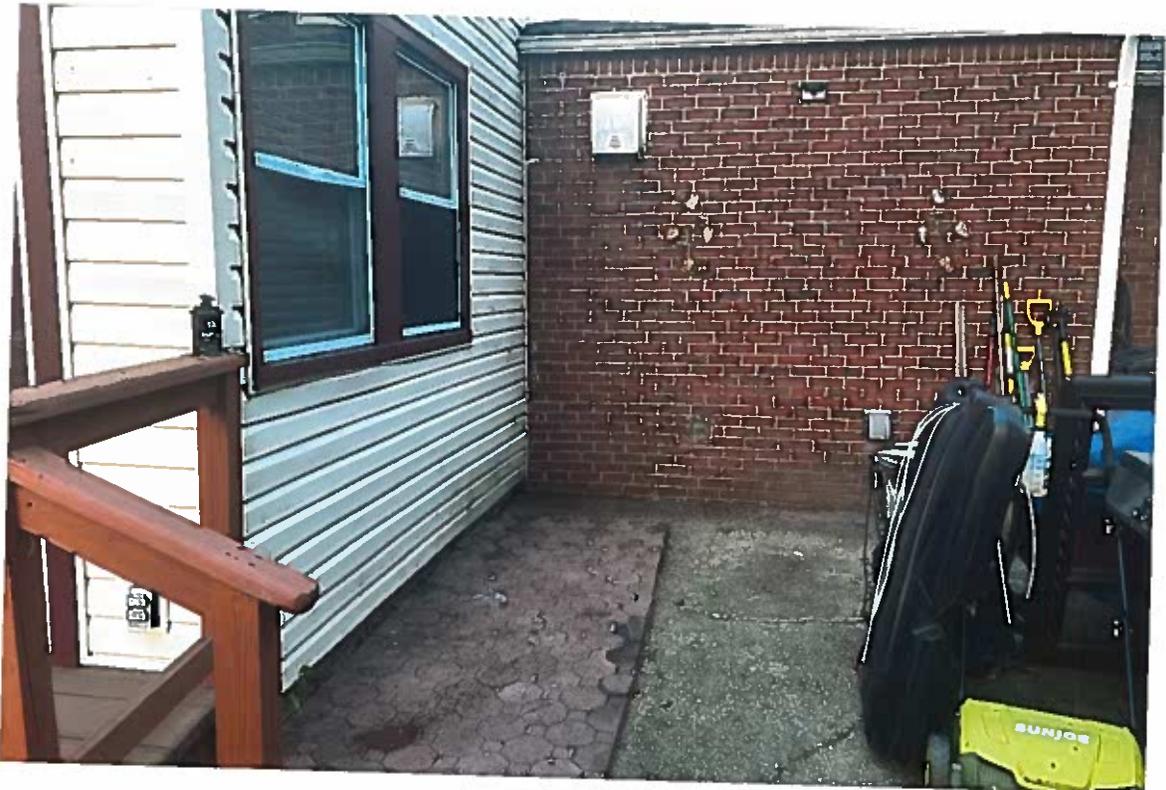


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CELLAR FLOOR PLAN









Application Date: 5/23/23
Fees Paid: \$22500

SP# 3640

**INCORPORATED VILLAGE OF FREEPORT
SITE PLAN REVIEW APPLICATION
PLANNING BOARD**

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 143 Lillian Ave Freeport **ZONING DISTRICT** Res A
SECTION 55 **BLOCK** 372 **LOT** 114 **LOT SIZE:** 6,250 ft²

| <input type="checkbox"/> TENANT APPLICANT <input type="checkbox"/> LESSEE | PROPERTY OWNER |
|--|---|
| Name: <u>Rockefeller Ulysse</u> | Name: <u>Rockefeller Ulysse</u> |
| Address: <u>143 Lillian Ave Freeport NY 11520</u> | Address: <u>143 Lillian Ave Freeport NY 11520</u> |
| Telephone #: <u>(516)782-7163</u> | Telephone #: <u>(516)782-7163</u> |

Architect
Attorney Name: David Higuera Address: 280 Main St Farmingdale NY 11735 Suite 23
(optional) Phone #: (631) 484-3390

Present Land Use: _____ **Proposed Land Use:** _____

Description of Proposed Work: One story (18' x 19') rear addition bedroom

I request a preliminary meeting: _____ YES NO

I request a waiver of the public hearing and hereby certify the following:
A. The subject property is zoned Residence A or Residence AA.
B. The proposed construction is not a new building or dwelling.
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.

Rockefeller Ulysse YES NO
4/28/23
DATE

Sworn to before me this 28th day of April, 2023
David Higuera
Notary Public
DARLENE D. GLASPER
Notary Public, State of New York
No. 01CL6175334
Qualified in Suffolk County
Commission Expires October 9 2023

Property Owner's Consent:
I, Rockefeller Ulysse am (are) the owner(s) of the subject property and consent to the filing of this application.

Rockefeller Ulysse
PROPERTY OWNER'S SIGNATURE *
Sworn to before me this 11th day of April, 2023
Monique Chior
Notary Public



FOR VILLAGE USE ONLY

| | |
|---|---|
| Site Plan Public Hearing Required: _____ YES _____ NO | Date of Hearing: _____ Date of Decision: _____ |
| Village Clerk's Signature: _____ | Approved _____ Denied _____ Date: _____ |
| Planning Board Signature: _____ | Date: _____ |



INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

ROBERT T. KENNEDY
MAYOR

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

May 22, 2023
SITE PLAN LETTER

Rockefeller Ulysse
143 Lillian Avenue
Freeport, NY 11520

RE: 143 Lillian Ave Freeport, NY
Zoning District: Res A Sec 55 Blk 372 Lot 114
Building Permit Application #20233268
Description: Construct a 18'x19' extension for a new bathroom and bedroom

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the VILLAGE CLERK'S OFFICE at 377-2300.

Very truly yours,

Sergio A. Mauras

Sergio A. Mauras
Superintendent of Buildings
/cd
Encl.

c: Village Clerk
David Higueta, R.A.

VILLAGE OF FREEPORT, NY
CLERK'S OFFICE

2023 MAY 23 A 11:34

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ZBA Approval Needed: Yes ___ No X

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project :

Permit Applications 20233268

Location: 143 Lillian Avenue, Freeport, NY

Applicant: Rockefeller Ulysse

Description: Construct a 18'x19' extension for a new bathroom and bedroom

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) _____

B) Possible environment effects identified:
(only if positive determination)

Dated: May 22, 2023

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Sergio A. Mauras

Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

| | | | |
|--|--|--|--|
| Part 1 - Project and Sponsor Information | | | |
| Name of Action or Project: <i>Proposed Rear addition. Ulysse Rockefeller</i> | | | |
| Project Location (describe, and attach a location map): <i>Proposed (18 x 19) approx. rear addition</i> | | | |
| Project Location (describe, and attach a location map): <i>143 Lillian Ave, corner w/ Union street</i> | | | |
| Brief Description of Proposed Action: <i>A proposed rear addition to existing dwelling for new bedroom and add shower to existing first floor bathroom.</i> | | | |
| Name of Applicant or Sponsor: <i>Ulysse Rockefeller</i> | | Telephone: <i>516 782-7163</i> | |
| | | E-Mail: <i>rockefellerulysse@gmail.com</i> | |
| Address: <i>143 Lillian Avenue</i> | | | |
| City/PO: <i>Freeport</i> | | State: <i>NY</i> | Zip Code: <i>11520</i> |
| 1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2. | | | NO <input checked="" type="checkbox"/> YES <input type="checkbox"/> |
| 2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: <i>Building Department</i> | | | NO <input type="checkbox"/> YES <input checked="" type="checkbox"/> |
| 3.a. Total acreage of the site of the proposed action? | | <i>0.14</i> acres | |
| b. Total acreage to be physically disturbed? | | <i>0.008</i> acres | |
| c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? | | <i>none</i> acres | |
| 4. Check all land uses that occur on, adjoining and near the proposed action. | | | |
| <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): <input type="checkbox"/> Parkland | | | |

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VILLAGE OF FREEPORT
MAY 23 11:34 AM '07

| | | | |
|--|-------------------------------------|-------------------------------------|--------------------------|
| 5. Is the proposed action, a. A permitted use under the zoning regulations? | NO | YES | N/A |
| | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| b. Consistent with the adopted comprehensive plan? | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 6. Is the proposed action consistent with the predominant character of the existing built or natural landscape? | NO | YES | |
| | <input type="checkbox"/> | <input checked="" type="checkbox"/> | |
| 7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____ | NO | YES | |
| | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| 8. a. Will the proposed action result in a substantial increase in traffic above present levels? | NO | YES | |
| | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| b. Are public transportation service(s) available at or near the site of the proposed action? | <input type="checkbox"/> | <input checked="" type="checkbox"/> | |
| c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action? | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| 9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ | NO | YES | |
| | <input type="checkbox"/> | <input checked="" type="checkbox"/> | |
| 10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing potable water: _____ | NO | YES | |
| | <input type="checkbox"/> | <input checked="" type="checkbox"/> | |
| 11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing wastewater treatment: <u>Municipal sewer</u> | NO | YES | |
| | <input type="checkbox"/> | <input checked="" type="checkbox"/> | |
| 12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places? | NO | YES | |
| | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| b. Is the proposed action located in an archeological sensitive area? | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| 13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? | NO | YES | |
| | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| 14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban | | | |
| 15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered? | NO | YES | |
| | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| 16. Is the project site located in the 100 year flood plain? | NO | YES | |
| | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| 17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: <u>Downspout to rear yard</u> | NO | YES | |
| | <input type="checkbox"/> | <input checked="" type="checkbox"/> | |
| | <input type="checkbox"/> | <input checked="" type="checkbox"/> | |

| | | |
|---|-------------------------------------|--------------------------|
| 18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ | NO | YES |
| _____ | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ | NO | YES |
| _____ | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ | NO | YES |
| _____ | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE | | |
| Applicant/sponsor name: <u>Rochefort Ulysse</u> | Date: <u>2/13/23</u> | |
| Signature: <u>Rochefort Ulysse</u> | | |

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

| | No, or small impact may occur | Moderate to large impact may occur |
|--|-------------------------------|------------------------------------|
| 1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations? | <input type="checkbox"/> | <input type="checkbox"/> |
| 2. Will the proposed action result in a change in the use or intensity of use of land? | <input type="checkbox"/> | <input type="checkbox"/> |
| 3. Will the proposed action impair the character or quality of the existing community? | <input type="checkbox"/> | <input type="checkbox"/> |
| 4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)? | <input type="checkbox"/> | <input type="checkbox"/> |
| 5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway? | <input type="checkbox"/> | <input type="checkbox"/> |
| 6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities? | <input type="checkbox"/> | <input type="checkbox"/> |
| 7. Will the proposed action impact existing: a. public / private water supplies? | <input type="checkbox"/> | <input type="checkbox"/> |
| b. public / private wastewater treatment utilities? | <input type="checkbox"/> | <input type="checkbox"/> |
| 8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources? | <input type="checkbox"/> | <input type="checkbox"/> |
| 9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)? | <input type="checkbox"/> | <input type="checkbox"/> |

RECEIVED

| | No, or small impact may occur | Moderate to large impact may occur |
|---|-------------------------------|------------------------------------|
| 10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems? | <input type="checkbox"/> | <input type="checkbox"/> |
| 11. Will the proposed action create a hazard to environmental resources or human health? | <input type="checkbox"/> | <input type="checkbox"/> |

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

| | |
|--|--|
| <input type="checkbox"/> | Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required. |
| <input type="checkbox"/> | Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts. |
| _____ | _____ |
| Name of Lead Agency | Date |
| _____ | _____ |
| Print or Type Name of Responsible Officer in Lead Agency | Title of Responsible Officer |
| _____ | _____ |
| Signature of Responsible Officer in Lead Agency | Signature of Preparer (if different from Responsible Officer) |

RECEIVED
 2023 MAY 23 4 11:25
 PLANNING OFFICE
 STATE OF NEW YORK
 DEPARTMENT OF ENVIRONMENTAL CONSERVATION

143 Lillian Ave, Freeport





Ulyse Residence

143 Lillian Ave

Freeport, NY 11520

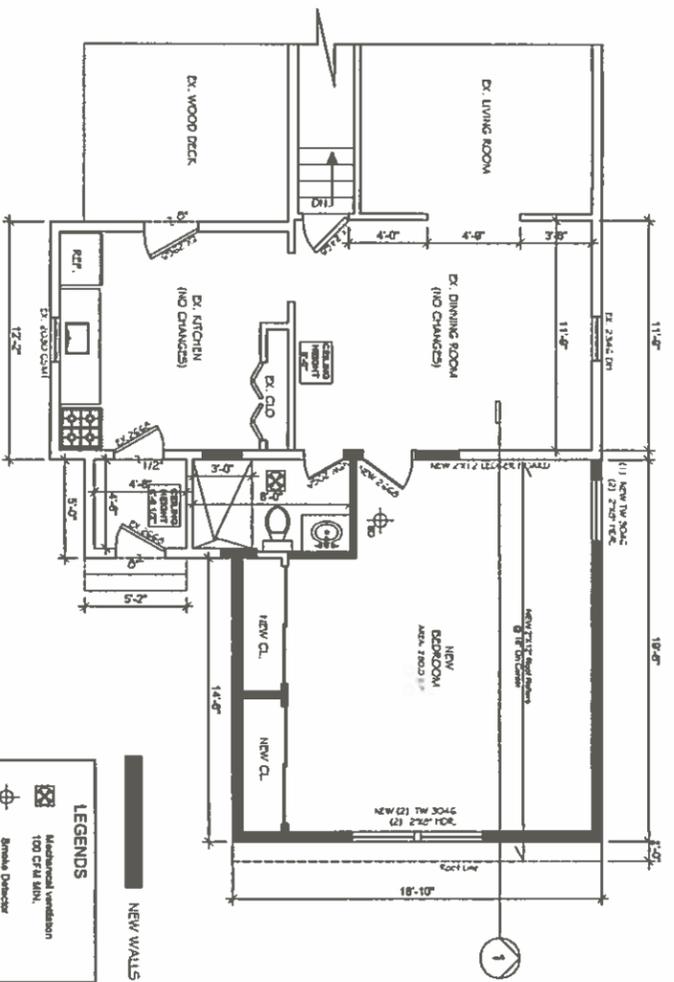
Rear and sides view.







19 Union St.

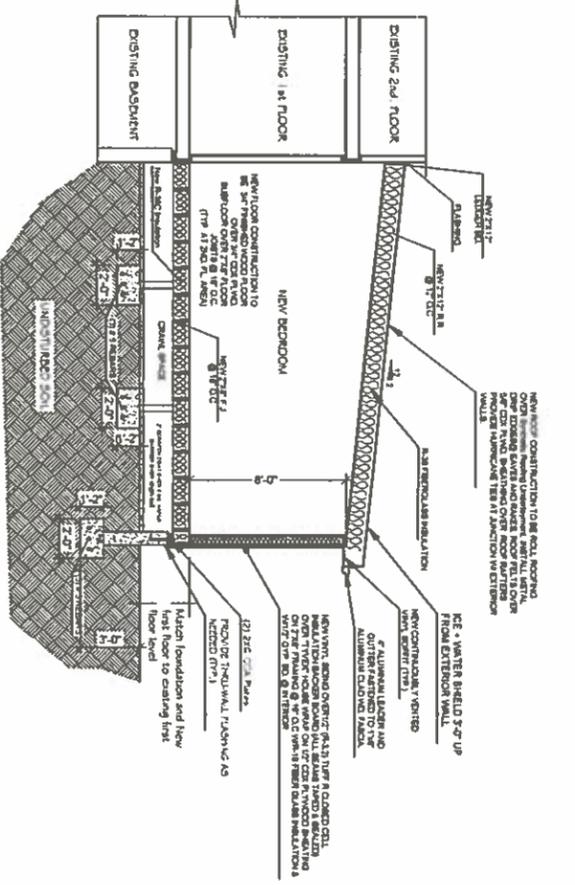


PROPOSED ADD. FIRST FLOOR PLANS
SCALE: 1/4" = 1'-0"

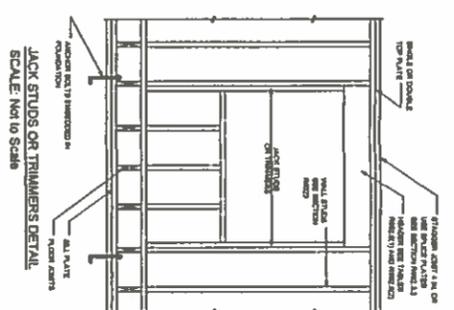
LEGENDS

- Metallized Ventilation 100 CFM BBU
- Smoke Detector
- Combo Carbon Monoxide and Smoke Detector Unit
- NEW WALLS

NOTE:
FROM THE SPACE AND HAVE THE STATION SMOKE DETECTORS IN THE FOLLOWING LOCATIONS:
1. IN EACH SLEEPING ROOM.
2. OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENT/CELLAR AND BUNKER/BASEMENT WITH MORE THAN ONE SMOKE DETECTOR IS REQUIRED WITHIN ONE DWELLING UNIT.
4. THE SMOKE DETECTOR SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 72 AND IBCO SECTION R317.
5. ALL UNITS SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 72 AND IBCO SECTION R317.



PROPOSED ADDITION SIDE SECTION "1"
SCALE: 1/4" = 1'-0"



HAB. SPACE COMFORMING WITH: SECTION R-303.1 " LIGHT & VENTILATION USE " USING ANDERSEN WINDOWS

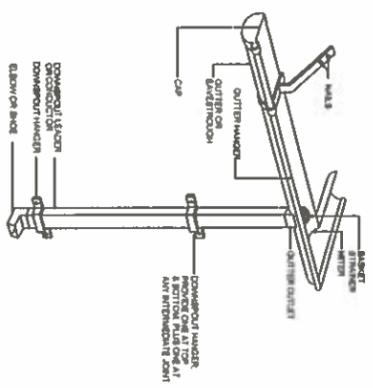
| HABITABLE SPACE | TOTAL SQ. FT. | 8' F. LIGHT RECD | | 8' F. VENT RECD | | 8' F. EGRESS RECD | |
|-----------------|---------------|------------------|------|-----------------|------|-------------------|-------|
| | | PROPOSED | RECD | PROPOSED | RECD | PROPOSED | RECD |
| NEW BEDROOM | 280.0 | 22.4 | 99.3 | 11.2 | 54.8 | 5.7 | 20.0* |

WINDOW NOTE:
1. ALL WINDOWS TO BE EQUAL OR LARGER AS PER BUILDING CODE.
2. ALL WINDOWS SHALL BE PERMITTED TO BE OPEN AND CLOSED.
3. ALL WINDOWS SHALL BE PERMITTED TO BE OPEN AND CLOSED.
4. ALL WINDOWS SHALL BE PERMITTED TO BE OPEN AND CLOSED.
5. ALL WINDOWS SHALL BE PERMITTED TO BE OPEN AND CLOSED.
6. ALL WINDOWS SHALL BE PERMITTED TO BE OPEN AND CLOSED.
7. ALL WINDOWS SHALL BE PERMITTED TO BE OPEN AND CLOSED.
8. ALL WINDOWS SHALL BE PERMITTED TO BE OPEN AND CLOSED.
9. ALL WINDOWS SHALL BE PERMITTED TO BE OPEN AND CLOSED.
10. ALL WINDOWS SHALL BE PERMITTED TO BE OPEN AND CLOSED.

WINDOW SCHEDULE USING ANDERSEN WINDOWS SERIES 100 & 400

| MODEL | DIMENSIONS | ADDITIONAL'S | UNIT QUANTITY | Sq. Ft. LIGHT | Sq. Ft. VENT | Sq. Ft. EGRESS |
|----------------|-----------------------|-----------------------|---------------|---------------|--------------|----------------|
| ANDERSEN 10004 | 3'-1 5/8" X 4'-8 7/8" | Short Fractional Code | 3 | 10.31 | 5.73 | 5.7 |

CONTRACTOR TO VERIFY WINDOW QUANTITY PRIOR ORDERING



GUTTER DETAIL
SCALE: N.T.S.

RESPECT SOFTWARE Version 4.7.3 Compliance Certificate

Project: 303.1 HAB. SPACE COMFORMING WITH: SECTION R-303.1 " LIGHT & VENTILATION USE " USING ANDERSEN WINDOWS

Model: ANDERSEN 10004

Dimensions: 3'-1 5/8" X 4'-8 7/8"

Unit Quantity: 3

Sq. Ft. Light: 10.31

Sq. Ft. Vent: 5.73

Sq. Ft. Egress: 5.7

Contractor to verify window quantity prior ordering

| | |
|--------------|------------|
| DATE | 02-20-2023 |
| SCALE | AS NOTED |
| DRAWN BY | DAVID H |
| REVISED BY | AMC |
| SHEET NUMBER | A-3 |

| REVISIONS | No. | DATE | DESCRIPTION |
|-----------|-----|------|-------------|
| | | | |
| | | | |
| | | | |

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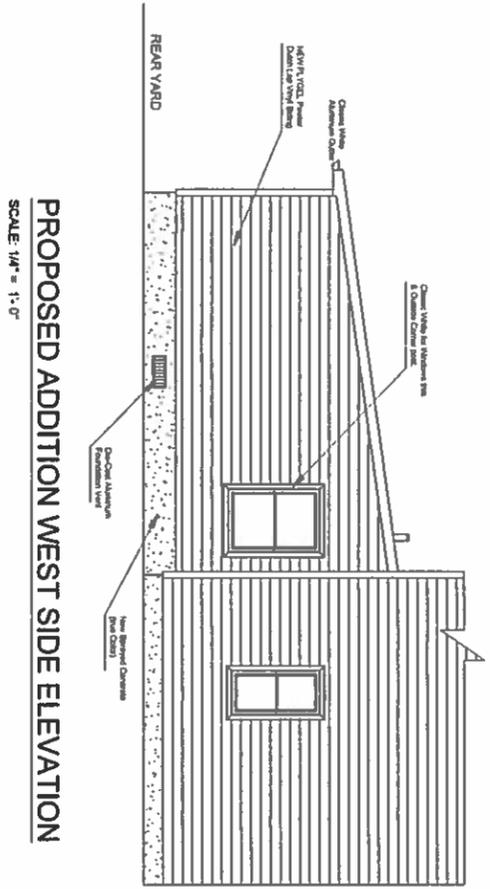
280 MAIN STREET SUITE 23
FARMINGDALE NY 11735
(631) 484-3300 FAX: (631) 586-3845
www.edadison.com

ROCKEFELLER RESIDENCE

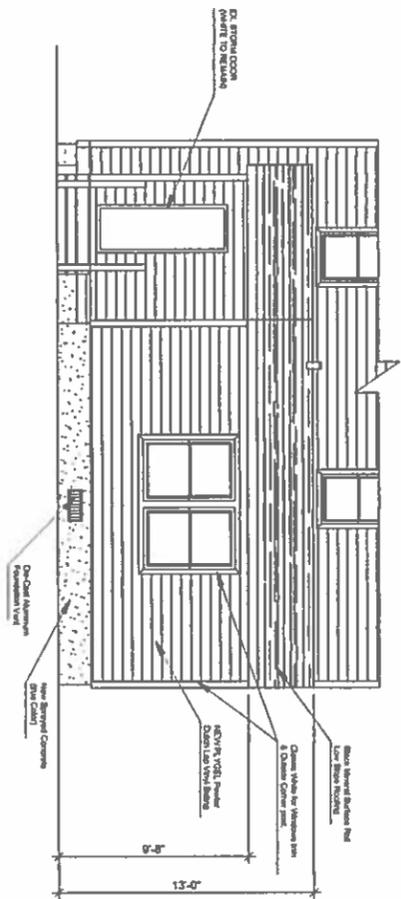
143 LULLIAN AVE.
FREEPORT, NY 11520

PROJECT SHOWN

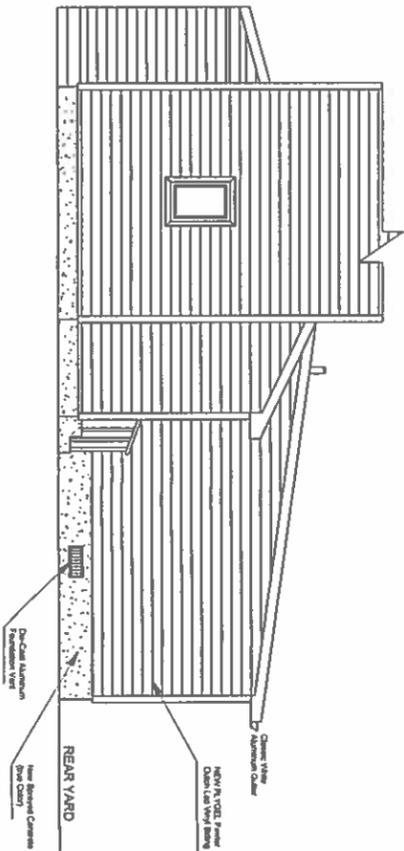
PROPOSED REAR ADDITION & INTERIOR ALTERATION.



PROPOSED ADDITION WEST SIDE ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED ADDITION REAR ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED ADDITION EAST SIDE ELEVATION
SCALE: 1/4" = 1'-0"

| | |
|--------------|------------|
| DATE | 02-20-2023 |
| SCALE | AS NOTED |
| DRAWN BY | DAVID H |
| REVISED BY | AMC |
| SHEET NUMBER | A-4 |

| REVISIONS | | |
|-----------|------|-------------|
| △ No | DATE | DESCRIPTION |
| | | |
| | | |
| | | |
| | | |

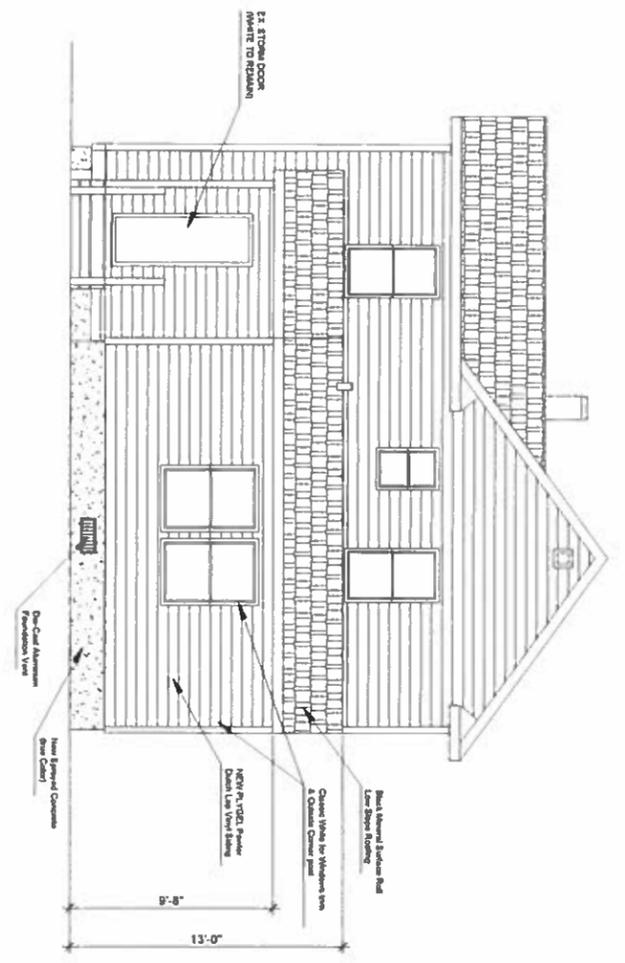
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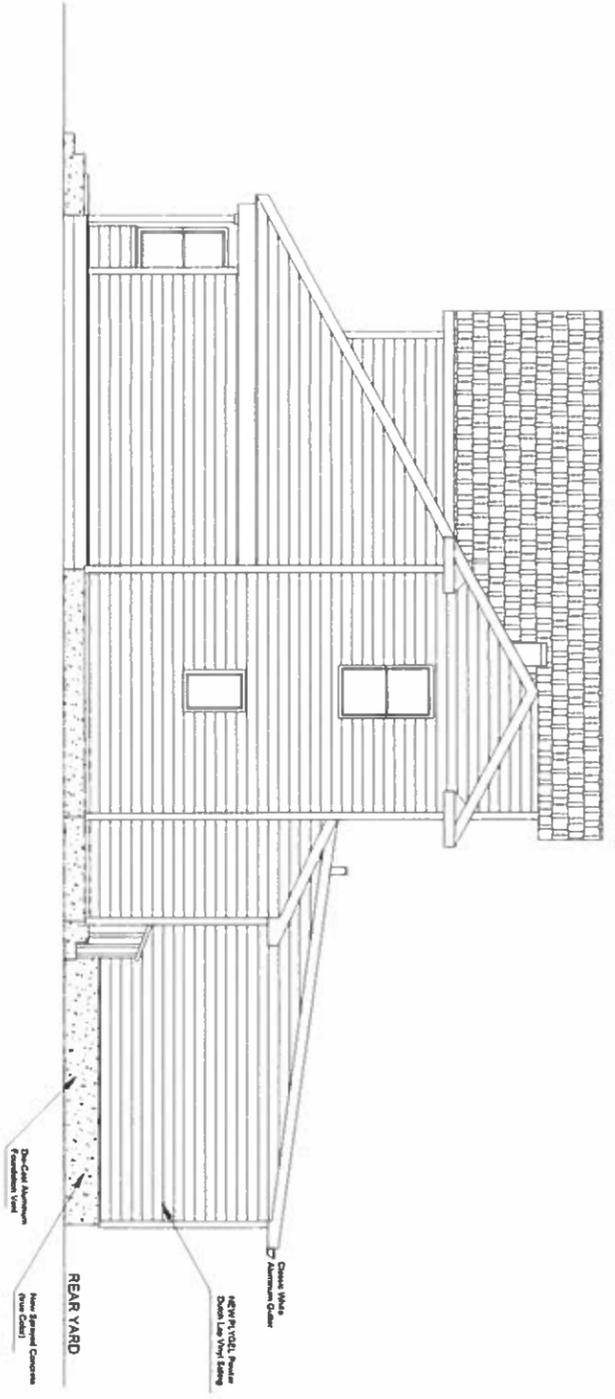
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280 MAIN STREET SUITE 23
FARMINGDALE NY 11735
(831) 464 3300 FAX (516) 586 3845
www.adoltdesign.com

ROCKEFELLER RESIDENCE
143 LILLIAN AVE.
FREEPORT, NY 11520

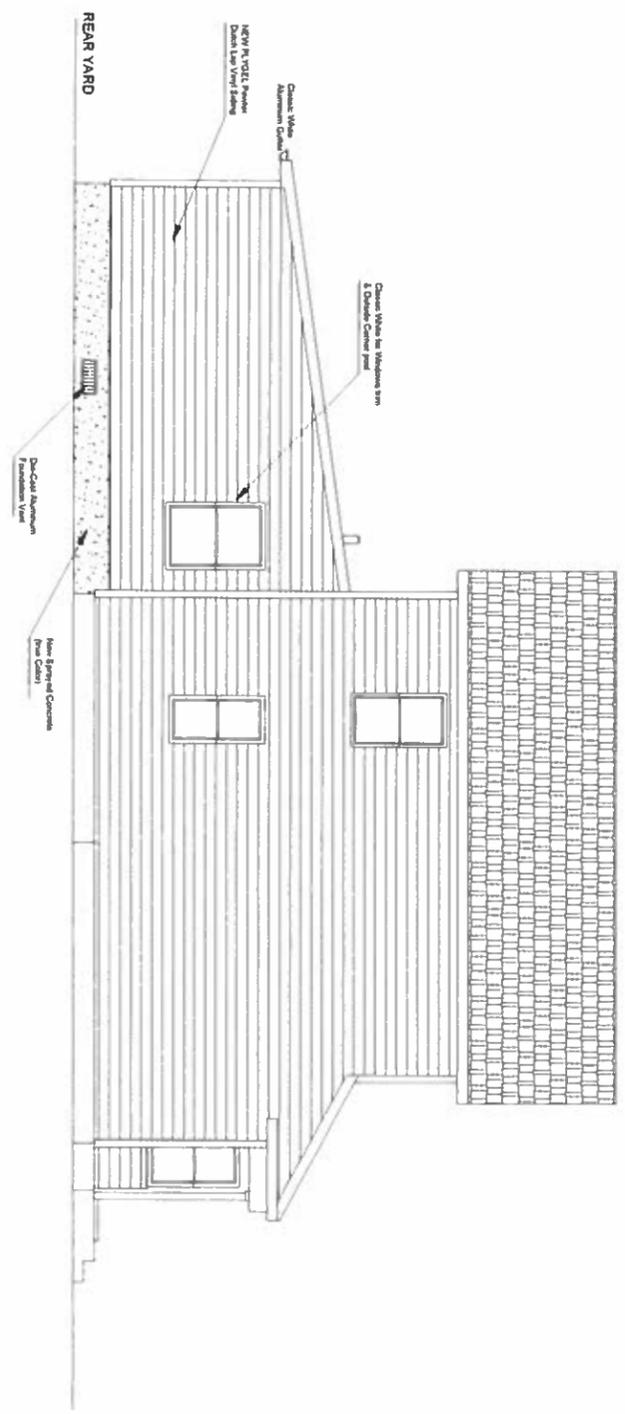
PROJECT SHOWN:
PROPOSED REAR ADDITION
& INTERIOR ALTERATION.



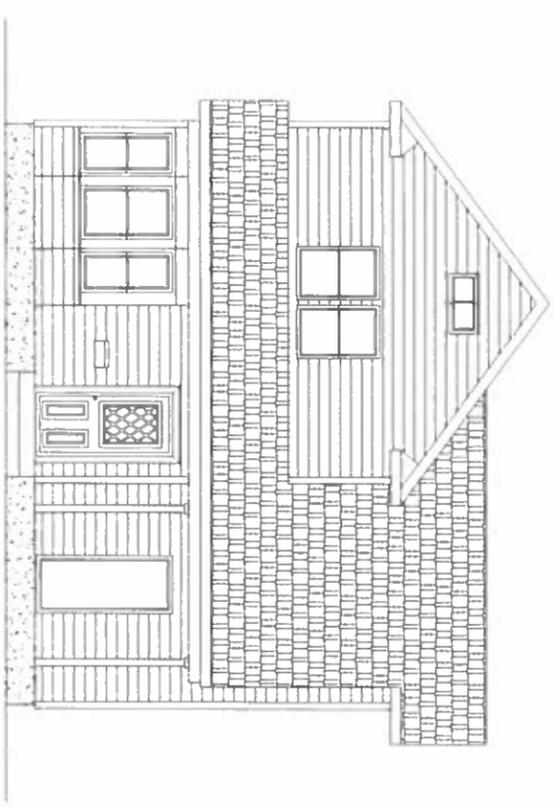
PROPOSED ADDITION REAR ELEVATION
SCALE 1/4" = 1'-0"



PROPOSED ADDITION EAST SIDE ELEVATION (UNION STREET)
SCALE 1/4" = 1'-0"



PROPOSED ADDITION WEST SIDE ELEVATION
SCALE 1/4" = 1'-0"

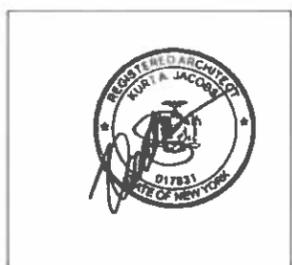


EXISTING HOUSE FRONT ELEVATION
SCALE 1/4" = 1'-0"

| | |
|--------------|------------|
| DATE | 02-20-2023 |
| SCALE | AS NOTED |
| DRAWN BY | DAVID H |
| REVISED BY | AMC |
| SHEET NUMBER | A-4 |

| REVISIONS | | |
|-----------|------|-------------|
| No | DATE | DESCRIPTION |
| | | |
| | | |
| | | |
| | | |
| | | |

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FARMINGDALE NY 11735
(631) 484-3390 FAX (516) 586-3845
www.adsolutionsllc.com

ROCKEFELLER RESIDENCE

143 LILLIAN AVE.
FREEPORT, NY 11520

PROJECT SHOWN:

PROPOSED REAR ADDITION
& INTERIOR ALTERATION

Application Date: _____
Fees Paid: _____

SP# 3642

**INCORPORATED VILLAGE OF FREEPORT
SITE PLAN REVIEW APPLICATION
PLANNING BOARD**

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 64 PARSONS AVE ZONING DISTRICT Residence A
SECTION 55 BLOCK 202 LOT 583 LOT SIZE: _____

| <input type="checkbox"/> TENANT | <input checked="" type="checkbox"/> APPLICANT | <input type="checkbox"/> LESSEE | <u>PROPERTY OWNER</u> | |
|--|---|---------------------------------|----------------------------------|--|
| Name: <u>Caroline Eustack</u> | | | Name: <u>Caroline Eustack</u> | |
| Address: <u>64 PARSONS AVE</u> <u>Freeport NY 11520</u> | | | Address: <u>64 PARSONS AVE</u> | |
| Telephone #: <u>516 444 9508</u> | | | Telephone #: <u>516 711 7719</u> | |

Attorney Name: Contractor Mr. Michael Stokus Address: _____
(optional) Phone #: 309 Buffalo

Present Land Use: dynolaphurst ny 11957 Proposed Land Use: Residence
Residence

Description of Proposed Work: construct a second driveway
18 x 24 ft

I request a preliminary meeting: _____ YES NO

I request a waiver of the public hearing and hereby certify the following:
A. The subject property is zoned Residence A or Residence AA.
B. The proposed construction is not a new building or dwelling.
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.
_____ YES NO

[Signature]
APPLICANT'S SIGNATURE
Sworn to before me this 30 day of MAY 2023
Peggy M. Lester
Notary Public
Notary Public, State of New York
No. 01LE6293122
Qualified in Nassau County
Commission Expires Nov. 25, 2025

5-30-23
DATE

RECEIVED
2023 MAY 30
CLERK'S OFFICE
VILLAGE OF FREEPORT

[Signature]
Property Owner's Consent:
I, Caroline Eustack am (are) the owner(s) of the subject property and consent to the filing of this application.

[Signature]
PROPERTY OWNER'S SIGNATURE
Sworn to before me this 30th day of MAY 2023
Peggy M. Lester
Notary Public
Notary Public, State of New York
No. 01LE6293122
Qualified in Nassau County
Commission Expires Nov. 25, 2025

5/30/23
DATE

FOR VILLAGE USE ONLY

Site Plan Public
Hearing Required: _____ YES _____ NO
Date of Hearing: _____
Date of Decision: _____
Village Clerk's Signature: _____ Approved _____ Denied
Date: _____

SUBMISSION CHECKLIST

| YES | NO | N/A | |
|-------|-------|-------|--|
| _____ | _____ | _____ | 1. The Building Department shall provide the applicant with a G.I.S. survey of all parcels within a five hundred (500) foot radius of the subject parcel. (Required for new construction/subdivision, only). |
| _____ | _____ | _____ | 2. The applicant shall provide photographs of all parcels within a three hundred (300) foot radius of the subject parcel, with identifying comments on said photographs. |
| _____ | _____ | _____ | 3. A site plan shall include the following information, plotted as necessary to a scale of not more than twenty (20) feet to one (1) inch: |
| _____ | _____ | _____ | a. Title of drawing, including name and address of applicant. |
| _____ | _____ | _____ | b. North point, scale, and date. |
| _____ | _____ | _____ | c. Boundaries of the project. |
| _____ | _____ | _____ | d. Existing natural features, such as watercourse, waterbodies, wetlands, wooded areas, and individual large trees on the subject property. Features to be retained should be noted. |
| _____ | _____ | _____ | e. Floodplain boundaries as determined by the Federal Emergency Management Agency. |
| _____ | _____ | _____ | f. Location of proposed land and water uses and their areas in acres and location, together with the proposed use, dimensions, height and architectural features of all buildings and other structures. |
| _____ | _____ | _____ | g. Location of outdoor storage and description of materials to be stored. |
| _____ | _____ | _____ | h. Location of all existing or proposed site improvements including street, drains, culverts, retaining walls, fences, docks and easements, whether public or private. |
| _____ | _____ | _____ | i. Location and description of all proposed waterfront public access/recreation provisions. |
| _____ | _____ | _____ | j. Description of sewage disposal and water supply systems and locations of such facilities. |
| _____ | _____ | _____ | k. Location and proposed development of buffer areas and other landscaping; the general landscaping plan and planting schedule. |
| _____ | _____ | _____ | l. Location of all parking and loading area, internal circulation pattern, and ingress and egress drives. |
| _____ | _____ | _____ | m. Provision for pedestrian and patron access, including public and private sidewalks, walkways and docks. |
| _____ | _____ | _____ | n. Location, design and size of all signs and lighting facilities. |
| _____ | _____ | _____ | o. Approximate locations and dimensions of areas proposed for neighborhood parks, playgrounds or other permanent open space. |
| _____ | _____ | _____ | p. Building orientation and site design for energy efficiency and visual quality. |
| _____ | _____ | _____ | q. Location and design of all energy distribution facilities, including electrical, gas, and solar energy. |
| _____ | _____ | _____ | r. Description and location of erosion control measures including proposed location of sediment sink/setting pond and interceptor swales, etc.. |
| _____ | _____ | _____ | s. Location, supporting design data and copies of computations used as a basis for the design capacities and performance of stormwater management facilities. |
| _____ | _____ | _____ | t. Lines and dimensions of all property which is offered, or to be offered for dedication for public use, with the purpose indicated thereon, and of all property that is proposed to be reserved by deed covenant for the common use of the property owners of the development. |
| _____ | _____ | _____ | u. Estimated project construction schedule. |
| _____ | _____ | _____ | v. Record of application for approval status of all necessary permits from federal, state and county officials. |
| _____ | _____ | _____ | w. Identification of any federal, state or county permits required for project execution. |
| _____ | _____ | _____ | x. The Planning Board may require such additional information as it may deem necessary for a complete assessment of the project pursuant to this chapter. |



INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520

(516) 377-2242

FAX (516) 377-2493

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

ROBERT T. KENNEDY
MAYOR

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

May 18, 2023
SITE PLAN LETTER

RECEIVED
2023 MAY 30 P 1:42
CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

Carline J. Eustache
64 Parsons Avenue
Freeport, NY 11520

RE: 64 Parsons Avenue, Freeport, NY
Zoning District: Residence A Sec. 55 Blk. 222 Lot 583
Building Permit Application #20233259
Description: Construct a second driveway (18'x24' gravel driveway)

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the VILLAGE CLERK'S OFFICE at 377-2300.

Very truly yours,

Sergio A. Mauras
Superintendent of Buildings

c/d
encl.
c : Village Clerk

ZBA Approval Needed: Yes No

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project :

Permit Applications 20233259

Location: 64 Parsons Avenue, Freeport, NY

Applicant: Carline J. Eustache

Description: Construct a second driveway (18'x24' driveway)

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

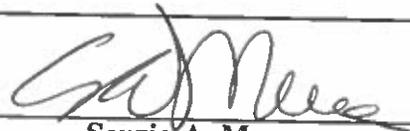
REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A)

B) Possible environment effects identified:
(only if positive determination)

Dated: May 18, 2023


Sergio A. Murras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

RECEIVED
2023 MAY 20 P 1:12
OFFICE OF THE SUPERINTENDENT OF BUILDINGS
VILLAGE OF FREEPORT, NY

RECEIVED

APR 27 2023

617.20 Appendix B Short Environmental Assessment Form

20233259

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information

Name of Action or Project: GRAVEL DRIVEWAY + Cement

Project Location (describe, and attach a location map): WILKINSONS AVE - FREEDOM, N.Y. 11520

Brief Description of Proposed Action: 18x24 TO BE GRAVEL, AND CEMENT ~~BY~~ ^{INSTALL} ~~CEMENT~~

Name of Applicant or Sponsor: Michael Stalke. DHA inspiration Remodeling

Address: 509 Buffalo Ave

City/PO: LindenHurst, I State: N.Y. Zip Code: 11757

Telephone: _____ E-Mail: _____

1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? **NO** YES
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.

2. Does the proposed action require a permit, approval or funding from any other governmental Agency? **NO** YES
If Yes, list agency(s) name and permit or approval:

3.a. Total acreage of the site of the proposed action? _____ acres 43259 FT OF GRAVEL
b. Total acreage to be physically disturbed? _____ acres And DRIVEWAY
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres 24577 OF CEMENT

4. Check all land uses that occur on, adjoining and near the proposed action.
 Urban Rural (non-agriculture) Industrial Commercial Residential (suburban)
 Forest Agriculture Aquatic Other (specify): _____
 Parkland

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VILLAGE OF FREEDOM, N.Y.

| | NO | YES | N/A |
|---|-------------------------------------|-------------------------------------|-------------------------------------|
| 5. Is the proposed action, a. A permitted use under the zoning regulations? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b. Consistent with the adopted comprehensive plan? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 6. Is the proposed action consistent with the predominant character of the existing built or natural landscape? | <input type="checkbox"/> | <input checked="" type="checkbox"/> | |
| 7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____ | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| 8. a. Will the proposed action result in a substantial increase in traffic above present levels? | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| b. Are public transportation service(s) available at or near the site of the proposed action? | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action? | <input type="checkbox"/> | <input checked="" type="checkbox"/> | |
| 9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| 10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing potable water: _____ | <input type="checkbox"/> | <input type="checkbox"/> | |
| 11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____ | <input type="checkbox"/> | <input type="checkbox"/> | |
| 12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places? | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| b. Is the proposed action located in an archeological sensitive area? | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| 13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| 14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban | | | |
| 15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered? | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| 16. Is the project site located in the 100 year flood plain? | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| 17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, identify the discharge: a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES | <input type="checkbox"/> | <input type="checkbox"/> | |

| | | |
|---|-------------------------------------|--------------------------|
| 18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ | NO | YES |
| _____ | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ | NO | YES |
| _____ | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ | NO | YES |
| _____ | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE | | |
| Applicant/sponsor name: _____ | Date: <u>4-17-2023</u> | |
| Signature: <u>Michael Stanton</u> | | |

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 VILLAGE OF FORT...

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

| | No, or small impact may occur | Moderate to large impact may occur |
|--|-------------------------------|------------------------------------|
| 1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations? | <input type="checkbox"/> | <input type="checkbox"/> |
| 2. Will the proposed action result in a change in the use or intensity of use of land? | <input type="checkbox"/> | <input type="checkbox"/> |
| 3. Will the proposed action impair the character or quality of the existing community? | <input type="checkbox"/> | <input type="checkbox"/> |
| 4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)? | <input type="checkbox"/> | <input type="checkbox"/> |
| 5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway? | <input type="checkbox"/> | <input type="checkbox"/> |
| 6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities? | <input type="checkbox"/> | <input type="checkbox"/> |
| 7. Will the proposed action impact existing: | <input type="checkbox"/> | <input type="checkbox"/> |
| a. public / private water supplies? | <input type="checkbox"/> | <input type="checkbox"/> |
| b. public / private wastewater treatment utilities? | <input type="checkbox"/> | <input type="checkbox"/> |
| 8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources? | <input type="checkbox"/> | <input type="checkbox"/> |
| 9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)? | <input type="checkbox"/> | <input type="checkbox"/> |

| | No, or small impact may occur | Moderate to large impact may occur |
|---|-------------------------------|------------------------------------|
| 10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems? | <input type="checkbox"/> | <input type="checkbox"/> |
| 11. Will the proposed action create a hazard to environmental resources or human health? | <input type="checkbox"/> | <input type="checkbox"/> |

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

| | |
|--|--|
| <input type="checkbox"/> | Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required. |
| <input type="checkbox"/> | Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts. |
| _____ | _____ |
| Name of Lead Agency | Date |
| _____ | _____ |
| Print or Type Name of Responsible Officer in Lead Agency | Title of Responsible Officer |
| _____ | _____ |
| Signature of Responsible Officer in Lead Agency | Signature of Preparer (if different from Responsible Officer) |

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VILLAGE OF FREETOWN



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2023 MAY 30 P 1

CLERK'S OFFICE
VILLAGE OF FREEPORT, NY



Inspectors Copy must be on Job at All Times

NOTICE

Handwritten notes in red and black ink at the top left.

ALL BUILDING DEPT FOR INSPECTION



HARRISON AVE. PARSONS AVE.

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MAY 30 P 1:42
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VILLAGE OF FINE POINT, N.Y.

BALDWIN & CORNELIUS C
SURVEYED JULY 15, 195
MESEROLE P2
FREEPOINT, N.Y.
MAP OF
LOTS NO. 583-5
RE DATED MAY 195

Vertical text on the right margin, possibly a scale or reference.

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2023 MAY 2



by Parsons Ave

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Application Date: 5/31/23
Fees Paid: 225.00

SP# 3643

INCORPORATED VILLAGE OF FREEPORT
SITE PLAN REVIEW APPLICATION
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 77 Babylon TPKE ZONING DISTRICT Residence A
SECTION 55 BLOCK 238 LOT 160 LOT SIZE: 50.13 x 138.08

| <input type="checkbox"/> TENANT <u>APPLICANT</u> | <input type="checkbox"/> LESSEE | <u>PROPERTY OWNER</u> | |
|--|---------------------------------|---|--|
| Name: <u>Carlos Rivera</u> | | Name: <u>Mauro Aguilar</u> | |
| Address: <u>711 Grand Av. Freeport NY 11520</u> | | Address: <u>77 Babylon TPKE Freeport NY 11520</u> | |
| Telephone #: <u>516 369-4205</u> | | Telephone #: <u>516 348-5778</u> | |

Attorney Name: _____ Address: _____
(optional) Phone #: _____

Present Land Use: Residential Proposed Land Use: Residential

Description of Proposed Work: Maintain and repair existing extended driveway (10x35) & proposed widening of existing driveway (20x23)

I request a preliminary meeting: _____ YES NO

I request a waiver of the public hearing and hereby certify the following:

- A. The subject property is zoned Residence A or Residence AA.
- B. The proposed construction is not a new building or dwelling.
- C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.

YES _____ NO

[Signature]
APPLICANT'S SIGNATURE

Sworn to before me this 25th day of May, 2023

[Signature]
Notary Public

OSCAR G. CEDILLOS
Notary Public, State of New York
No. 01CE5046390
Qualified in Nassau County
Commission Expires July 17, 2023

05-25-2023
DATE

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2023 MAY 31 AM 59
VILLAGE CLERK'S OFFICE
FREEPORT NY

Property Owner's Consent: I, MAURO E. AGUILAR am (are) the owner(s) of the subject property and consent to the filing of this application.

[Signature]
PROPERTY OWNER'S SIGNATURE

Sworn to before me this 25th day of May, 2023

[Signature]
Notary Public

OSCAR G. CEDILLOS
Notary Public, State of New York
No. 01CE5046390
Qualified in Nassau County
Commission Expires July 17, 2023

05-25-2023
DATE

FOR VILLAGE USE ONLY

| | |
|---|-----------------------------|
| Site Plan Public Hearing Required: _____ YES _____ NO | Date of Hearing: _____ |
| Village Clerk's Signature: _____ | Date of Decision: _____ |
| Planning Board Signature: _____ | Approved _____ Denied _____ |
| | Date: _____ |
| | Date: _____ |



INC. VILLAGE OF FREEPORT

Department of Buildings
46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

ROBERT T. KENNEDY
MAYOR

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

May 24, 2023
AMENDED SITE PLAN LETTER

Carlos Rivera
311 Grand Avenue
Freeport, NY 11520

RE: 77 Babylon Turnpike, Freeport, NY
Zoning District: Residence A Sec. 55 Blk. 238 Lot 160
Building Permit Application #20233197
Description: Maintain & repair existing extended driveway (10' x 35') & proposed widening of existing driveway (20' x 23')

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. Only after this initial appointment should the additional copies be made.

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the VILLAGE CLERK'S OFFICE at 377-2300.

VILLAGE CLERK'S OFFICE
VILLAGE OF FREEPORT, NY
2023 MAY 31 A 10:59
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Very truly yours,

Sergio A. Mauras
Superintendent of Buildings

c/d
encl.
c : Village Clerk

ZBA Approval Needed: Yes No

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project :

Permit Applications 20233197

Location: 77 Babylon Turnpike, Freeport, NY

Applicant: Carlos Rivera

Description: Maintain & repair existing extended driveway (10' x 35') & proposed widening of existing driveway (20' x 23')

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

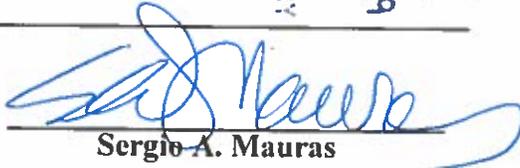
REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) _____

B) Possible environment effects identified:
(only if positive determination)

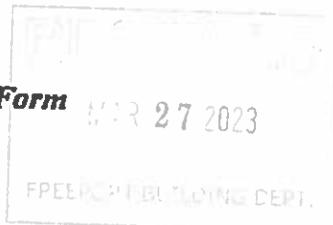
Dated: May 24, 2023 - AMENDED


Sergio A. Mauras
Superintendent of Buildings

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CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

617.20
Appendix B
Short Environmental Assessment Form



Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

| | | | | | |
|--|---|----|-----|-------------------------------------|--------------------------|
| Part 1 - Project and Sponsor Information | | | | | |
| Name of Action or Project: | | | | | |
| Project Location (describe, and attach a location map): 77 Babylon TPOE | | | | | |
| Brief Description of Proposed Action: Exitway Driveway will be extended | | | | | |
| Name of Applicant or Sponsor: Cedric Johnson | Telephone: 516 369 4205 | | | | |
| Address: 311 Grand Av. Fern. | E-Mail: cedricjohnson12@gmail.com | | | | |
| City/PO: Freeport NY | State: NY | | | | |
| | Zip Code: 11520 | | | | |
| 1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2. | <table border="1" style="width:100%; text-align: center;"> <tr> <td>NO</td> <td>YES</td> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> </table> | NO | YES | <input type="checkbox"/> | <input type="checkbox"/> |
| NO | YES | | | | |
| <input type="checkbox"/> | <input type="checkbox"/> | | | | |
| 2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: | <table border="1" style="width:100%; text-align: center;"> <tr> <td>NO</td> <td>YES</td> </tr> <tr> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> </table> | NO | YES | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| NO | YES | | | | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | | | | |
| 3.a. Total acreage of the site of the proposed action? | 0.15454 acres | | | | |
| b. Total acreage to be physically disturbed? | 0.0126 acres | | | | |
| c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? | 0.154 acres | | | | |
| 4. Check all land uses that occur on, adjoining and near the proposed action. | | | | | |
| <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland | | | | | |

| | | | | |
|---|--|-------------------------------------|-------------------------------------|-----|
| 5. Is the proposed action, a. A permitted use under the zoning regulations? | | NO | YES | N/A |
| b. Consistent with the adopted comprehensive plan? | | | <input checked="" type="checkbox"/> | |
| 6. Is the proposed action consistent with the predominant character of the existing built or natural landscape? | | NO | YES | |
| | | <input type="checkbox"/> | <input checked="" type="checkbox"/> | |
| 7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____ | | NO | YES | |
| | | <input type="checkbox"/> | <input type="checkbox"/> | |
| 8. a. Will the proposed action result in a substantial increase in traffic above present levels? | | NO | YES | |
| b. Are public transportation service(s) available at or near the site of the proposed action? | | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action? | | <input type="checkbox"/> | <input checked="" type="checkbox"/> | |
| 9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ | | NO | YES | |
| | | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| 10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing potable water: _____ | | NO | YES | |
| | | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| 11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____ | | NO | YES | |
| | | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| 12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places? | | NO | YES | |
| b. Is the proposed action located in an archeological sensitive area? | | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| 13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? | | NO | YES | |
| b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ | | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| | | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| 14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban | | | | |
| 15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered? | | NO | YES | |
| | | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| 16. Is the project site located in the 100 year flood plain? | | NO | YES | |
| | | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| 17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ | | NO | YES | |
| | | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| | | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |

| | | |
|---|-------------------------------------|--------------------------|
| 18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ | NO | YES |
| _____ | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ | NO | YES |
| _____ | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ | NO | YES |
| _____ | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE | | |
| Applicant/sponsor name: <u>Carlos Alvarez</u> | Date: <u>3/27/23</u> | |
| Signature: <u>[Signature]</u> | | |

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

| | No, or small impact may occur | Moderate to large impact may occur |
|--|--|--|
| 1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 2. Will the proposed action result in a change in the use or intensity of use of land? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 3. Will the proposed action impair the character or quality of the existing community? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities? | <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> | <input type="checkbox"/> <input type="checkbox"/> |
| 8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

| | No, or small impact may occur | Moderate to large impact may occur |
|---|-------------------------------------|------------------------------------|
| 10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 11. Will the proposed action create a hazard to environmental resources or human health? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

MAY 27 2023

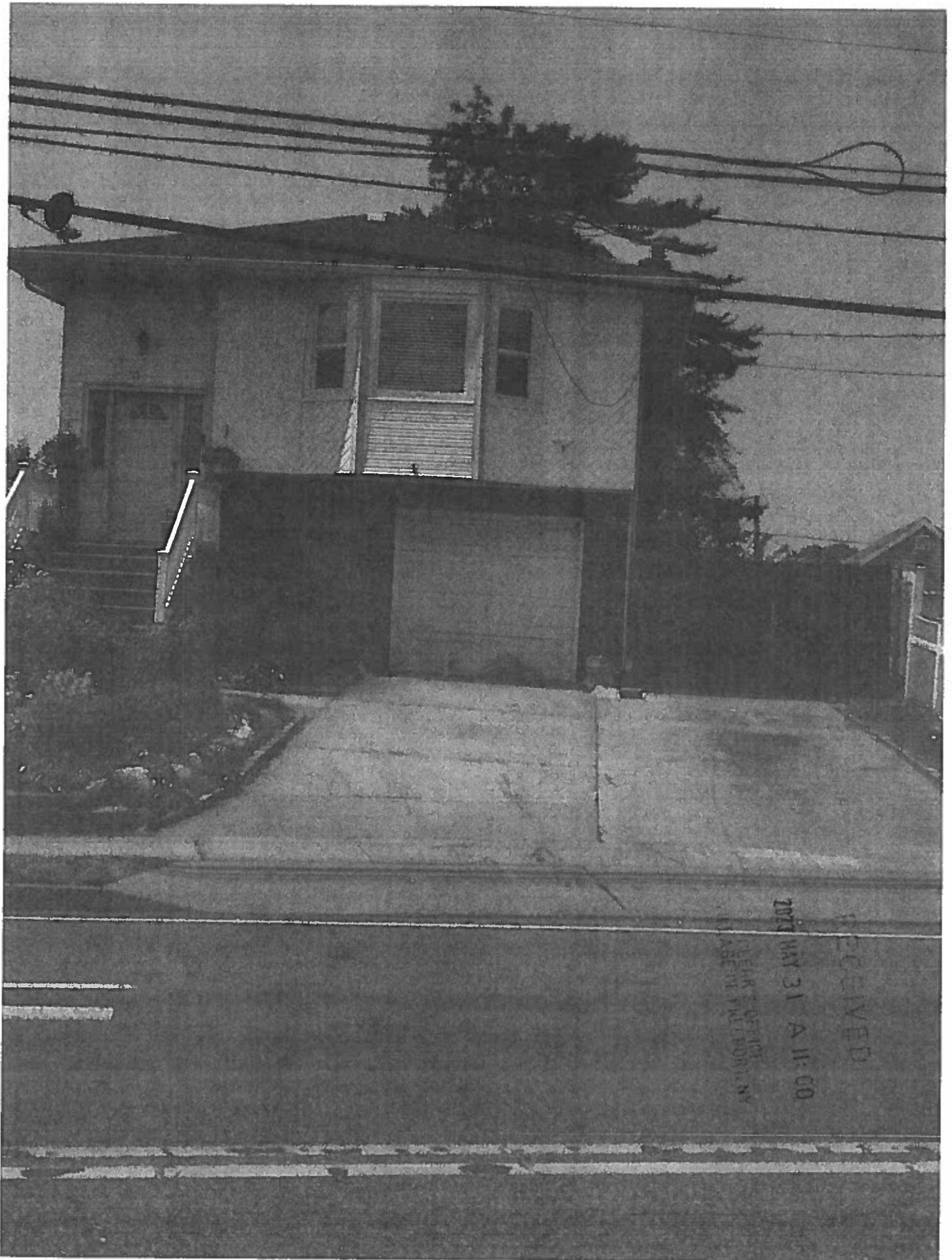
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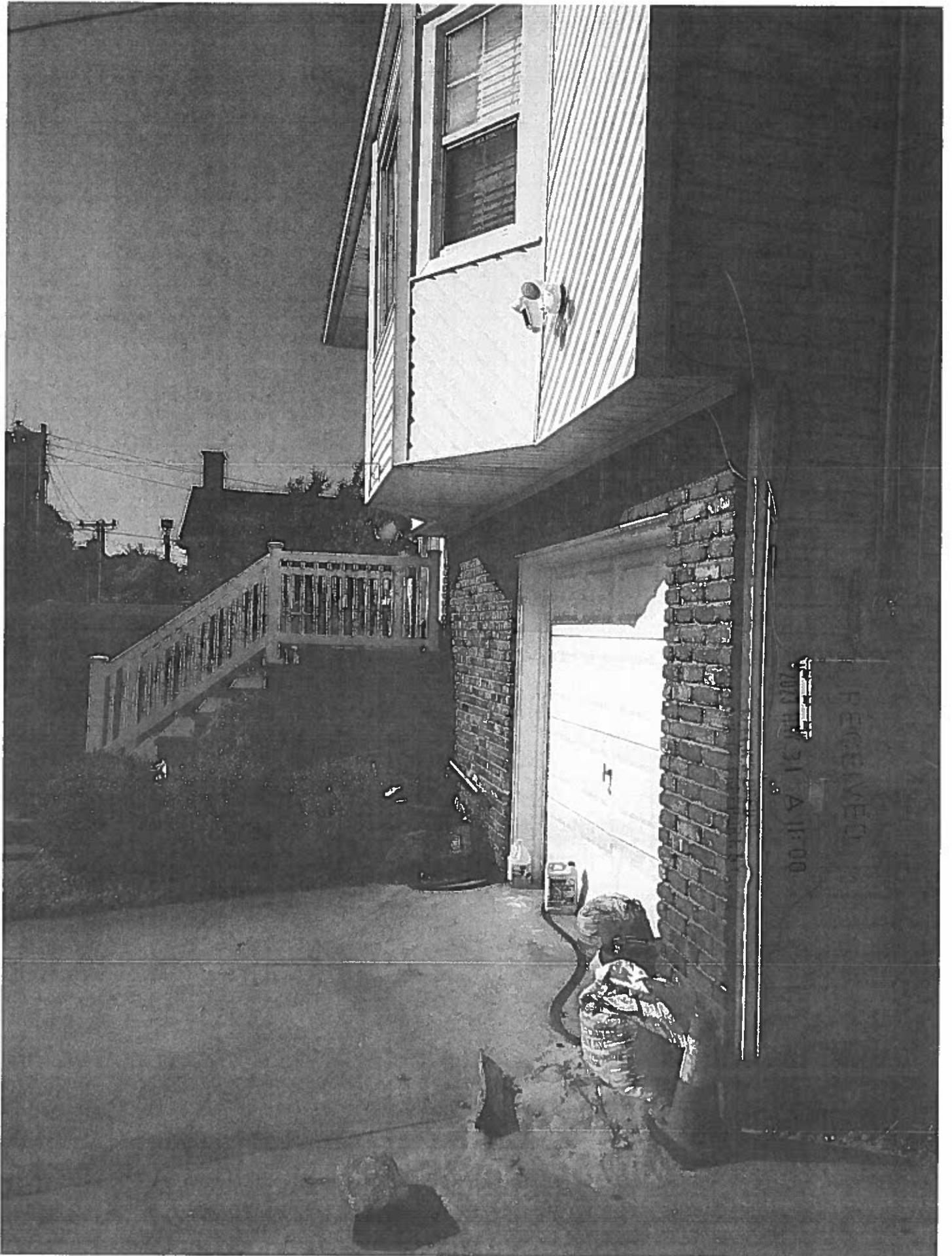
| | |
|--|--|
| <input type="checkbox"/> | Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required. |
| <input checked="" type="checkbox"/> | Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts. |
| _____ | _____ |
| Name of Lead Agency | Date |
| _____ | _____ |
| Print or Type Name of Responsible Officer in Lead Agency | Title of Responsible Officer |
| _____ | _____ |
| Signature of Responsible Officer in Lead Agency | Signature of Preparer (if different from Responsible Officer) |



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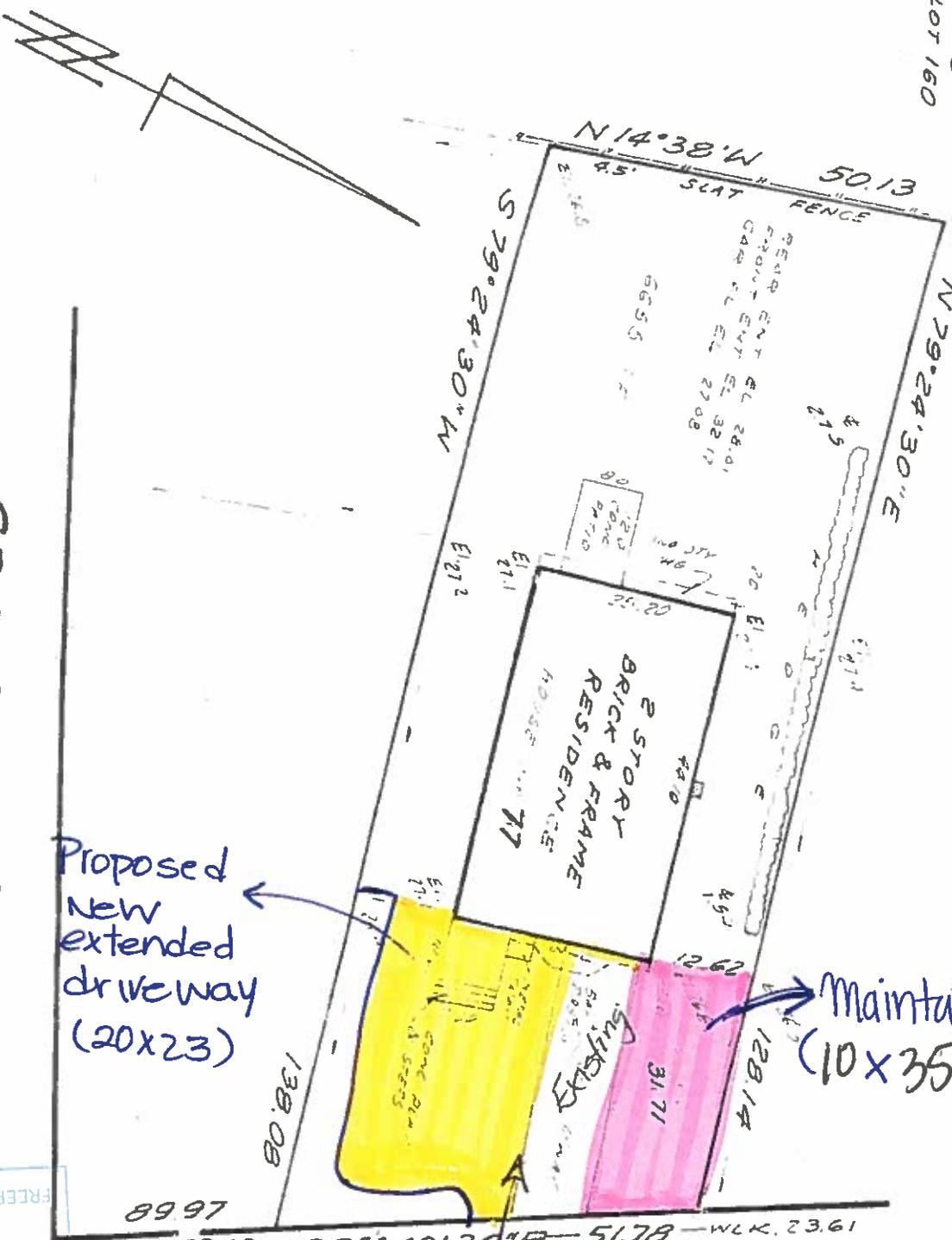








10 COUNTY TAX MAP
 SECT 55
 BCK 238
 PLOLOT 160



GRAND AVENUE

HEMPSTEAD - BABYLON TPKE.

MAP FILED _____
 CASE NO. _____
 BLDG'S JOB NO. _____

THE OFFSETS (OR DIMENSIONS) SHOWN HEREON FROM THE STRUCTURES TO THE PROPERTY LINES ARE FOR A SPECIFIC PURPOSE AND USE AND THEREFORE ARE NOT INTENDED TO GUIDE THE ERECTION OF FENCES, RETAINING WALLS, POOLS, PATIOS, PLANTING AREAS, ADDITION TO BUILDINGS AND ANY OTHER CONSTRUCTION.

GUARANTEES INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED AND ON HIS BEHALF TO THE TITLE COMPANY, LOAN/AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. GUARANTEES ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

FREEPORT BUILDING DEPT.
 MAY 27 2023

| | | | |
|----|----------|----------|-------|
| MM | 11-18-87 | ELN | 238 |
| MM | J.P.D. | FILE NO. | 20366 |
| MM | | JOB NO. | |

2023 MAY 31 A 11:00

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NOTE RECEIVED LOCATION
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 CLERK'S OFFICE
 VILLAGE OF FREEPORT, NY
 Surveyed and existing boundaries
 shown with gray lines

FINAL SURVEY: SEP 30 1989
 MAP OF
PROPERTY
 SITUATED AT
FREEPORT
 NASSAU COUNTY, NEW YORK

SURVEYED: OCT 5, 1987
BALDWIN & CORNELIUS, P.C.
 CIVIL ENGINEERS & SURVEYORS
 LIC NO. 2250 P.E.L.S.
FREEPORT, L.I., N.Y.
 SCALE 1" = 20'

Application Date: 6/1/2023
Fees Paid: 205.00

SP# 3646

INCORPORATED VILLAGE OF FREEPORT
SITE PLAN REVIEW APPLICATION
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 20 Hope Place. ZONING DISTRICT Residence A.
SECTION 55 BLOCK 367 LOT 742 LOT SIZE: _____

| <input type="checkbox"/> TENANT <u>APPLICANT</u> | <input type="checkbox"/> LESSEE | PROPERTY OWNER |
|--|---------------------------------|--|
| Name: <u>Same As Owner.</u> | | Name: <u>Kenneth Skates.</u> |
| Address: _____ | | Address: <u>20 Hope Place</u> <u>Freeport, N.Y. 11520</u> |
| Telephone #: _____ | | Telephone #: <u>516-546-7898</u> |

Attorney Name: _____ Address: _____
(optional) Phone #: _____

Present Land Use: Residential Proposed Land Use: Residential

Description of Proposed Work: Construct a 12 x 20 Gazebo.

I request a preliminary meeting: _____ YES NO

I request a waiver of the public hearing and hereby certify the following:
A. The subject property is zoned Residence A or Residence AA.
B. The proposed construction is not a new building or dwelling.
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.

YES _____ NO

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Kenneth Skates
APPLICANT'S SIGNATURE

5/31/23
DATE

Sworn to before me this 31
day of MAY, 2023
Miguel A. Hernandez
Notary Public

Miguel A. Hernandez
Notary Public, State of New York
No. 01HE6398873
Qualified in Nassau County
Commission Expires 10/07/2023

Property Owner's Consent: I, _____ am (are) the owner(s) of the subject property and consent to the filing of this application.

Kenneth Skates
PROPERTY OWNER'S SIGNATURE
Sworn to before me this 31
day of MAY, 2023
Miguel A. Hernandez
Notary Public

Miguel A. Hernandez 5/31/23
Notary Public, State of New York DATE
No. 01HE6398873
Qualified in Nassau County
Commission Expires 10/07/2023

FOR VILLAGE USE ONLY

| | |
|---|---|
| Site Plan Public Hearing Required: _____ YES _____ NO | Date of Hearing: _____ Date of Decision: _____ |
| Village Clerk's Signature: _____ | <u>Approved</u> _____ Denied Date: _____ |
| Planning Board Signature: _____ | Date: _____ |

INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520

(516) 377-2242

FAX (516) 377-2493

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

ROBERT T. KENNEDY
MAYOR

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

May 22, 2023
SITE PLAN LETTER

Kenneth Skates
20 Hope Place
Freeport, NY 11520

RE: 20 Hope Place, Freeport, NY
Zoning District: Residence A Sec. 55 Blk. 367 Lot 742
Building Permit Application #20233278
Description: Construct a 12' x 20' gazebo

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the VILLAGE CLERK'S OFFICE at 377-2300.

Very truly yours,

Sergio A. Mauras
Superintendent of Buildings

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c/d
encl.
c : Village Clerk

ZBA Approval Needed: Yes No

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project :

Permit Applications 20233278

Location: 20 Hope Pl., Freeport, NY

Applicant: Kenneth Skates

Description: Construct a 12' x 20' gazebo

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

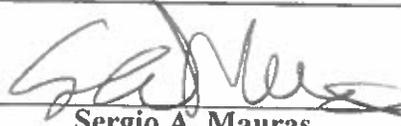
REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A)

B) Possible environment effects identified:
(only if positive determination)

Dated: May 22, 2023


Sergio A. Mauras
Superintendent of Buildings

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IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

617.20
Appendix B
Short Environmental Assessment Form

02.33.2018

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

| | | | |
|--|--|--|--|
| Part 1 - Project and Sponsor Information | | | |
| Name of Action or Project: Gazebo | | | |
| Project Location (describe, and attach a location map): Patio | | | |
| Brief Description of Proposed Action: Propose to build a Gazebo on patio of property. | | | |
| Name of Applicant or Sponsor: Kenneth Skates | | Telephone: 516-546-7898 | |
| Address: 20 Hope Place | | E-Mail: kenval345@NYC.RR.COM | |
| City/PO: Freeport | | State: N.Y. | Zip Code: 11520 |
| 1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2. | | NO <input checked="" type="checkbox"/> | YES <input type="checkbox"/> |
| 2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: | | NO <input checked="" type="checkbox"/> | YES <input type="checkbox"/> |
| 3.a. Total acreage of the site of the proposed action? | | .005 | acres |
| b. Total acreage to be physically disturbed? | | .005 | acres |
| c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? | | .005 | acres |
| 4. Check all land uses that occur on, adjoining and near the proposed action. | | | |
| <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland | | | |

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| | | | |
|--|----|-----|-----|
| 5. Is the proposed action, a. A permitted use under the zoning regulations? | NO | YES | N/A |
| | | | |
| b. Consistent with the adopted comprehensive plan? | | | |
| 6. Is the proposed action consistent with the predominant character of the existing built or natural landscape? | NO | YES | |
| 7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____ | NO | YES | |
| 8. a. Will the proposed action result in a substantial increase in traffic above present levels? | NO | YES | |
| b. Are public transportation service(s) available at or near the site of the proposed action? | | | |
| c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action? | | | |
| 9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ | NO | YES | |
| 10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing potable water: _____ | NO | YES | |
| 11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____ | NO | YES | |
| 12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places? | NO | YES | |
| b. Is the proposed action located in an archeological sensitive area? | | | |
| 13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? | NO | YES | |
| b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ | | | |
| 14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban | | | |
| 15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered? | NO | YES | |
| 16. Is the project site located in the 100 year flood plain? | NO | YES | |
| 17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES | NO | YES | |

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|---|----|-------------|
| 18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ | NO | YES |
| 19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ | NO | YES |
| 20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ | NO | YES |
| I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE | | |
| Applicant/sponsor name: <u>Kenneth Skates</u> | | Date: _____ |
| Signature: <u>Kenneth Skates</u> | | |

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

| | No, or small impact may occur | Moderate to large impact may occur |
|--|-------------------------------|--|
| 1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations? | ✓ | |
| 2. Will the proposed action result in a change in the use or intensity of use of land? | ✓ | |
| 3. Will the proposed action impair the character or quality of the existing community? | ✓ | |
| 4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)? | ✓ | |
| 5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway? | ✓ | CLERK'S OFFICE VILLAGE OF HALIPPONG, NY |
| 6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities? | ✓ | |
| 7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities? | ✓ ✓ | |
| 8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources? | ✓ | |
| 9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)? | ✓ | |

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| | No, or small impact may occur | Moderate to large impact may occur |
|---|-------------------------------|------------------------------------|
| 10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems? | ✓ | |
| 11. Will the proposed action create a hazard to environmental resources or human health? | ✓ | |

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

| | |
|---|--|
| <input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required. | |
| <input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts. | |
| _____ Name of Lead Agency | _____ Date |
| _____ Print or Type Name of Responsible Officer in Lead Agency | _____ Title of Responsible Officer |
| _____ Signature of Responsible Officer in Lead Agency | _____ Signature of Preparer (if different from Responsible Officer) |

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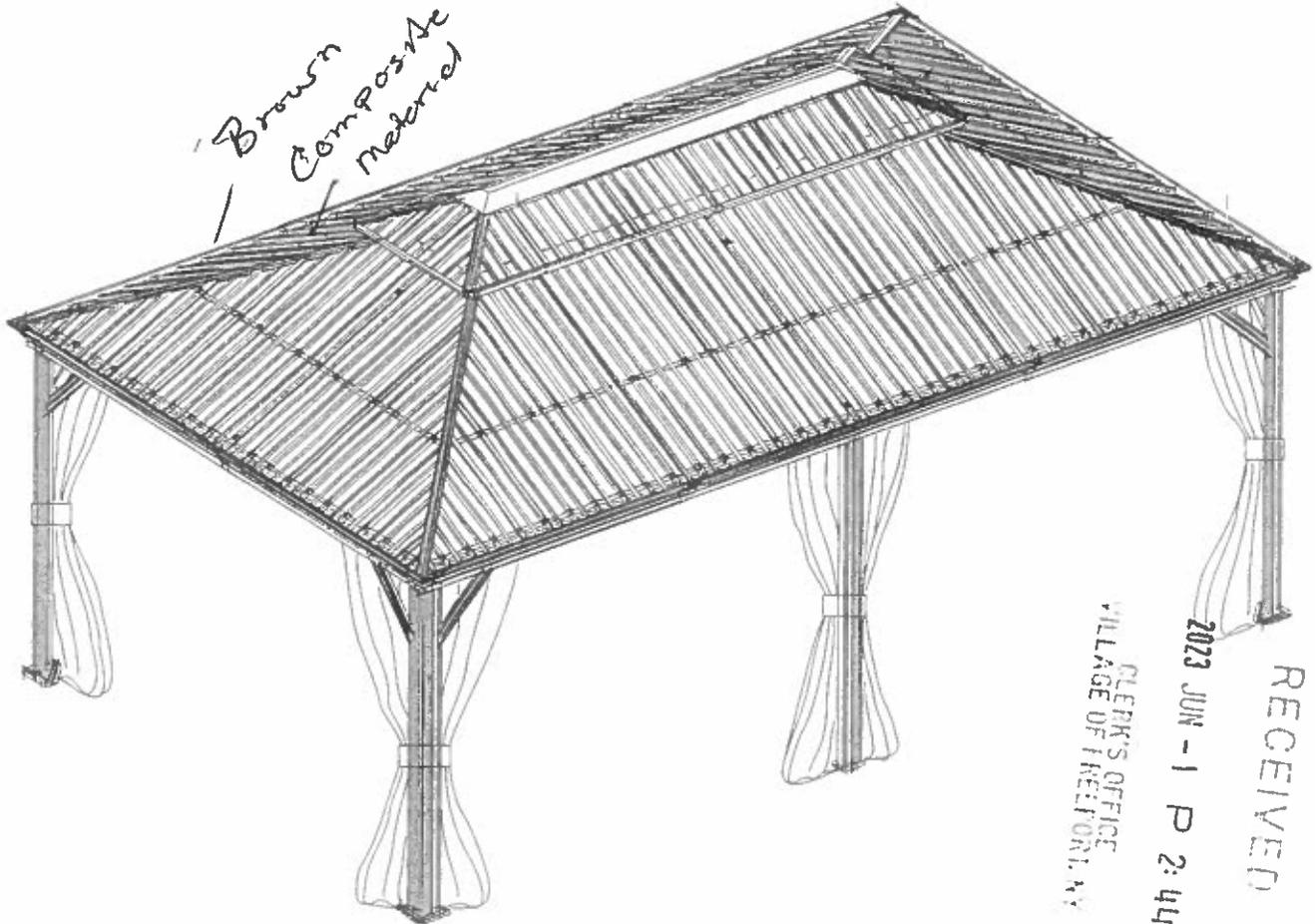
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Enjoy Cozy Life!

12'X20' HARDTOP GAZEBO WITH DOUBLE ROOF

ASSEMBLY MANUAL



KOZYARD LLC PRODUCTS

www.kozyard.com

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1. Two or more people are required for assembly.



5. Use the hex keys in the box.



2. You will need one or more stepladders.



6. Please use a Phillips screwdriver.



3. Wearing protective gloves is recommended.



7. Do not fully tighten screws prior to complete assembly.

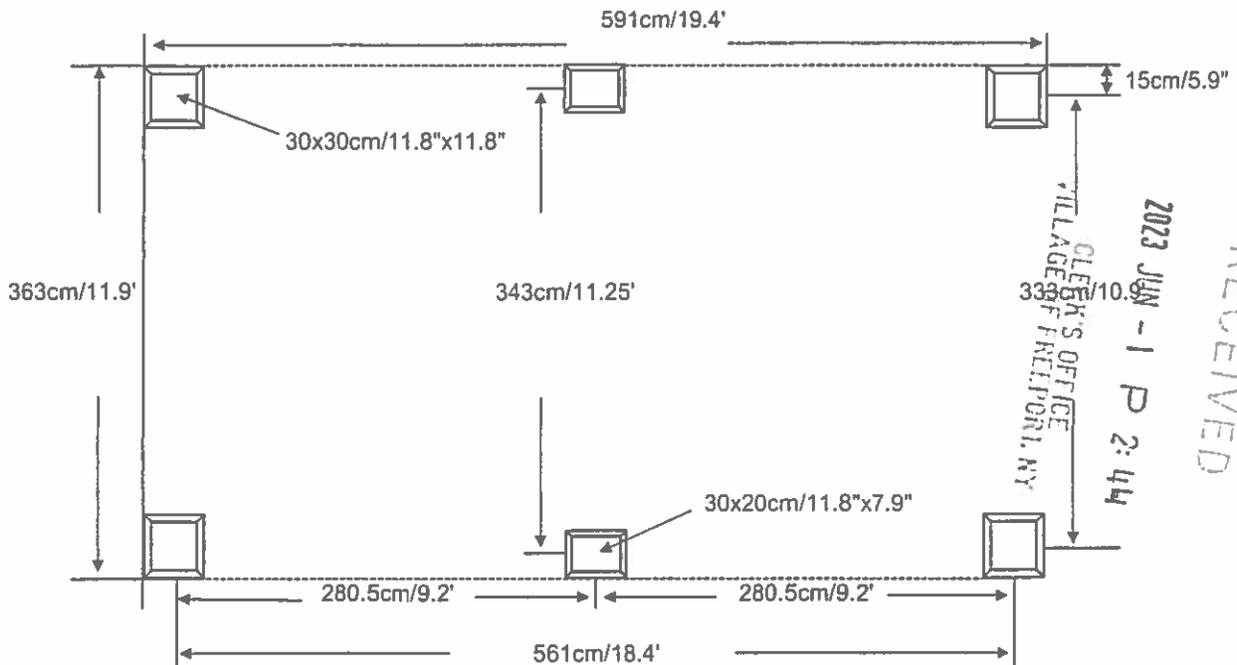


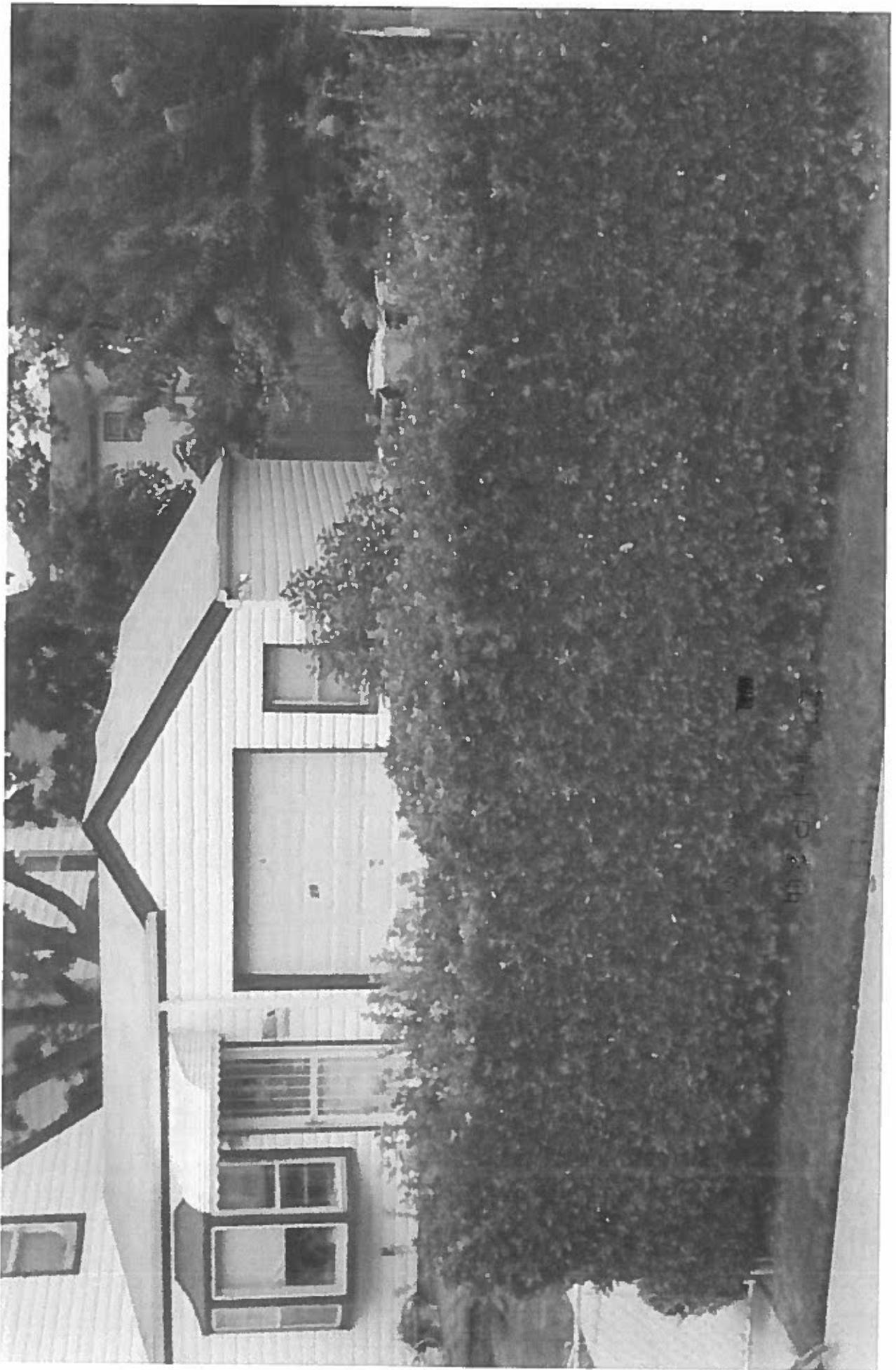
4. You may need a safety hat.



8. For ease of construction, you may need to use a drill.

12x20' ANCHOR BLUEPRINT

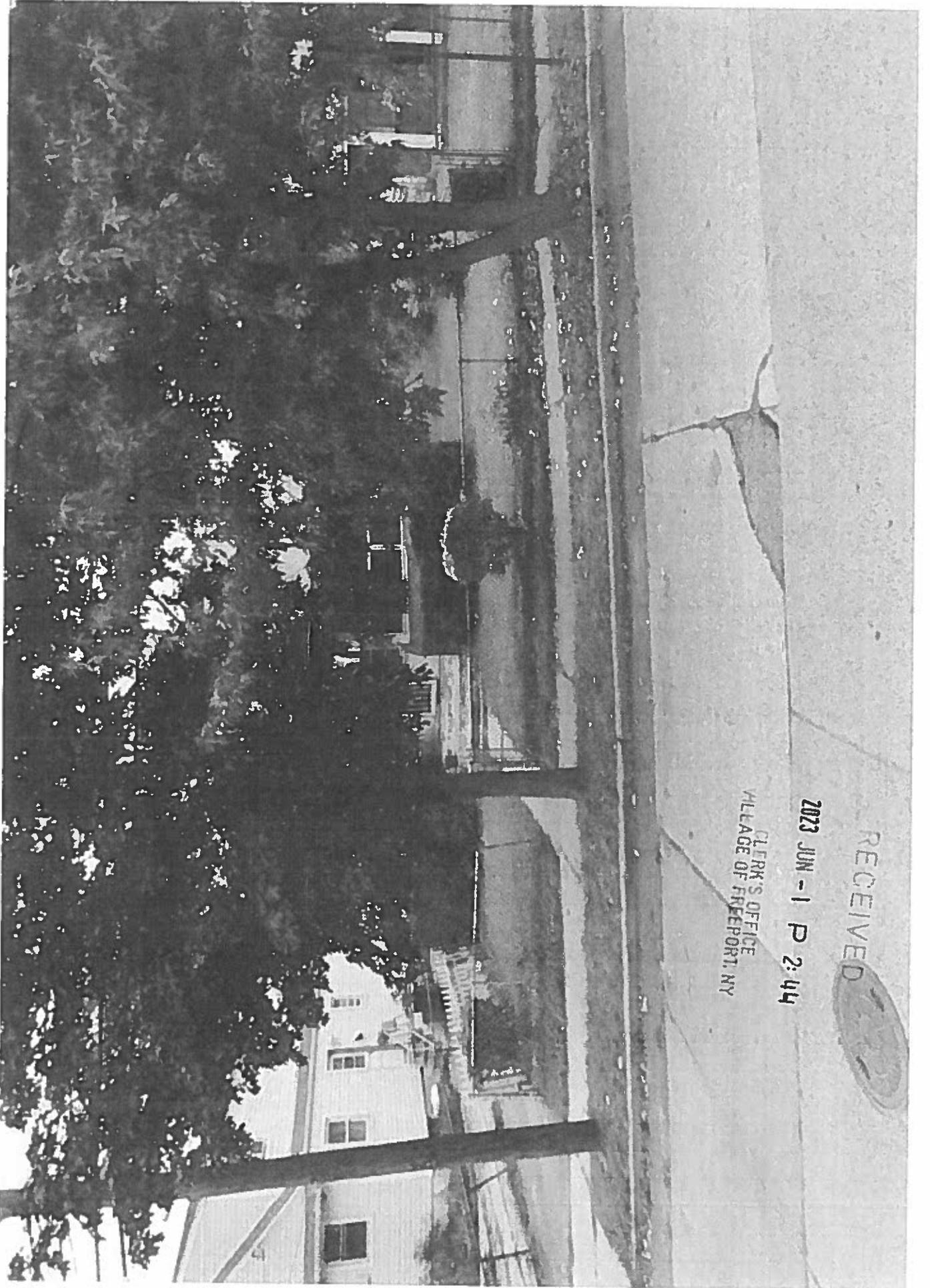




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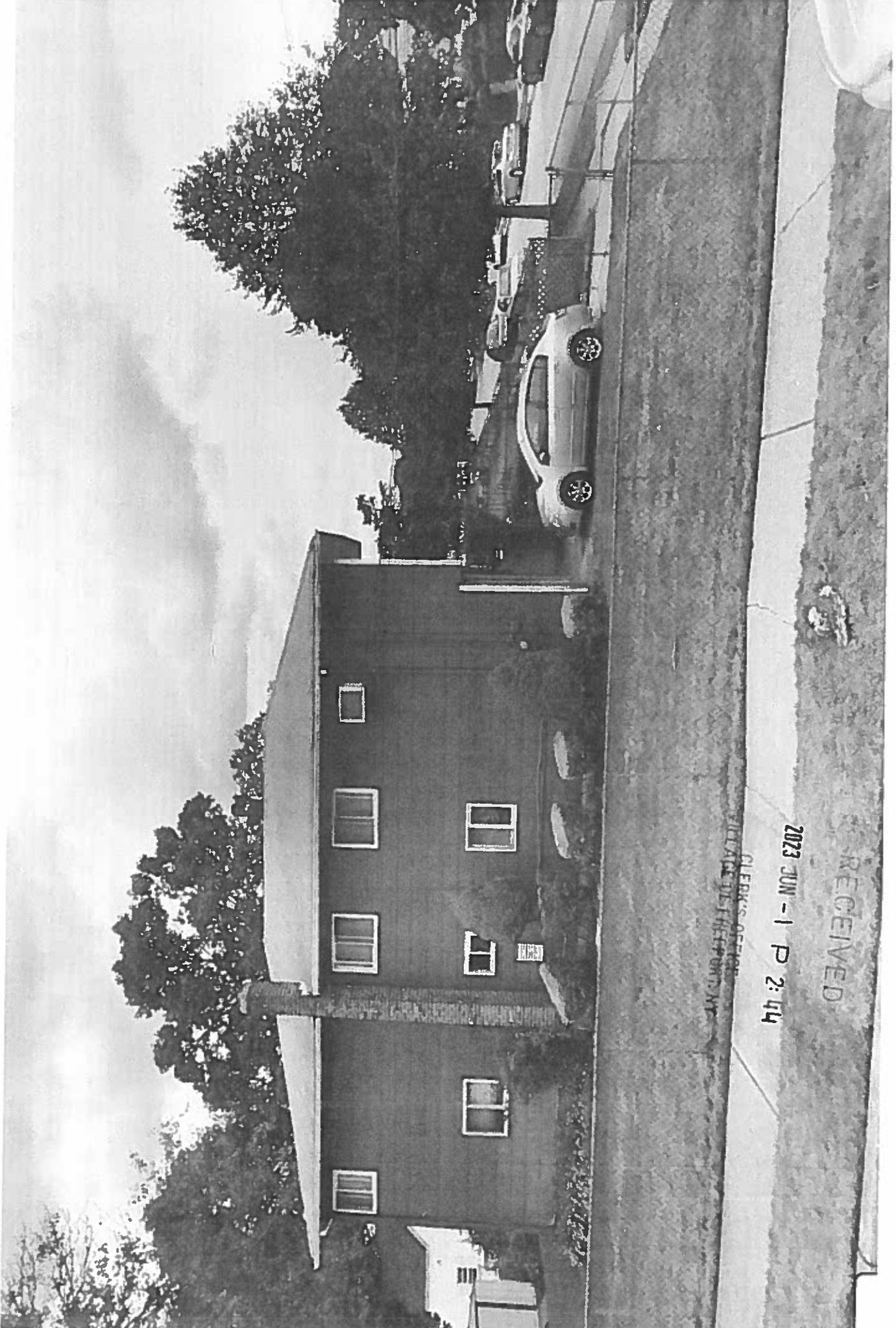
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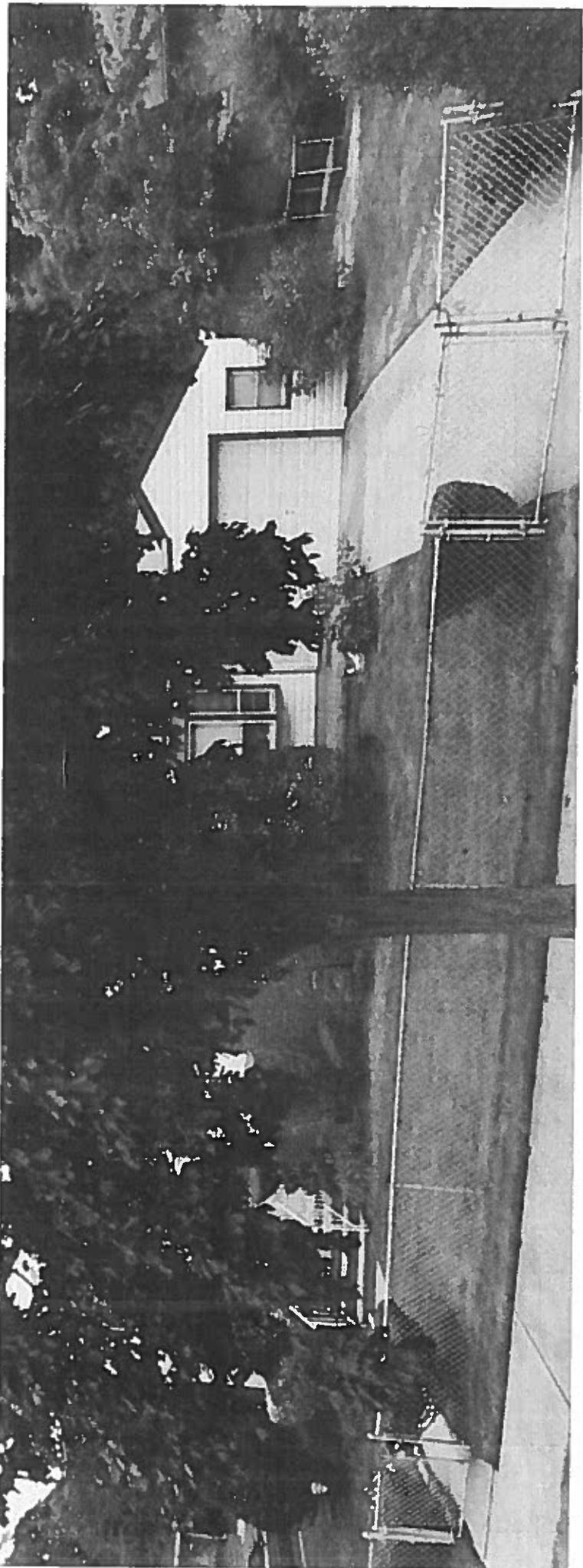
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DEPT. OF CORRECTIONS
STATE OF NEW YORK



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VILLAGE OF FREEPORT, NY



2023 3 27 28

SURVEY OF PROPERTY

LOTS 742, 743
MAP OF

COLUMBIA HEIGHTS

FILED: DEC. 5, 1903 - MAP #: 240

CL: +27.88

SITUATE
FREEPORT
TOWN OF HEMPSTEAD
NASSAU COUNTY, N.Y.

SURVEYED: FEB. 13, 2020

NOTES:

1. PROPERTY KNOWN AS TAX MAP# SEC. 55, BLK 367, LOT 742
2. LOT AREA = 5,000 SQ.FT. (0.11 ACRE(S))
3. THIS SURVEY WAS PREPARED USING A TRIMBLE S3 ROBOTIC TOTAL STATION
4. PROPERTY CORNER MONUMENTS WERE NOT SET AS PART OF THIS SURVEY.
5. ELEVATIONS REFER TO NAVD88 DATUM.

COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S INKED OR EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A VALID COPY.



MICHAEL K. WICKS, P.L.S. #50390

MICHAEL K. WICKS
LAND SURVEYING

15 FROWEN ROAD, SUITE E-2
CENTER MORICHES, NEW YORK 11934
VOICE: 631.874.0156 - FAX: 631.909.3845
www.wickstandsurveying.com
RECORDS OF RICHARD C. DRAKE

SCALE: 1"=20'

SURVEYED BY: M.W./B.W.

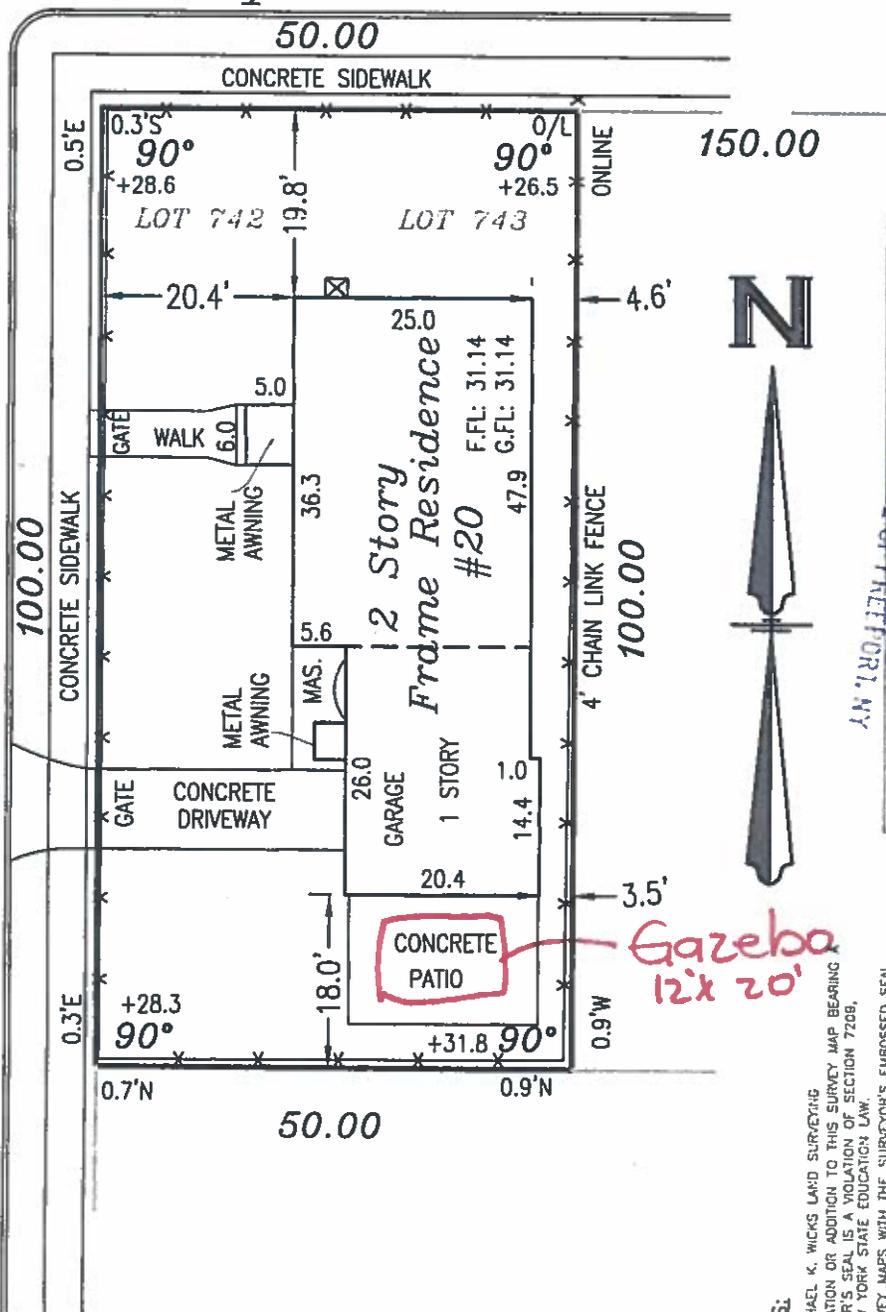
DRAWN BY: J.A.

SHEET: 1 OF 1

CL: +29.47

Independence Ave. (50')

Hope Place (50')



Rodgers Nur Place (50')

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VILLAGE OF FREEPORT, NY

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CL: +27.71

STANDARD NOTES:

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3. ONLY BOUNDARY SURVEY MAPS WITH THE SURVEYOR'S EMBOSSED SEAL ARE GENUINE TRUE AND CORRECT COPIES OF THE SURVEYOR'S ORIGINAL WORK AND OPINION.
4. CERTIFICATIONS ON THIS BOUNDARY SURVEY MAP SIGNIFY THAT THE MAP WAS PREPARED IN ACCORDANCE WITH THE CURRENT EXISTING CODE OF PRACTICE FOR LAND SURVEYS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS, INC. THE CERTIFICATION IS LIMITED TO PERSONS FOR WHOM THE BOUNDARY SURVEY MAP IS PREPARED, TO THE TITLE COMPANY, TO THE GOVERNMENTAL AGENCY, AND TO THE LENDING INSTITUTION LISTED ON THIS BOUNDARY SURVEY MAP.
5. THE CERTIFICATIONS HEREIN ARE NOT TRANSFERABLE.
6. THE LOCATION OF UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS ARE NOT ALWAYS KNOWN AND CANNOT BE ESTIMATED. IF ANY UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS EXIST OR ARE SHOWN, THE IMPROVEMENTS OR ENCROACHMENTS ARE NOT COVERED BY THIS SURVEY.
7. THE OFFSET (OR DIMENSIONS) SHOWN HEREON FROM THE STRUCTURES TO THE PROPERTY LINES ARE FOR A SPECIFIC PURPOSE AND USE AND THEREFORE ARE NOT INTENDED TO GUIDE THE ERECTION OF FENCES, RETAINING WALLS, POOLS, PATIOS PLANTING AREAS, ADDITIONS TO BUILDINGS, AND ANY TYPE OF CONSTRUCTION.

