

Application Date: 4/13/2023  
Fees Paid: \$ 225.00

SP# 3647

INCORPORATED VILLAGE OF FREEPORT  
SITE PLAN REVIEW APPLICATION  
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 149 N. BAYVIEW AVE ZONING DISTRICT Residence AA  
SECTION 54 BLOCK 462 LOT 32 LOT SIZE: 1R2

<input type="checkbox"/> TENANT	<input checked="" type="checkbox"/> APPLICANT	<input type="checkbox"/> LESSEE	PROPERTY OWNER	
Name: <u>LILY BEDOYA</u>			Name: <u>NELSON PEREZ</u>	
Address: <u>28 ISLAND BLVD</u> <u>BOHEMIA NY 11716</u>			Address: <u>149 N. BAYVIEW AVE</u> <u>FREEPORT NY 11520</u>	
Telephone #: <u>631-355-0623</u>			Telephone #: <u>516-323-9000</u>	

Attorney Name: \_\_\_\_\_ Address: \_\_\_\_\_  
(optional) Phone #: \_\_\_\_\_

Present Land Use: RESIDENTIAL Proposed Land Use: \_\_\_\_\_

Description of Proposed Work: PROPOSED NEW 312 SQ FT. REAR ADDITION,  
A 144 SQ. FT. GAZEBO AND MAINTAIN A 322 SQ FT. SITED.

I request a preliminary meeting:  YES  NO

I request a waiver of the public hearing and hereby certify the following:  
A. The subject property is zoned Residence A or Residence AA.  
B. The proposed construction is not a new building or dwelling.  
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.

YES  NO

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[Signature]  
APPLICANT'S SIGNATURE

6/03/2022  
DATE

Sworn to before me this 3rd  
day of June, 2022

JENNY O. SABORIO  
Notary Public, New York  
Nassau Co. Reg #01SA5038672  
Commission Expires Jan. 30, 2023

Property Owner's Consent: I, Nelson Perez Carabita am (are) the owner(s) of the subject property and consent to the filing of this application.

[Signature]  
PROPERTY OWNER'S SIGNATURE

6/03/2022  
DATE

Sworn to before me this 3rd  
day of June, 2022

JENNY O. SABORIO  
Notary Public, New York  
Nassau Co. Reg #01SA5038672  
Commission Expires Jan. 30, 2023

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: <input type="checkbox"/> YES <input type="checkbox"/> NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	<input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____
Planning Board Signature: _____	Date: _____



## INC. VILLAGE OF FREEPORT

### Department of Buildings

46 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK 11520  
(516) 377-2242  
FAX (516) 377-2493

ROBERT T. KENNEDY  
MAYOR

E-MAIL [BUILDINGDEPT@FREEPORTNY.GOV](mailto:BUILDINGDEPT@FREEPORTNY.GOV)

SERGIO A. MAURAS  
SUPERINTENDENT OF BUILDINGS

April 21, 2023

### UPDATED SITE PLAN LETTER

Nelson Perez Garabito  
149 N. Bayview Avenue  
Freeport, NY 11520

RE: 149 N. Bayview Avenue, Freeport, NY

Zoning District - Residence AA Sec. 54 Blk. 462 Lot. 32

Building Permit Application #20222624

**Description: Construct a new 312 sq. ft. rear addition, a 144 sq. ft. gazebo & maintain a 322.56 sq. ft. shed**

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the **Village Clerk's Office at 516-377-3632** to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the **VILLAGE CLERK'S OFFICE** at 377-2300.

Very truly yours,

*Sergio A. Mauras*

Sergio A. Mauras  
Superintendent of Buildings  
Jonathan Smith, Building Inspector  
/cd  
Encl.

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c: Village Clerk  
Joseph M. Bello, R.A.

ZBA Approval Needed:

Yes:  No

VILLAGE OF FREEPORT  
Department of Buildings  
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.  
(See reasons below)

Project :

Building Permit App. 20222624

Applicant : Nelson Perez Garabito

Location: 149 N. Bayview Avenue, Freeport, NY

Description: Construct a new 312 sq. ft. rear addition, a 144 sq. ft. gazebo and maintain a 322.56 sq. ft. shed

Lead Agency: Department of Buildings  
for the Board of Trustees  
Village of Freeport  
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:  
Superintendent of Buildings  
(516) 377-2242

**REASON(S) FOR DETERMINATION**

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A)

B) Possible environment effects identified:  
(only if positive determination)

Dated: April 21, 2023 - Updated

*Sergio A. Mauras*

Sergio A. Mauras  
Superintendent of Buildings

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**IMPORTANT:** This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

617.20  
Appendix B  
Short Environmental Assessment Form

FEB 9 2022

**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>							
NEISON PEREZ							
Name of Action or Project: 149 N BAYVIEW AVE. FREEPORT PROP. REAR EXTENSION, PROP. GAZEBO, MAINTAIN EX. SITED							
Project Location (describe, and attach a location map): 149 NW/3 OF N. BAYVIEW AVE CORNER OF LENA AVE.							
Brief Description of Proposed Action: PROP. REAR ADDITION W/ 1/2 BATH, PROP. GAZEBO, MAINTAIN EX. SITED.							
Name of Applicant or Sponsor: NEISON PEREZ		Telephone: 516 323 9000					
		E-Mail: DISCOUNT306@YAHOO.COM					
Address: 149 N BAYVIEW AVE							
City/PO: FREEPORT		State: NY	Zip Code: 11520				
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1" style="width: 100%;"> <tr> <td style="width: 50%; text-align: center;">NO</td> <td style="width: 50%; text-align: center;">YES</td> </tr> <tr> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			<table border="1" style="width: 100%;"> <tr> <td style="width: 50%; text-align: center;">NO</td> <td style="width: 50%; text-align: center;">YES</td> </tr> <tr> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
3.a. Total acreage of the site of the proposed action?		0.216 acres					
b. Total acreage to be physically disturbed?		_____ acres					
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ acres					
4. Check all land uses that occur on, adjoining and near the proposed action.							
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland							

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		NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations?  b. Consistent with the adopted comprehensive plan?				
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?		NO	YES	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____		NO	YES	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?  b. Are public transportation service(s) available at or near the site of the proposed action?  c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?		NO	YES	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____		NO	YES	
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing potable water: _____		NO	YES	
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____		NO	YES	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?  b. Is the proposed action located in an archeological sensitive area?		NO	YES	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?  b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____		NO	YES	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban				
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?		NO	YES	
16. Is the project site located in the 100 year flood plain?		NO	YES	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES  b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ <input type="checkbox"/> NO <input type="checkbox"/> YES		NO	YES	

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18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____	NO	YES
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor name: <u>1</u>		Date: <u>2-8-22</u>
Signature: <u><i>Melvin J. J. Carbo</i></u>		

**Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"**

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?		
2. Will the proposed action result in a change in the use or intensity of use of land?		
3. Will the proposed action impair the character or quality of the existing community?		
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?		
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?		
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?		
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?		
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?		
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?		

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FEB - 9 2022	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.**

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<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.										
<input checked="" type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.										
<table border="0" style="width: 100%;"> <tr> <td style="width: 50%; border-bottom: 1px solid black;">Name of Lead Agency</td> <td style="width: 50%; border-bottom: 1px solid black;">Date</td> </tr> <tr> <td><i>Nelson Perez Garabito</i></td> <td></td> </tr> <tr> <td style="border-bottom: 1px solid black;">Print or Type Name of Responsible Officer in Lead Agency</td> <td style="border-bottom: 1px solid black;">Title of Responsible Officer</td> </tr> <tr> <td><i>Nelson Perez Garabito</i></td> <td></td> </tr> <tr> <td style="border-bottom: 1px solid black;">Signature of Responsible Officer in Lead Agency</td> <td style="border-bottom: 1px solid black;">Signature of Preparer (if different from Responsible Officer)</td> </tr> </table>		Name of Lead Agency	Date	<i>Nelson Perez Garabito</i>		Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer	<i>Nelson Perez Garabito</i>		Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)
Name of Lead Agency	Date										
<i>Nelson Perez Garabito</i>											
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer										
<i>Nelson Perez Garabito</i>											
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)										

**INCORPORATED VILLAGE OF FREEPORT  
ZONING BOARD OF APPEALS DECISION**

**DATE: November 17, 2022**

**APPROVAL**

Building Department Permit Application# 20222624

Chairman, regarding Application #2022-32 for the premises located at 149 North Bayview Avenue, Freeport, the Applicant comes before this Board seeking a variance from Village Ordinances §210-6A, 210-35(A)(2), 210-35(C)(1), 210-35(C)(2) seeking approval to construct a new 312 square foot rear addition, a 144 square foot gazebo, and maintain a 322.56 square foot shed.

I, Ben Jackson, move that this Board make the following findings of fact:

A public hearing was held on September 22, 2022, wherein Salema Brown represented applicant. He explained that the application started with a stop work order in regard to a gazebo, which was constructed without a permit. They are demolishing it, but want to relocate a new gazebo. The gazebo will encroach onto the secondary front yard. The shed has been in existence for more than four years. The proposed extension will make the house larger and more comfortable, as space is currently limited in the one story house.

Applicant is requesting a 2.7 foot rear setback variance due to the rear extension. Applicant is requesting the ability to locate an accessory structure (gazebo) in a secondary front yard. Finally, applicant is requesting a 2.5 foot rear yard setback for an accessory structure (shed).

As to the three variance requested, the Board has found that:

1. On balance, the benefit to the applicant by the granting of this variance is not outweighed by the detriment to the health, safety and welfare of the neighborhood or community if such variance were to be granted. The Board has determined:
  - a. that an undesirable change will not be produced in the character of the neighborhood and a detriment to nearby properties will not be created by the granting of the area variance;
  - b. that the benefit sought by the applicant cannot be achieved by some method, feasible for the applicant to pursue, other than an area variance;
  - c. that the requested area variance is insubstantial;
  - d. that the proposed variance will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district; and
  - e. that the alleged difficulty may be self-created, but this factor alone is not dispositive.

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The Board, as lead agency has determined that this action is a Type II action and under SEQRA and no further review is required.

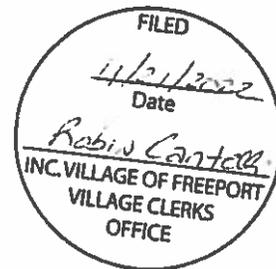
I further move that this application be granted subject to the following conditions:

1. Applicant/Owner must comply with all the Rules and Regulations of the Village of Freeport.
2. Applicant must obtain the required permits from the Building Department.
3. This application for variance(s) is being granted on the basis of the specific use proposed. If anything in this application is to change, the applicant must return to the Board for further review.

Second by: Charles Hawkins

The Clerk polled the Board:

Deputy Carey	Excused
Member Mineo	In Favor
Member Jackson	In Favor
Member Hawkins	In Favor
Alternate Scopelitis	In Favor
Alternate Pinzon	In Favor
Chairperson Rhoden	In Favor



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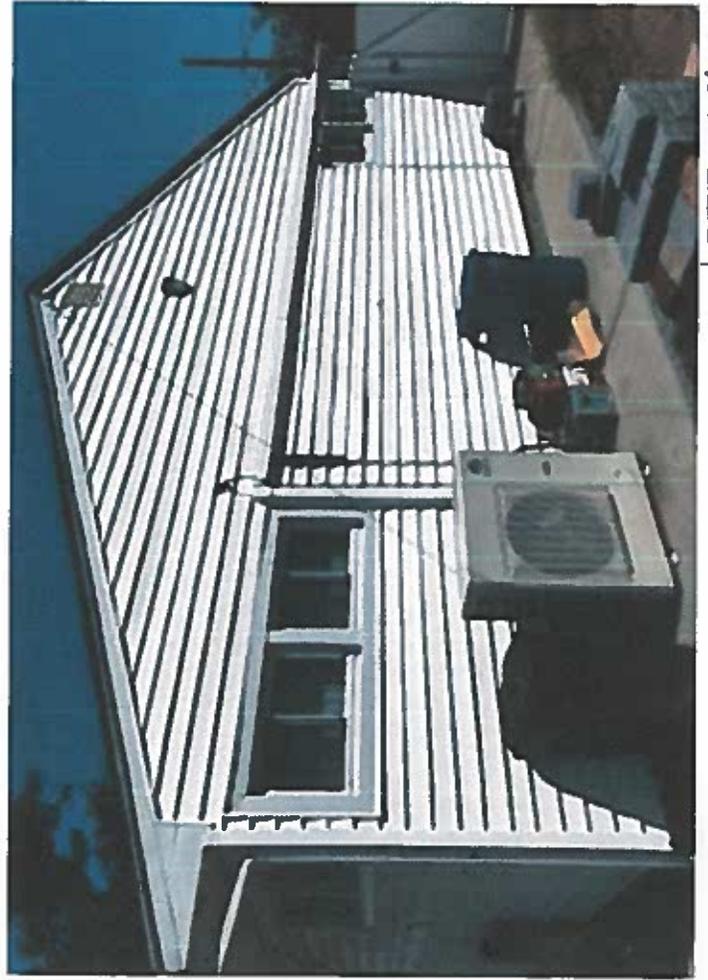


RIGHT ELEVATION

149 N BAYVIEW

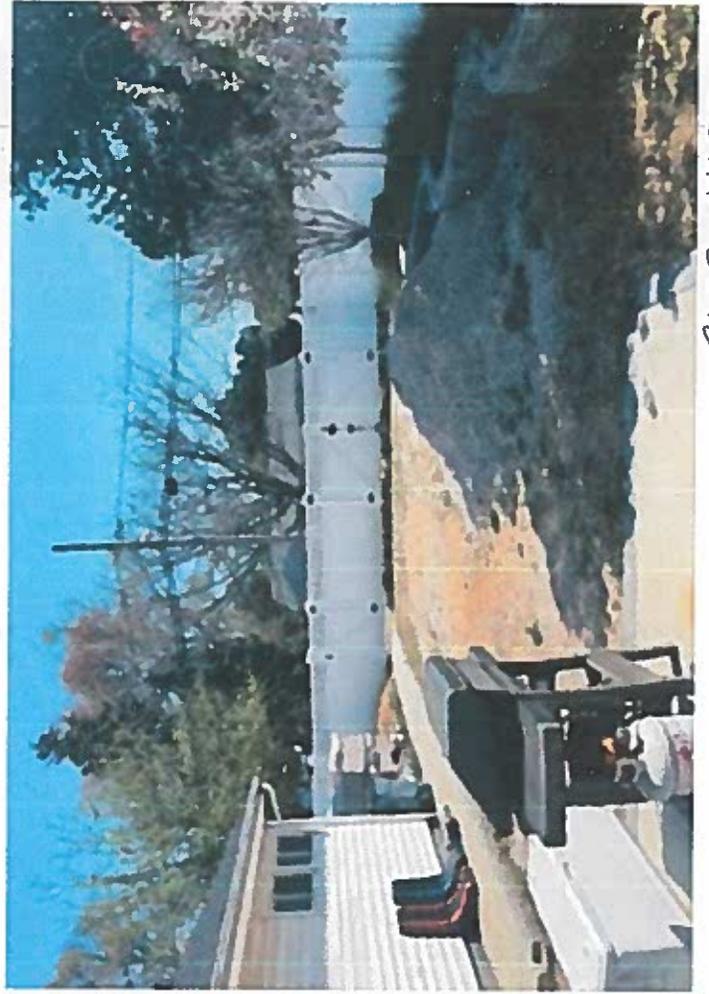


RIGHT FACADE

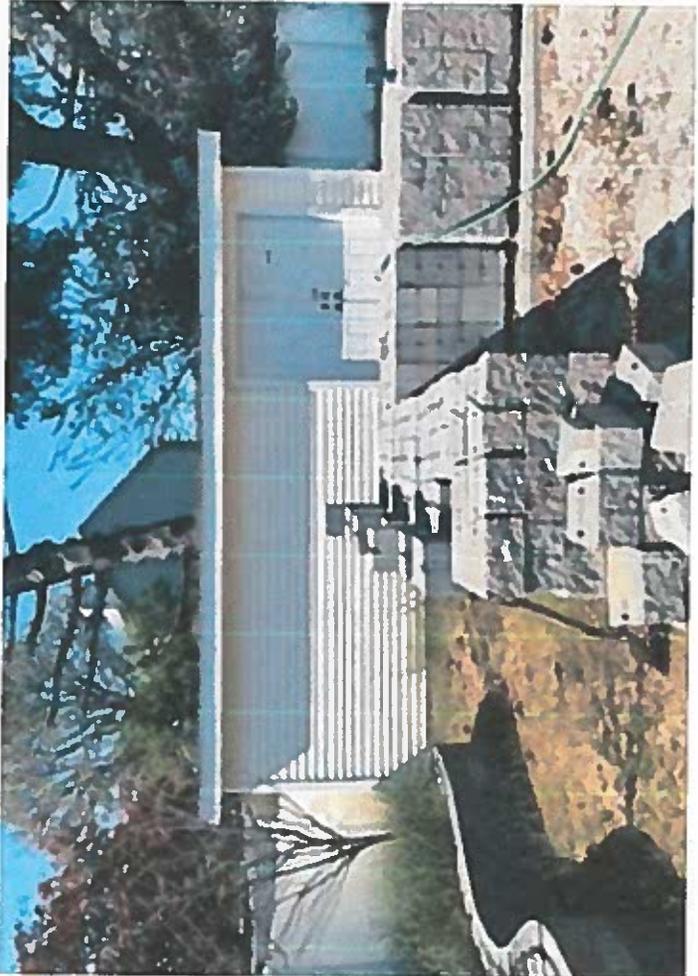


LEFT FACADE

149 N BAYVIEW

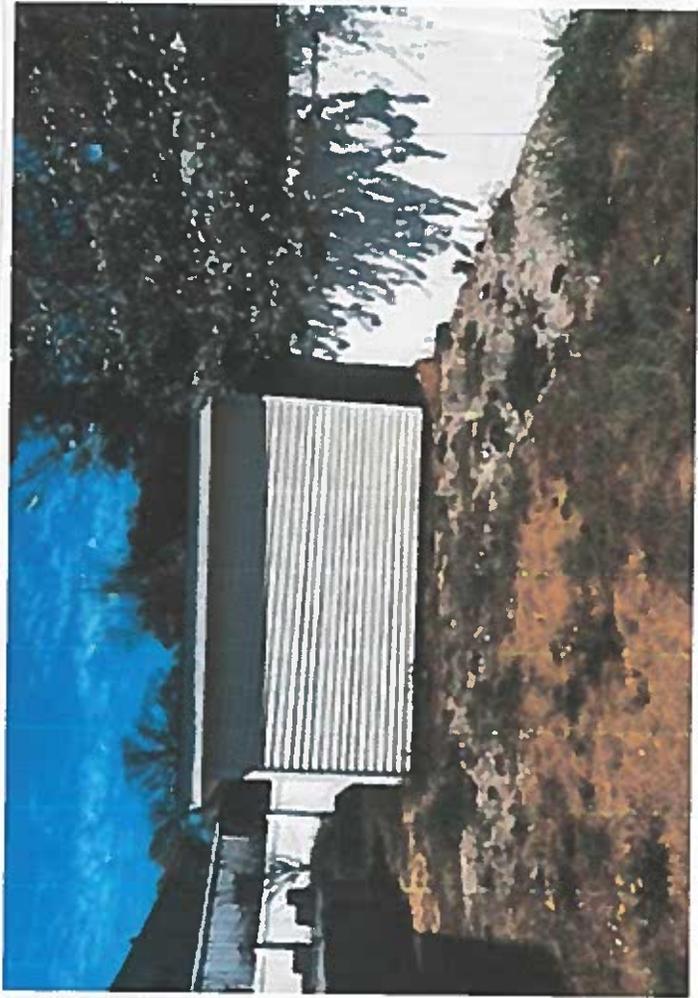


REAR YARD

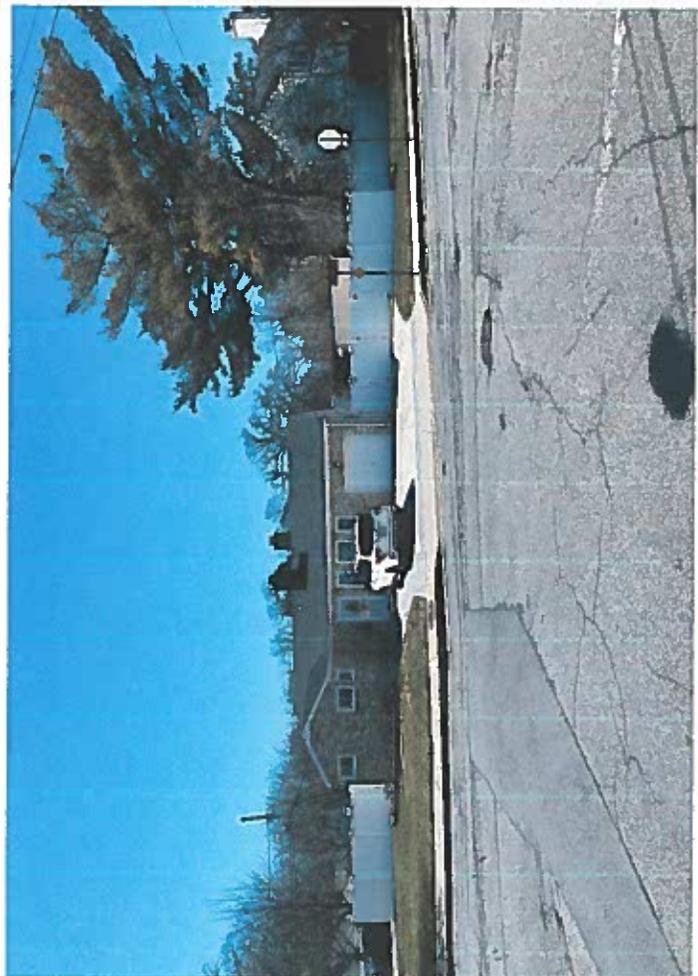


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149 N BAYVIEW

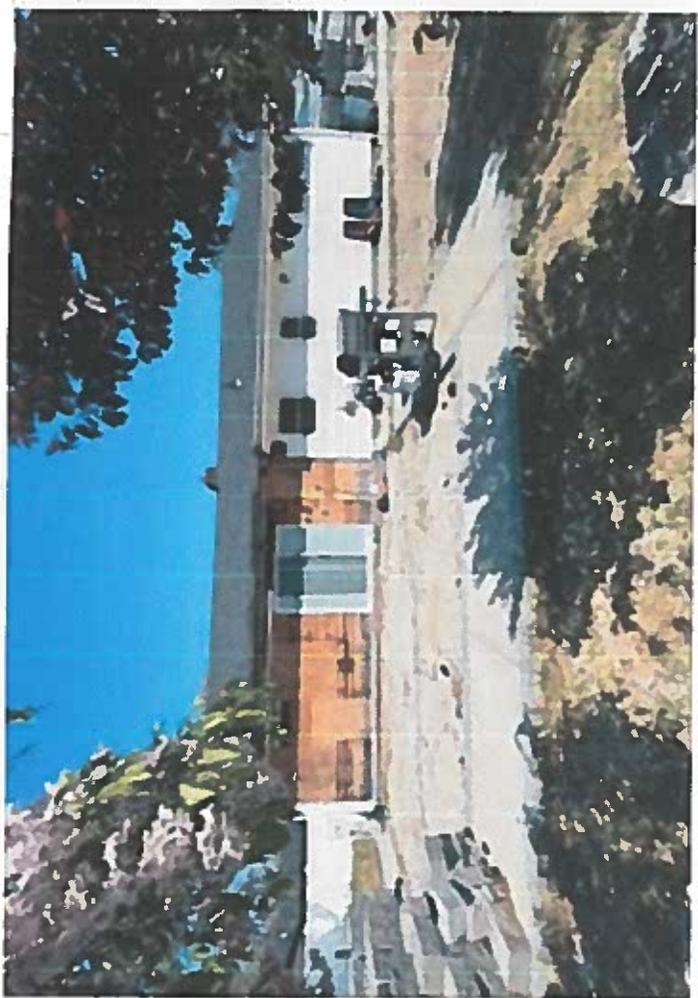


SHED



149 N BAYVIEW

FRONT FACADE



REAR FACADE

SOUTH SIDE PARCEL



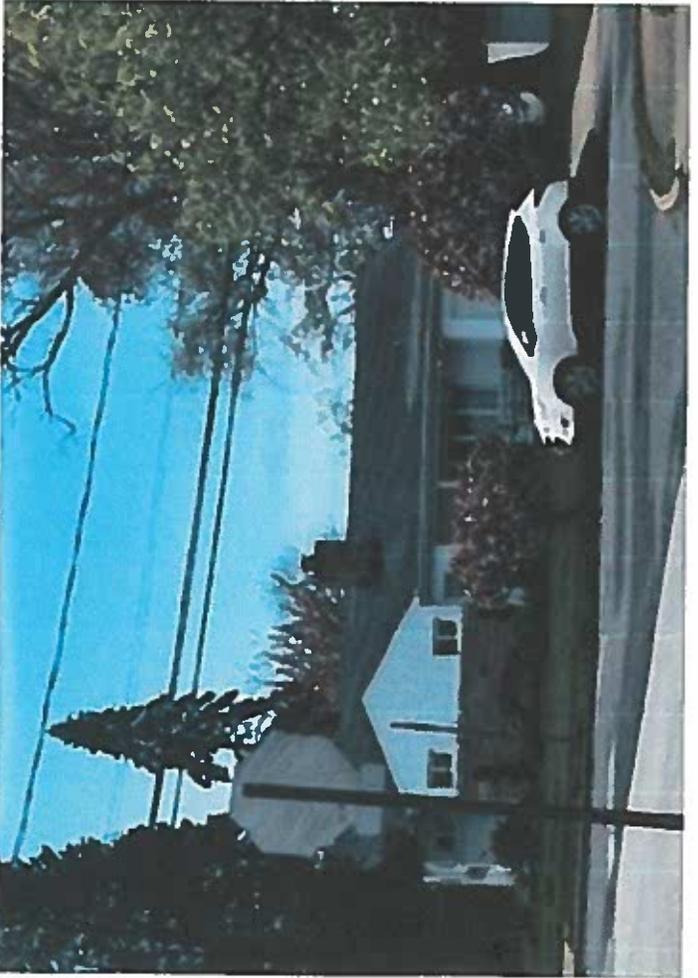
FRONT SIDE PARCEL



RIGHT SIDE PARCEL



LEFT SIDE PARCEL

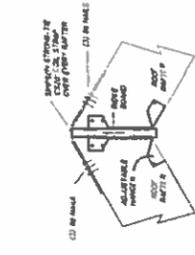




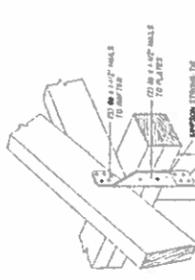


# STRAPPING DETAILS

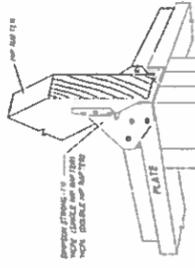
STRAPPING CAN BE INSTALLED DIRECTLY TO ROUGH FRAMING OR OVER PLYWOOD SHEATHING. CONTRACTOR TO CONTACT LOCAL BUILDING DEPT. FOR REQUIRED STRAPPING INSPECTION.



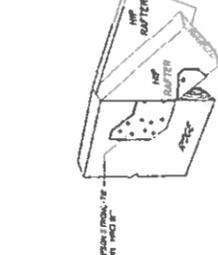
**S1** RAFTER TO RAFTER CONNECTION DETAIL



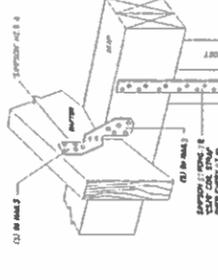
**S2** ROOF RAFTER TO PLATE TO WALL STUD DETAIL



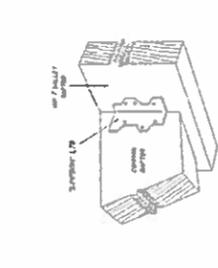
**S3** HIP RAFTER TO PLATE DETAIL



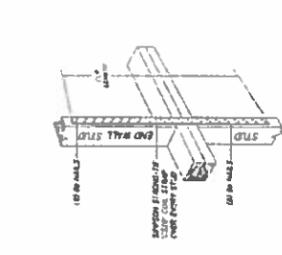
**S4** HIP RAFTER TO HIP RIDGE DETAIL



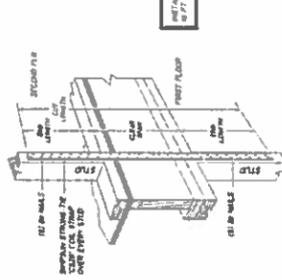
**S5** PORCH ROOF RAFTER TO BEAM TO POST DETAIL



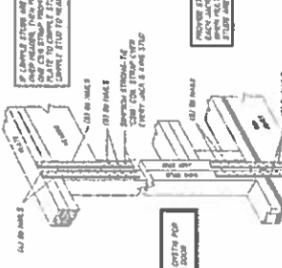
**S6** COMMON RAFTER TO HIP/VALLEY RAFTER DETAIL



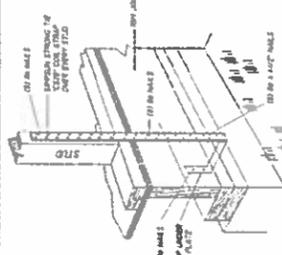
**S7** GABLE STUD WALL TO WALL STUD DETAIL



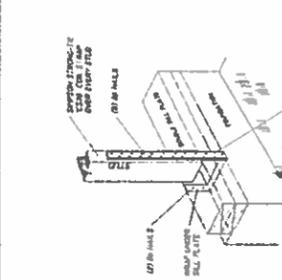
**S8** FIRST FLOOR WALL STUD DETAIL



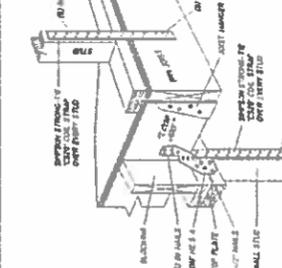
**S9** JACK STUD AT HEADER OPENING DETAIL



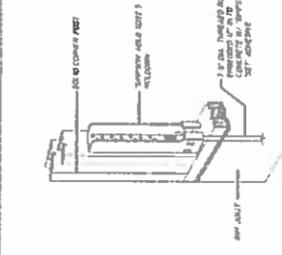
**S10** Wall Stud to Rim Joist Detail



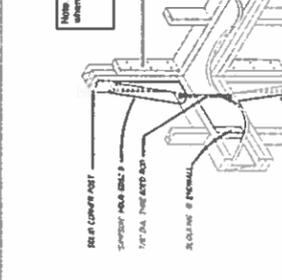
**S11** Wall Stud to Sill Plate at Garage Wall



**S12** Cantilevered Wall Stud to Rim to Top Plate Detail



**H1** HOLDDOWN CONNECTION FOR FIRST FLOOR TO FOUNDATION WALL CONNECTION

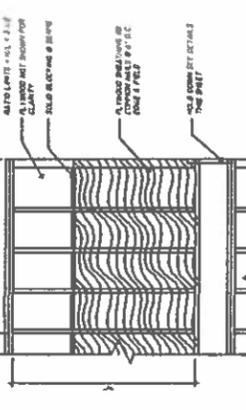


**H2** HOLDDOWN CONNECTION FOR FIRST FLOOR TO SECOND FLOOR



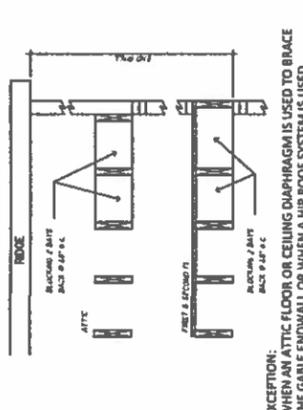
**STRAPPING INSTRUCTIONS:**  
 1. ALL STRAPPING TO BE 1/4" WIDE 20 GA. STEEL.  
 2. USE STAINLESS STEEL COILED STRAP, UNLESS NOTED OTHERWISE.  
 3. USE STAINLESS STEEL STRAPS & FASTENING OR NOT CORRODED GALVANIZED WHEN IN CONTACT WITH CONCRETE.  
 4. INSTALL STRAPPING FOR ALL NEW CONSTRUCTION, AND WHERE NOTED ON PLANS, FOLLOWING:  
 RAFTER TO RAFTER OVER ROOF  
 RAFTER TO PLATE TO STUD  
 COMMON RAFTER TO HIP/VALLEY RAFTER  
 2x6 WALL STUDS TO WALL STUDS  
 HEADERS TO JACK STUDS  
 WALL STUDS TO RIM JOIST  
 CANTILEVERED STUDS TO WALL BELOW  
 RIM JOIST TO SILL PLATE  
 RAFTER TO LEDGER WITH JOIST HANGER  
 RAFTER TO BEAM TO POST  
 RAFTER TO BEAM TO POST BEAM  
 POST TO BEAM TO POST  
 JOIST TO BEAM

# SHEARWALL DETAIL (TYPICAL)



**NOTE:**  
 1. SHEATHING AS PART OF SHEARWALL SEGMENT WHERE NOTED ON FLOOR PLAN, SHALL BE CONTINUOUS FROM SILL TO TOP PLATE OR ADEQUATELY BLOCKED AT JOINTS.  
 2. HOLD DOWNS REQUIRED AT ALL CORNERS OF STRUCTURE. SEE DETAILS THIS SHEET.  
 3. REFER TO NAILING AND STRAPPING DETAILS THIS SHEET FOR A CONTINUOUS LOAD PATH.

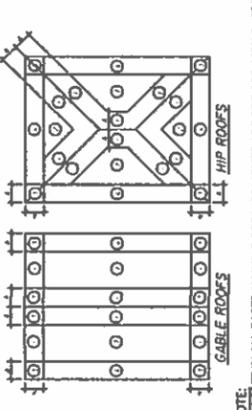
# BLOCKING AT ENDWALL



**EXCEPTION:**  
 WHEN AN ATTIC FLOOR OR CEILING DIAPHRAGM IS USED TO BRACE THE GABLE ENDWALL OR WHEN A HIP ROOF SYSTEM IS USED BLOCKING IS NOT REQUIRED.

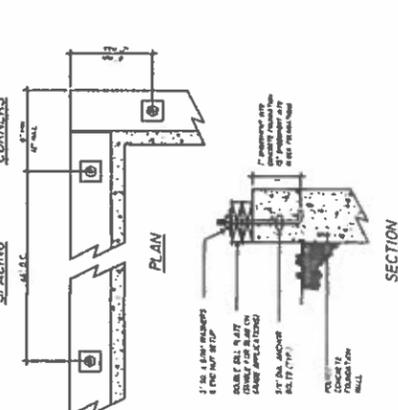
# NAIL SPACING FOR SHEATHING @ PRESSURE ZONES

FIELD	ZONE 1	ZONE 2	ZONE 3	ZONE 4
	8" O.C.	12" O.C.	12" O.C.	4" O.C.
PANEL EDGES	4" O.C.	6" O.C.	3" O.C.	3" O.C.



**NOTE:**  
 JACK STUDS IN ALL CASES NAILING REQUIREMENTS ARE FOR 120 LBS/IN. 3-SEC PEAK GUST. SPACING IS BASED ON 1/2" SHEATHING & 8D COMMON NAILS.

# ANCHOR BOLT SPECIFICATION



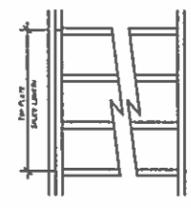
# NAILING & STRAPPING @ EXTERIOR WINDOWS / DOOR HEADERS

**ROUGH OPENING REQUIREMENTS FOR WINDOW OPENINGS**

Notation	A	B	C	D	E	F
2'-0"	7	(1) 2x4	1	1	1	1
3'-0"	7	(1) 2x4	2	2	2	2
4'-0"	7	(1) 2x4	2	2	2	2
5'-0"	7	(1) 2x4	3	2	2	2
6'-0"	7	(1) 2x4	3	2	2	2
7'-0"	7	(2) 2x4 or (1) 2x6	4	3	3	3
8'-0"	7	(2) 2x4 or (1) 2x6	5	3	4	3
10'-0"	7	(2) 2x4 or (1) 2x6	5	3	4	3
11'-0"	7	(2) 2x6	6	4	5	4
12'-0"	7	(2) 2x6	6	5	6	5

**Notations:**  
 A. NUMBER OF 8D NAILS AT EACH END OF STRAPPINGS  
 B. NUMBER OF 8D STUDS ON THE TOP (LOOKING UP) OR BOTTOM (LOOKING DOWN) OF EACH SIDE OF HEADER  
 C. NUMBER OF FULL HEIGHT NAIL STUDS AT EACH SIDE OF HEADER  
 D. NUMBER OF 16D NAILS END NAILED THROUGH ADJACENT KING STUD TO END OF HEADER AT EACH SIDE  
 E. NUMBER OF JACK STUDS AT EA. END OF HEADERS (ASSUME 8D/1 HEADER)  
 F. NUMBER OF 16D NAILS END-NAILED THROUGH ADJACENT JACK STUDS TO END OF SILL(S) AT EACH SIDE (DOES NOT APPLY TO DOORS)

# SPlicing OF TOP PLATES



**TOP PLATE SPLICE REQUIREMENTS**

Building Dimension (ft.)	Number of 16d common nails per each side of splice (5d)
12'-0"	5
15'-0"	6
20'-0"	8
24'-0"	10
28'-0"	11
32'-0"	13
35'-0"	14
40'-0"	16
50'-0"	20
60'-0"	24
70'-0"	28
80'-0"	32

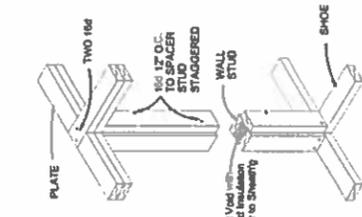
1. Tabulated splice top plate to top plate connection shall not have more than 2-36d nails per 6"
2. Tabulated splice assume a building grade material.
3. Top plates shall be a minimum of stud

# MULTIPLE PIECE BEAMS

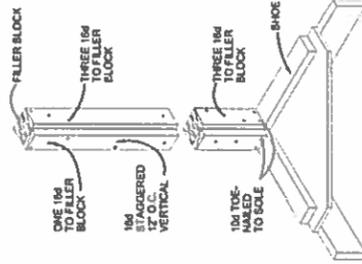
**CONNECTION OF MULTIPLE PIECES OF TOP-LOADED BEAMS (1)**  
 1 1/2" Width Plates:  
 • MINIMUM OF 3 ROWS 10d (3" X 0.125") NAILS AT 12" O.C.  
 • MINIMUM OF 4 ROWS 10d (3" X 0.125") NAILS AT 12" O.C. FOR 14" AND DEEPER BEAMS  
 • IF USING 12d (3 1/2") OR LARGER NAILS, THE NUMBER OF NAILING ROWS MAY BE REDUCED BY ONE.

- 3/8" Width Plates:  
 • MINIMUM OF 2 ROWS 1/2" BOLTS AT 24" O.C. STAGGERED

# TYPICAL EXT. PARTITION INTERSECTION DETAIL



# TYPICAL EXT. CORNER POST



**BELLO Architects**

8324 Northern Boulevard  
 East Norwich, New York 11732  
 11 Broadway - Suite 3  
 Amityville, New York 11701  
 516 568 4848 Phone  
 516 513 0924 Fax  
 info@belloarchitects.com  
 www.belloarchitects.com

**DATE ISSUED:**  
 10-5-2021 - Issued For Permit  
 10-5-2022 - Revision Per Town  
 - Floor Schedule Addition (Variance)  
 - Day Exposure Diagram  
 10-10-2023 - Revision Per Town  
 10-26-2023 - Revision Per Town

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8334 Northern Boulevard  
East Norwich, New York 11732

11 Broadway - Suite 3  
Amityville, New York 11701

516.368.4848 Phone  
516.368.0824 Fax  
info@belloarchitects.com  
www.belloarchitects.com

**DATE ISSUED:**

- 10-6-2021 - Issued For Permit
- 4-7-2022 - Revision Per Town
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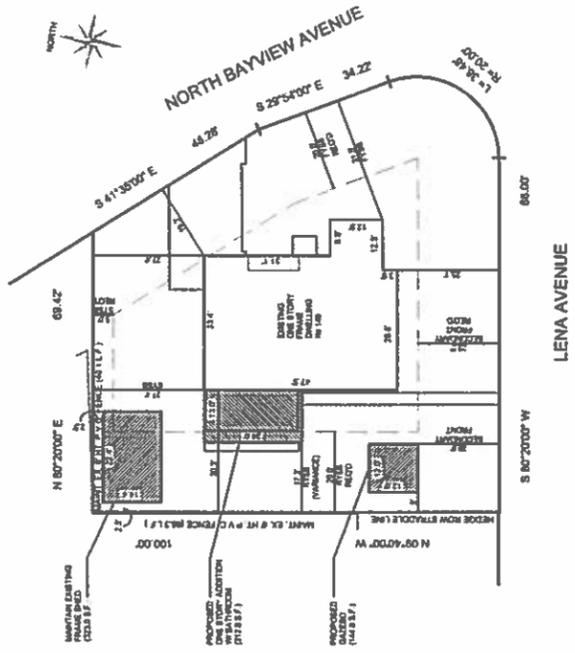
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**REGISTERED ARCHITECT**  
K. BELLO  
STATE OF NEW YORK

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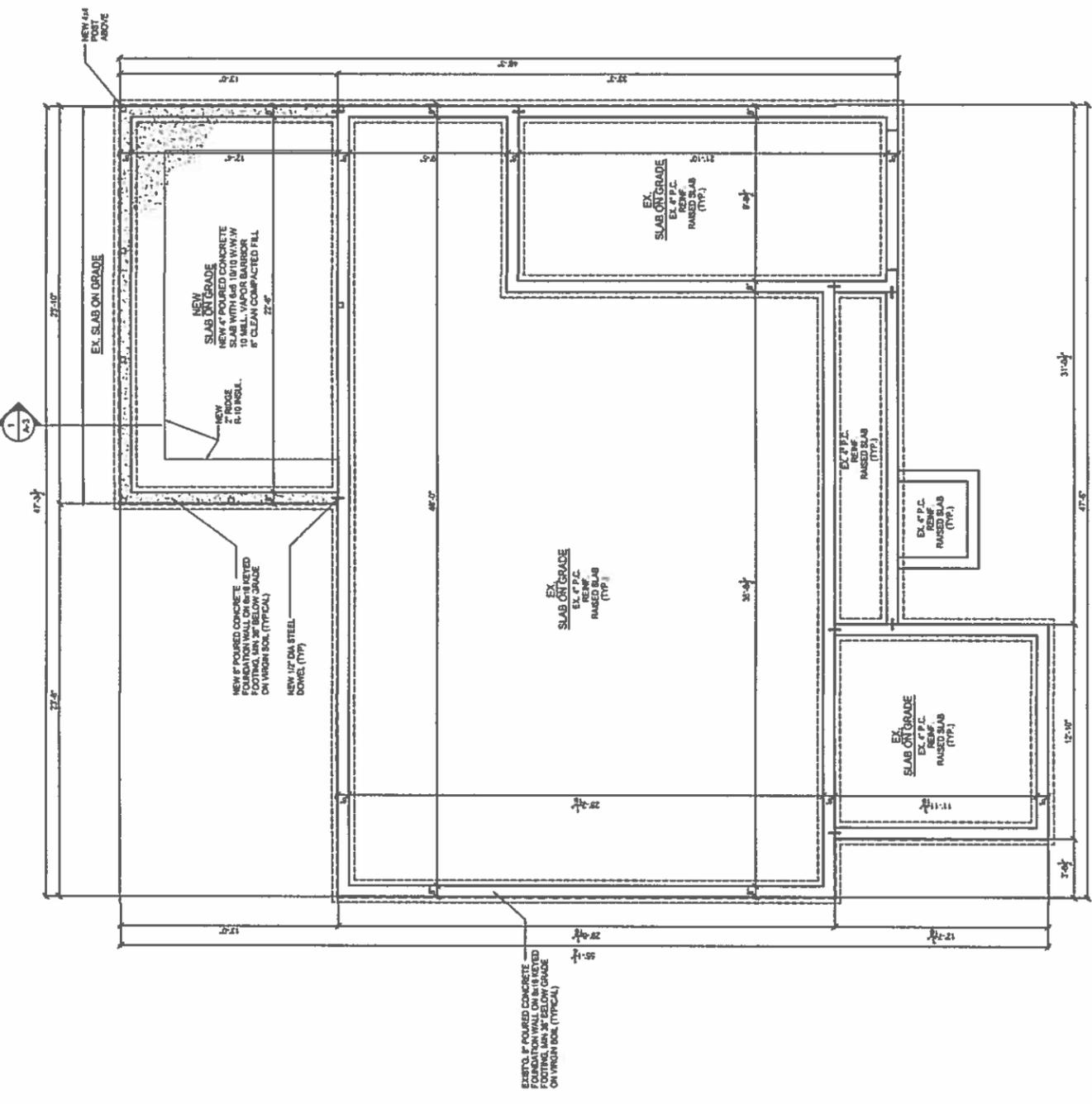
**1 PLOT PLAN**  
SCALE: 1" = 20'-0"

**ZONING ANALYSIS**  
149 NORTH BAYVIEW AVENUE, FREEPORT, N.Y.  
SECTION: 46 BLOCK: 460 LOT: 3A

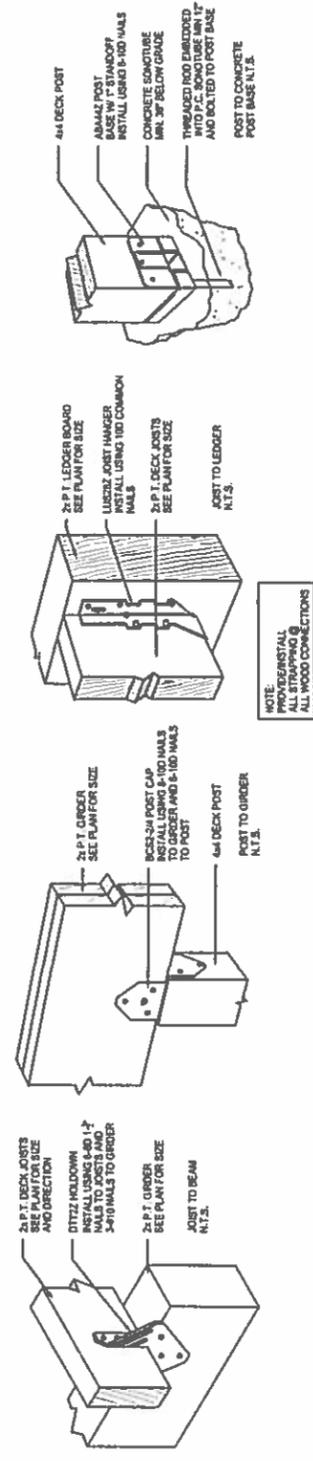
ISSUE	REQUIRED PERMITTED	MAINTAIN EXISTING
LOT AREA	9,000.0 SQ. FT.	8,434.4 SQ. FT. (NO CHANGE)
LOT COVERAGE	30.0 % = 2,700.0 SQ. FT.	28.0 % = 2,463.7 S.F.
SIDE YARD MIN.	8.0 FT.	27.4 FT. (TO REAR ADDITION)
SIDE YARD AGG.	N/A	N/A
REAR YARD	20.0 FT.	11.3 FT. (TO REAR ADD. (VARIANCE))
FRONT YARD	20.0 FT.	14'-0"
MAX. HEIGHT	20.0 FT.	21.5 FT. (TO N. BAYVIEW AVENUE)
GROSS FLOOR AREA	2,483.4 SF	1,847.7 SF (TO LENA AVENUE) 1,847.7 SF (TO LENA AVENUE) 312.0 SF. ALSO ONE STRY 312.0 SF. ALSO ONE STRY 312.0 SF. ALSO ONE STRY 312.0 SF. ALSO ONE STRY 2,483.4 SF TOTAL

NOTED: 7/18/23 (FROM SURVEY) PREPARED BY GERALD T. CHUCKLEY PROFESSIONAL LAND SURVEYORS, ON NOVEMBER 21, 2018

- STRUCTURE LEGALIZATION NOTES**
- 1) THE PURPOSE OF THESE DRAWINGS ARE TO MAINTAIN AN EXISTING CONDITION.
  - 2) ALL PLUMBING TO COMPLY WITH STATE AND LOCAL CODES.
  - 3) ALL ELECTRICAL WORK TO BE DONE BY A LICENSED ELECTRICIAN THE ELECTRICIAN TO PROVIDE THE PERMITS WITH AN APPROPRIATE ELECTRICAL APPROVAL CERTIFICATE AT HIS OR HER OWN RISK.
  - 4) DIMENSIONS HAVE PRECEDENCE OVER SCALE.
  - 5) ALL CONCRETE TO BE 3000 P.S.I.
  - 6) ALL LUMBER IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.
  - 7) ALL WORK TO BE DONE IN ACCORDANCE WITH THE NEW YORK STATE UNIFORM FIRE PREVENTION AND SAFETY CODE.
  - 8) THESE PLANS SHOW EXISTING CONDITIONS AS BEST DETERMINED BY VISUAL INSPECTION.
  - 9) THESE PLANS ARE NOT TO BE USED FOR FUTURE CONSTRUCTION PROJECTS OR LEGALIZATIONS.
  - 10) THESE PLANS ARE NOT TO BE USED FOR HOME INSPECTION PURPOSES AND DO NOT VALIDATE ANY CONSTRUCTION MEANS OR METHODS.



**2 FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"

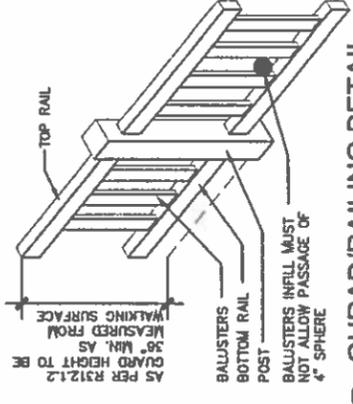


**3 STRAPPING DETAILS**  
NOT TO SCALE

**Legend**

- NEW CONSTRUCTION: 8" P.C. FOUNDATION WALLS
- EXISTING CONSTRUCTION: 8" P.C. FOUNDATION WALLS
- NEW CONSTRUCTION: 24" EXTERIOR WALLS U.O.N.
- EXISTING CONSTRUCTION: 24" EXTERIOR WALLS U.O.N.
- EXISTING TO BE REMOVED
- 2x6 WALL HOLD DOWN CONNECTOR PER 2015 IRC. SEE 04-03
- SOLID POST IN WALL OR COLLAR
- STEEL BRIDGE OR FLUSH CONNECTION
- NEW HEADER OR ORDER

- MULTI SENSOR SMOKE AND CARBON MONOXIDE DETECTOR INSTALLED PER 2015 IRC
- MULTI SENSOR SMOKE DETECTOR INSTALLED PER 2015 IRC
- WINDOW TAG SEE RC-1 SHARED INDICATOR EGRESS COMPLIANT
- DOOR TAG SEE RC-1

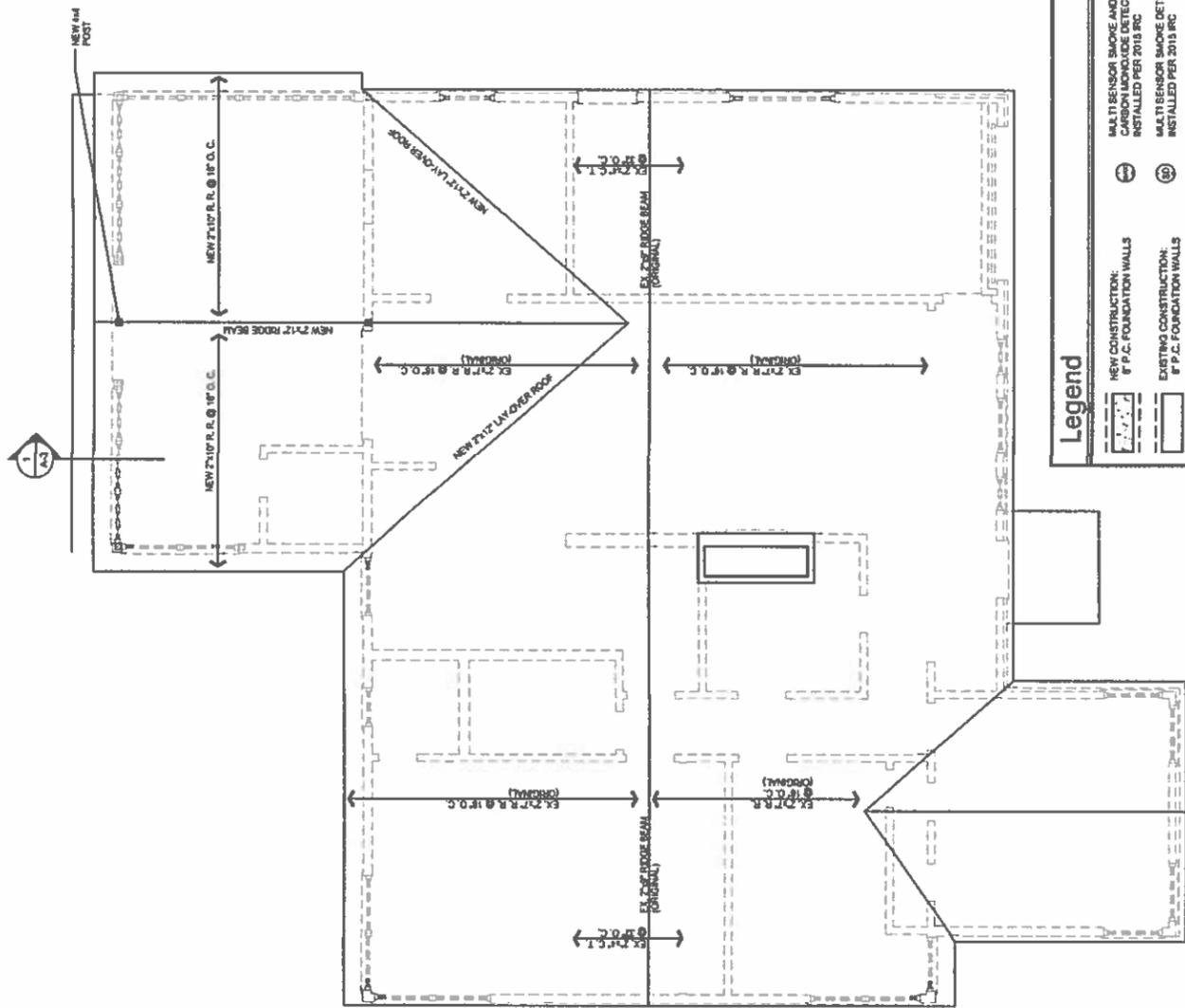


**4 GURAD/RAILING DETAIL**  
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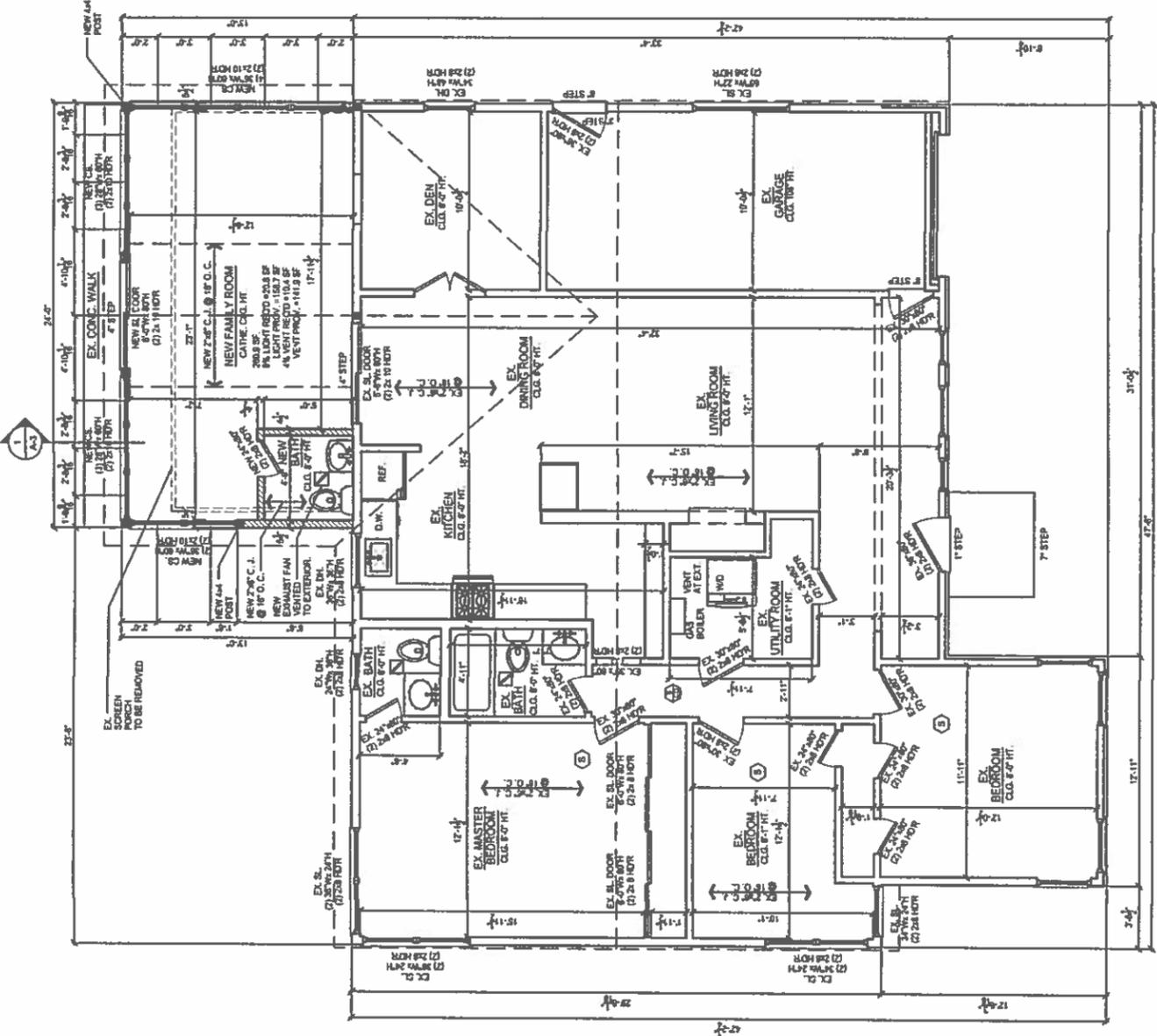


**Legend**

	NEW CONSTRUCTION: 8\"/>		MULTI SENSOR SMOKE AND CARBON MONOXIDE DETECTOR INSTALLED PER 2018 IRC
	EXISTING CONSTRUCTION: 8\"/>		MULTI SENSOR SMOKE DETECTOR INSTALLED PER 2018 IRC
	NEW CONSTRUCTION: 8\"/>		WINDOW TAG SEE BC-1 SHADING INDICATES EGRESS COMPLIANT
	EXISTING CONSTRUCTION: 8\"/>		DOOR TAG SEE BC-1
	SHEAR WALL TO BE REMOVED CONNECTOR PER 2018 IRC. SEE CH-03		
	POST ABOVE		
	SOLID POST IN WALL OR COLUMN		
	STEEL BRIDLE OR FLUSH CONNECTION		
	NEW HEADER OR GIRDER		

**2** ROOF PLAN  
SCALE: 1/4" = 1'-0"

- STRUCTURE LEGALIZATION NOTES**
- THE PURPOSE OF THESE DRAWINGS ARE TO MAINTAIN AN EXISTING CONDITION.
  - ALL ELECTRICAL WORK SHALL BE DONE BY A LICENSED ELECTRICIAN TO THE ELECTRICAL CODE.
  - PROVIDE THE HOMEOWNER WITH AN UPDATE ELECTRICAL APPROVAL CERTIFICATE AT THE COMPLETION OF THE JOB.
  - DIMENSIONS HAVE PRECEDENCE OVER SCALE.
  - ALL CONCRETE TO BE 3000 PSI.
  - ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE.
  - THESE PLANS REPRESENT EXISTING CONDITIONS AS BEST COULD BE DETERMINED BY VISUAL INSPECTION.
  - THESE PLANS ARE NOT TO BE USED FOR FUTURE CONSTRUCTION PROJECTS OR LEGALIZATION.
  - VALIDATE ANY CONSTRUCTION MEANS OR METHODS.

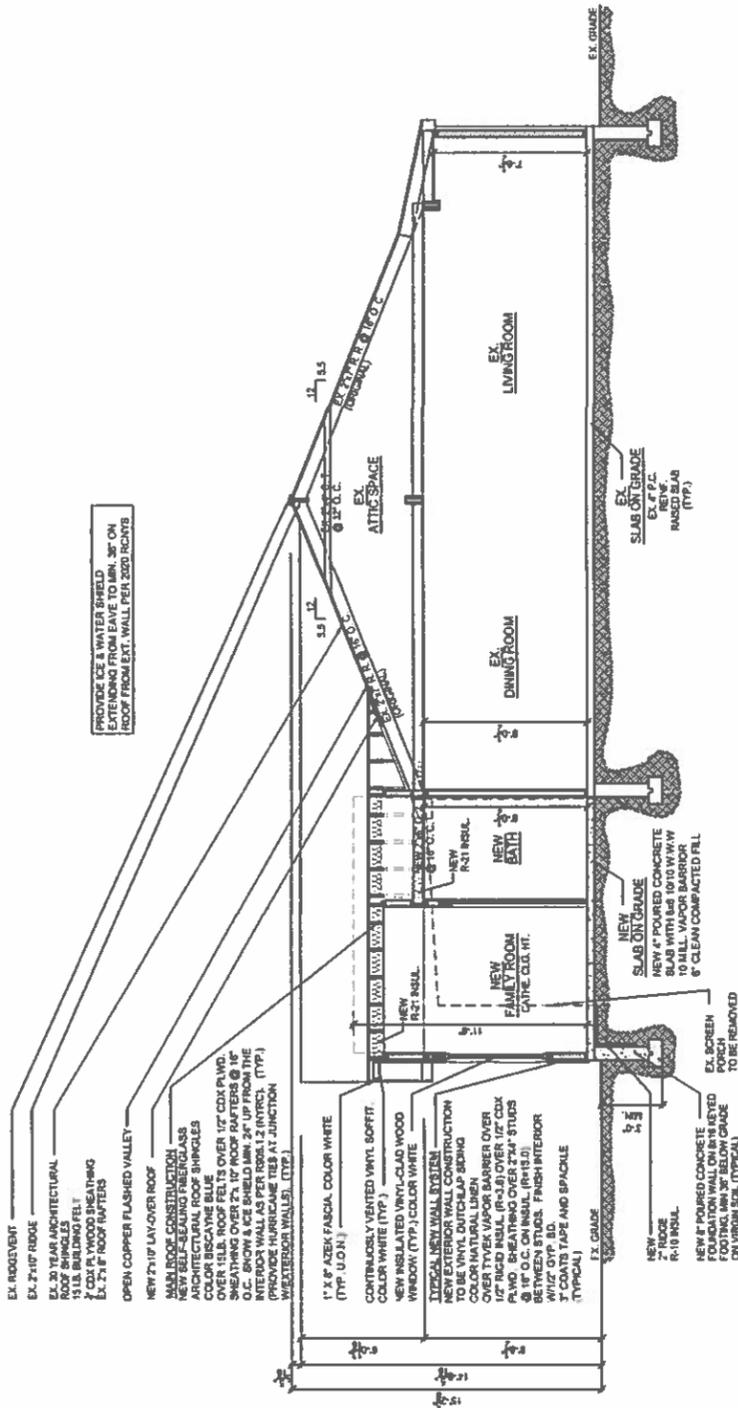


**1** FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"

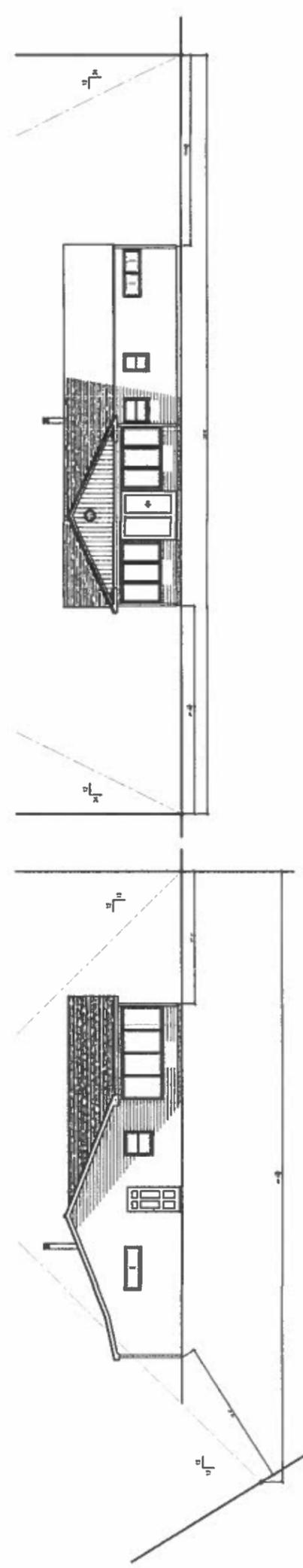
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1 SECTION  
SCALE: 1/4" = 1'-0"



2 SKY EXPOSURE DIAGRAM  
NOT TO SCALE

**STRUCTURE LEGALIZATION NOTES**

- 1) THE PURPOSE OF THESE DRAWINGS ARE TO MAINTAIN AN EXISTING CONDITION.
- 2) ALL PLUMBING TO COMPLY WITH STATE AND LOCAL CODES.
- 3) ALL ELECTRICAL WORK TO BE DONE BY A LICENSED ELECTRICIAN THE ELECTRICIAN TO PROVIDE THE HOMEOWNER WITH AN UPDATE ELECTRICAL APPROVAL CERTIFICATE AT THE COMPLETION OF THE JOB.
- 4) THE WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE NYS BUILDING CODE.
- 5) ALL CONCRETE TO BE 3000 PSI.
- 6) ALL LUMBER IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED PREVENTION AND BUILDING CODE.
- 7) ALL WORK TO BE DONE IN ACCORDANCE WITH THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE.
- 8) THESE PLANS REPRESENT EXISTING CONDITIONS AS BEST COULD BE DETERMINED BY VISUAL INSPECTION.
- 9) LEGALIZATION.
- 10) THESE PLANS ARE NOT TO BE USED FOR HOME INSPECTION PURPOSES AND DO NOT VALIDATE ANY CONSTRUCTION MEANS OR METHODS.

**BELLO Architects**

6334 Northern Boulevard  
East Norwich, New York 11732

11 Broadway - Suite 3  
Amityville, New York 11701

616.309.4848 Phone  
616.613.0824 Fax  
info@josephbell architects.com  
www.josephbell architects.com

DATE ISSUED:

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4-7-2022	- Revision Per Town
	- City Exposure Diagram
	- Rear Surface Addition (Variance)
3-10-2023	- Revision Per Town
4-26-2023	- Revision Per Town

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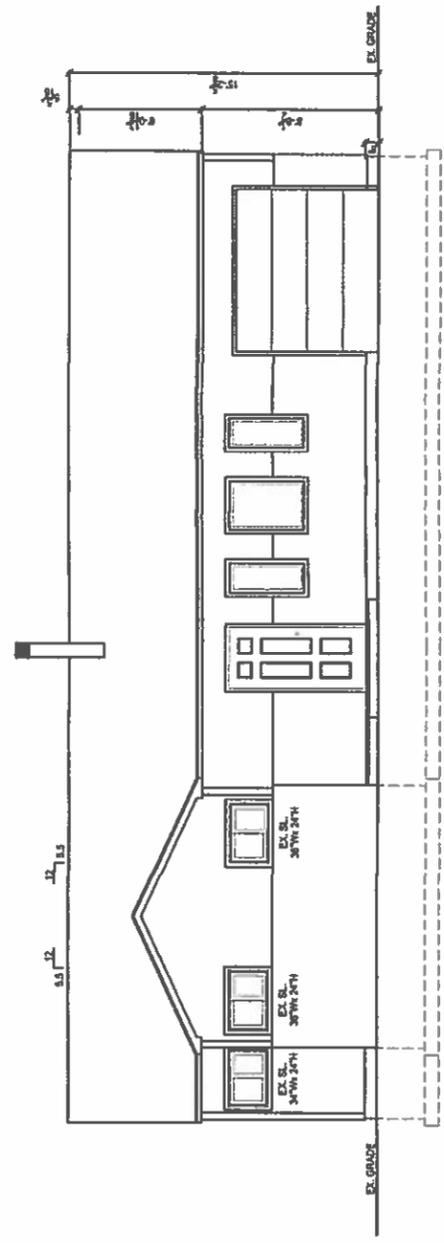
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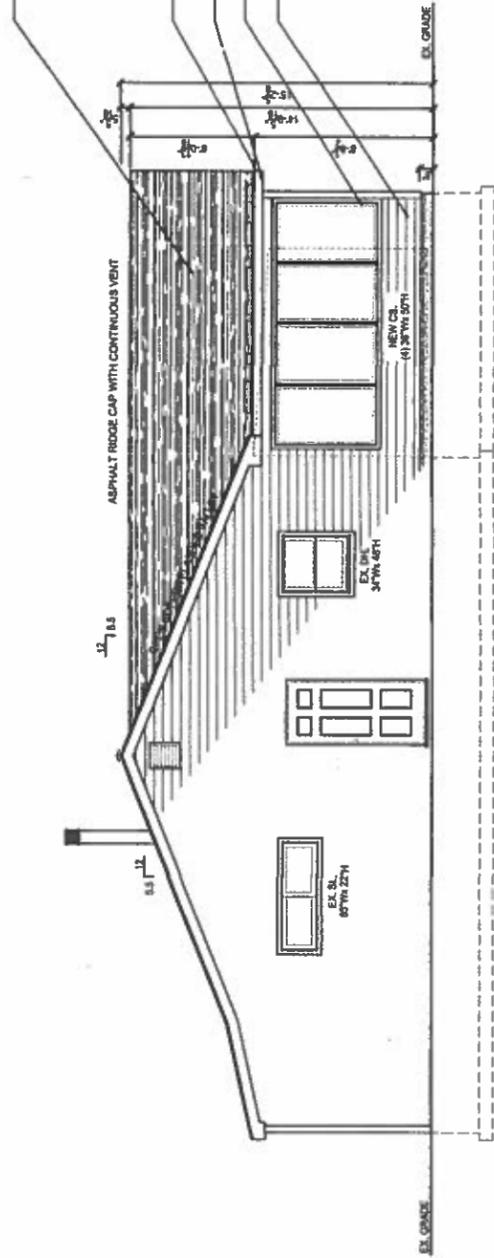
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1 FRONT ELEVATION  
SCALE: 1/4" = 1'-0"

- PROVIDE ICE & WATER SHIELD EXTENDING FROM EAVE TO MIN. 36" ON ROOF FROM EXT. WALL PER 2020 IBC/IRC
- MAIN ROOF CONSTRUCTION NEW SELF-SEALING FIBERGLASS OVER EXISTING ROOF SHINGLES OVER 1/8" B.S. ROOF FELT OVER 1/2" CDX P.L.W.D. SHEATHING OVER ROOF RAFTERS @ 16" O.C. EXIST. SNOW & ICE SHIELD MIN. 24" UP FROM THE EXIST. FINISH FLOOR (TYPICAL). (TYP.) PROVIDE MARRIAGE TIES AT JUNCTION W/ EXISTING WALLS). (TYP.)
- 1" X 4" AZEK FASCIA, COLOR WHITE (TYP. U.O.N.)
- CONTINUOUSLY VENTED VINYL SOFFIT, COLOR WHITE (TYP.)
- NEW INSULATED VINYL-CLAD WOOD WINDOW (TYP.) COLOR WHITE
- TYPICAL NEW WALL SYSTEM NEW EXTERIOR WALL CONSTRUCTION TO BE VINYL DUTCH-LAP SIDING COLOR NATURAL LINEN OVER TYVEK VAPOR BARRIER OVER 1/2" RIGID INSUL. (R-3.0) OVER 1/2" CDX P.L.W.D. SHEATHING @ 16" O.C. ON INSUL. BR-15.0) BETWEEN STUDS. FINISH INTERIOR W/ 3/8" GYPS. BD. 3" COATS TAPE AND SPACKLE (TYPICAL)



4 RIGHT-SIDE ELEVATION  
SCALE: 1/4" = 1'-0"

**STRUCTURE LEGALIZATION NOTES**

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- ALL PLUMBING TO COMPLY WITH STATE AND LOCAL CODES.
- ALL ELECTRICAL WORK TO BE DONE BY A LICENSED ELECTRICIAN THE ELECTRICIAN TO PROVIDE THE HOMEOWNER WITH AN UPDATE ELECTRICAL APPROVAL CERTIFICATE AT THE END OF THE PROJECT.
- ALL DIMENSIONS HAVE PRECEDENCE OVER SCALE.
- ALL CONCRETE TO BE 3000 P.S.I.
- ALL LUMBER IN CONTACT WITH CONCRETE TO BE PRESURE TREATED.
- ALL WORK TO BE DONE IN ACCORDANCE WITH THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE.
- THESE PLANS REPRESENT EXISTING CONDITIONS AS BEST COULD BE DETERMINED BY VISUAL INSPECTION.
- THESE PLANS ARE NOT TO BE USED FOR FUTURE CONSTRUCTION PURPOSES OR LEGALIZATIONS.
- THESE PLANS ARE NOT TO BE USED FOR HOME INSPECTION PURPOSES AND DO NOT VALIDATE ANY CONSTRUCTION METHODS OR METHODS.

DATE ISSUED:	10-6-2021 - Issued For Permit
4-7-2022 - Revision Per Town	
- By Exposure Diagram	
- Rear 8'-0" Addition (Variance)	
5-10-2023 - Revision Per Town	
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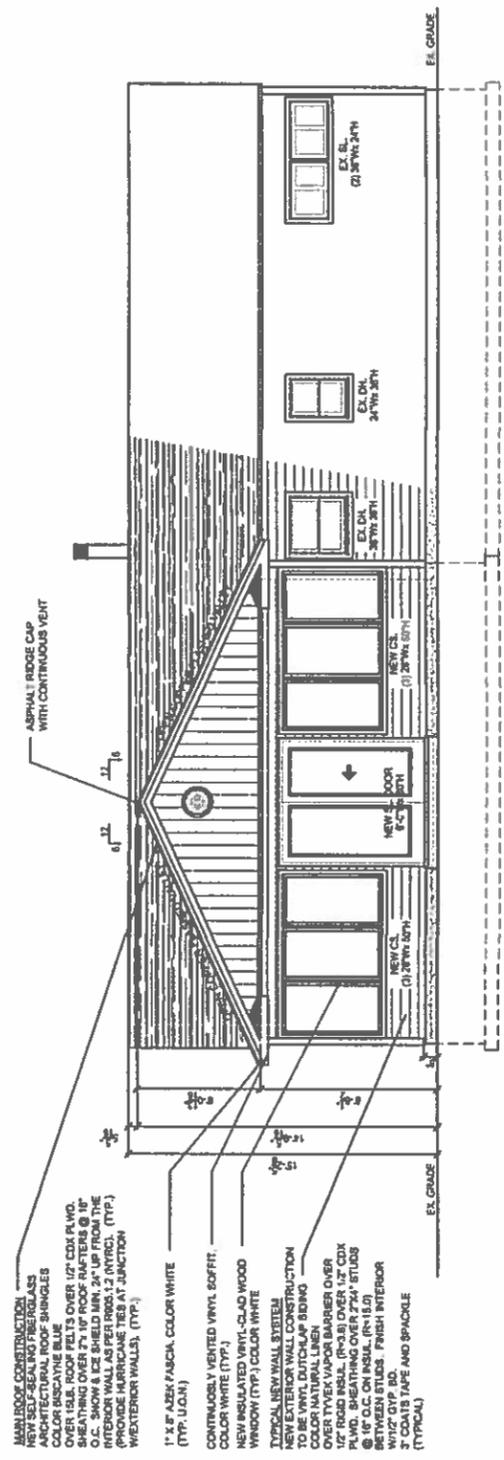
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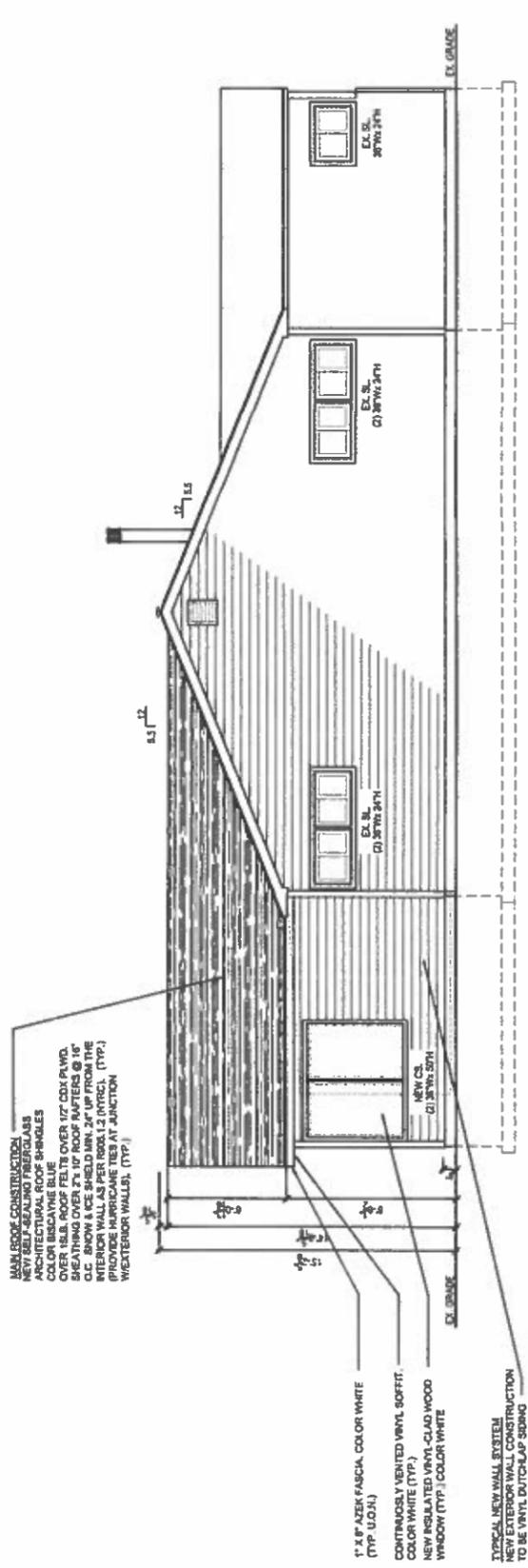


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**2 REAR ELEVATION**  
SCALE: 1/4" = 1'-0"



**3 LEFT-SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"

**STRUCTURE LEGALIZATION NOTES**

- 1) THE PURPOSE OF THESE CHANGES ARE TO MAINTAIN AN EXISTING CONDITION.
- 2) ALL ELECTRICAL WORK TO BE DONE BY A LICENSED ELECTRICIAN THE ELECTRICIAN TO PROVIDE THE HOMEOWNER WITH AN UPDATE ELECTRICAL APPROVAL CERTIFICATE AT THE COMPLETION OF THE JOB.
- 3) ALL CONCRETE TO BE 5000 P.S.I. OVER SCALE.
- 4) ALL LUMBER IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.
- 5) ALL WORK TO BE DONE IN ACCORDANCE WITH THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE.
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Application Date: 6/21/23  
Fees Paid: 200.00

SP# 3048

INCORPORATED VILLAGE OF FREEPORT  
SITE PLAN REVIEW APPLICATION  
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 397 Pine St ZONING DISTRICT: Residential A  
SECTION 54 BLOCK 87 LOT 12 LOT SIZE: \_\_\_\_\_

<input checked="" type="checkbox"/> TENANT <u>APPLICANT</u> <input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>Lynette Moses</u>	Name: <u>Lynette Moses</u>
Address: <u>397 Pine St</u> <u>Freeport, NY 11520</u>	Address: <u>397 Pine St</u> <u>Freeport NY 11520</u>
Telephone #: <u>516 647-4838</u>	Telephone #: <u>516-647-4838</u>

Attorney Name: \_\_\_\_\_  
(optional) Phone #: \_\_\_\_\_

Address: \_\_\_\_\_

Present Land Use: Residential

Proposed Land Use: Residential

Description of Proposed Work: Construction of a 12'x18'  
shed Prefabricated Wooden shed

I request a preliminary meeting: \_\_\_\_\_ YES  NO

I request a waiver of the public hearing and hereby certify the following:  
A. The subject property is zoned Residence A or Residence AA.  
B. The proposed construction is not a new building or dwelling.  
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.  YES \_\_\_\_\_ NO

\_\_\_\_\_  
APPLICANT'S SIGNATURE  
Sworn to before me this \_\_\_\_\_  
day of \_\_\_\_\_, 20\_\_\_\_.

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Notary Public  
\*\*\*\*\*  
Property Owner's Consent:  
I, Lynette Davis-Moses am (are) the owner(s) of the subject property and consent to the filing of this application.

Lynette Davis-Moses  
PROPERTY OWNER'S SIGNATURE  
Sworn to before me this 24<sup>th</sup>  
day of May, 2023.

5/24/23  
DATE

Brian Zehnter  
Notary Public  
Notary Public, State of New York  
No. 01ZE0087259  
Qualified in Queens County  
Commission Expires 12/03/25  
Notary Public  
\*\*\*\*\*

FOR VILLAGE USE ONLY

Site Plan Public  
Hearing Required: \_\_\_\_\_ YES \_\_\_\_\_ NO

Date of Hearing: \_\_\_\_\_  
Date of Decision: \_\_\_\_\_

Village Clerk's Signature: \_\_\_\_\_

Approved \_\_\_\_\_ Denied \_\_\_\_\_  
Date: \_\_\_\_\_



## INC. VILLAGE OF FREEPORT

### Department of Buildings

46 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK 11520  
(516) 377-2242  
FAX (516) 377-2493

ROBERT T. KENNEDY  
MAYOR

E-MAIL [BUILDINGDEPT@FREEPORTNY.GOV](mailto:BUILDINGDEPT@FREEPORTNY.GOV)

SERGIO A. MAURAS  
SUPERINTENDENT OF BUILDINGS

May 1, 2023  
SITE PLAN LETTER

Lynette Moses  
397 Pine Street  
Freeport, NY 11520

**RE: 397 Pine Street, Freeport, NY**  
**Zoning District: Residence A Sec. 54 Blk. 87 Lot 12**  
**Building Permit Application #20233229**  
**Description: Construct a 12'x18' prefabricated wooden shed**

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the **Village Clerk's Office at 516-377-3632** to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the **VILLAGE CLERK'S OFFICE** at 377-2300.

Very truly yours,

  
Sergio A. Mauras  
Superintendent of Buildings

c/d  
encl.  
c : Village Clerk  
Tuff Shed

VILLAGE OF FREEPORT, NY  
CLERK'S OFFICE  
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ZBA Approval Needed: Yes  No

VILLAGE OF FREEPORT  
Department of Buildings  
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.  
(See reasons below)

Project :

Permit Applications 20233229

Location: 397 Pine Street, Freeport, NY

Applicant: Lynette Moses

Description: Construction of a 12'x18' prefabricated wooden shed

Lead Agency: Department of Buildings  
for the Board of Trustees  
Village of Freeport  
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:  
Superintendent of Buildings  
(516) 377-2242

REASON(S) FOR DETERMINATION

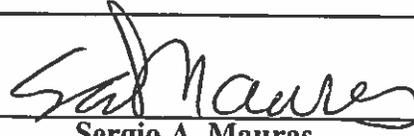
This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A)

B) Possible environment effects identified:  
(only if positive determination)

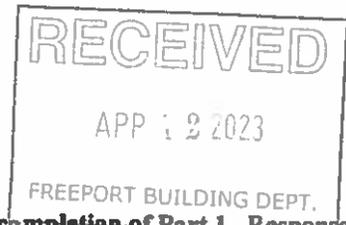
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VILLAGE OF FREEPORT, NY

Dated: May 1, 2023

  
Sergio A. Mauras  
Superintendent of Buildings

**IMPORTANT:** This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

617.20  
Appendix B  
Short Environmental Assessment Form

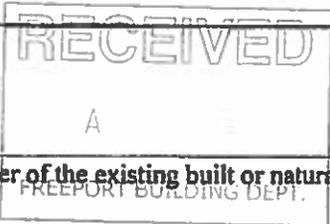


**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>			
Name of Action or Project: <b>Shed 397 Pine Street</b>			
Project Location (describe, and attach a location map): <b>397 Pine Street Freeport, NY 11520</b>			
Brief Description of Proposed Action: <b>Construction of a 12x18 prefabricated wooden shed</b>			
Name of Applicant or Sponsor: <b>LYNETTE MOSES</b>		Telephone: 516-647-4838	
		E-Mail: lmdavis1223@yahoo.com	
Address: <b>397 Pine Street</b>			
City/PO: <b>Freeport</b>		State: <b>NY</b>	Zip Code: <b>11520</b>
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input checked="" type="checkbox"/> YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO <input checked="" type="checkbox"/> YES <input type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		_____ acres	
b. Total acreage to be physically disturbed?		_____ acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			



		NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations?		<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Consistent with the adopted comprehensive plan?		<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Are public transportation service(s) available at or near the site of the proposed action?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing potable water: _____		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Is the proposed action located in an archeological sensitive area?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban				
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100 year flood plain?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor name: <u>Lynette Dawn Mason</u>		Date: <u>3/20/23</u>
Signature: <u>[Signature]</u>		

**Part 2 - Impact Assessment.** The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

		<b>RECEIVED</b> APR 13 2023 <small>FREEPORT BUILDING DEPT.</small>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?		<input type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action create a hazard to environmental resources or human health?		<input type="checkbox"/>	<input type="checkbox"/>	

**Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.**

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<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
<hr/>	
Name of Lead Agency	Date
<hr/>	
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
<hr/>	
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

397 Pine Street

Front  
right



Front  
left





Front



Right



Rear



Left



Across  
Street



Back yard  
Facing right



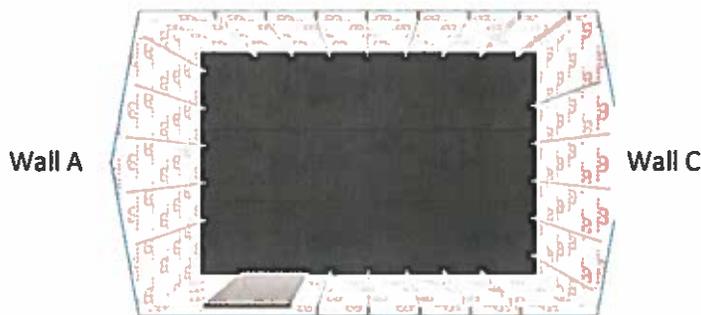
Back yard  
Facing rear



LYNETTE MOSES  
397 Pine Street  
Freeport NY 11520  
Q-2030670



Wall D



Wall A

Wall C

Wall B

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**Base Details**

**Building Size & Style**  
Premier Ranch - 12' wide by 18' long  
**Door**  
4' x 6'2" Single Shed Door, Left Hinge Placement, In Door Horizontal Transom (4' door), Diamond  
**Paint Selection**  
Base: Goblin, Trim: Tundra Frost  
Customer to apply 2nd coat  
**Roof Selection**  
Charcoal 3 Tab  
**Drip Edge**  
White  
**Is a permit required for this job?**  
Yes  
**Who is pulling the permit?**  
Tuff Shed

**Options Details**

**Windows**  
2 Ea 2'x2' Insulated Horizontal Sliding Window  
**Transoms**  
8 Ea Transom Window (16"x8")  
**Walls**  
425 Sq Ft House Wrap  
**Vents**  
2 Ea 16"x8" Wall Vent - White

**Jobsite/Installer Details**

**Do you plan to insulate this building after Tuff Shed installs it?**  
Yes  
**Is there a power outlet within 100 feet of installation location?**  
Yes  
**The building location must be level to properly install the building. How level is the install location?**  
Within 4" of level  
**Will there be 18" of unobstructed workspace around the perimeter of all four walls?**  
Yes  
**Can the installers park their pickup truck & trailer within approximately 200' of your installation site?**  
Yes  
**Substrate Shed will be installed on?**  
Not Anchored to Concrete with Shed Floor

DocuSigned by:  
Signature: LYNETTE MOSES Date: 2/11/2023  
1F244AB53D24AFB...

# PINE STREET

50.00'

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VILLAGE OF FREEPORT, NY

150.00'

CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY

150.00'

150.00'

150.00'

150.00'

150.00'

150.00'

150.00'

150.00'

150.00'

150.00'

P.O.B.

CURB

W/S ±0.8'E

100.00'

CONCRETE CURB

ASPHALT PAVED DRIVEWAY

GATE

CURB

W/S ±2.2'E

±0.3'E

CHAIN LINK FENCE

±0.4'E

±1.7'E

BRICK & FRAME GARAGE

±2.0'E

±0.5'E

CHAIN LINK FENCE

±0.5'E

PARK (9th Ave.) AVE.



±1.6'W

±1.7'W

±0.3'N

±0.1'E

±1.6'S

±3.4'S

±3.5'S

±0.1'W

±0.2'S

±0.8'N

±0.1'W

±0.8'N

50.00'  
line parallel with  
Pine Street

CERTIFIED TO:

SURVEY FOR

"BUILDING DEPARTMENT USE"

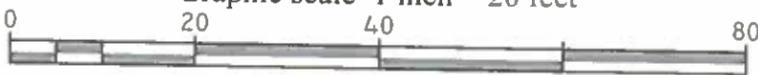
ONLY

TAX SECTION: 54

TAX BLOCK: 87

TAX LOT(S): 12

Graphic scale 1 inch = 20 feet



SUB-SURFACE STRUCTURES, IMPROVEMENTS OR ENCROACHMENTS THAT ARE NOT VISIBLE OR READILY APPARENT ARE NOT SHOWN. IF SUCH UNDERGROUND STRUCTURES, IMPROVEMENTS OR ENCROACHMENTS ARE SHOWN, THEY ARE NOT COVERED BY THIS CERTIFICATE. PROPERTY CORNER MONUMENTS WERE NOT PLACED AS A PART OF THIS SURVEY. GUARANTEES OR CERTIFICATIONS INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. GUARANTEES OR CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS. THE ALTERATION OF BOUNDARY SURVEY MAPS BY ANYONE OTHER THAN THE ORIGINAL PREPARER IS MISLEADING, CONFUSING, AND NOT IN THE GENERAL WELFARE AND BENEFIT OF THE PUBLIC. LICENSED LAND SURVEYORS SHALL NOT ALTER MAPS, SURVEY PLANS, OR SURVEY PLATS PREPARED BY OTHERS. UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 2209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW. ONLY TITLE SURVEYS BEARING THE MAKER'S EMBOSSED SEAL SHOULD BE RELIED UPON SINCE OTHER THAN EMBOSSED-SEAL COPIES MAY CONTAIN UNAUTHORIZED AND UNDETECTABLE MODIFICATIONS, DELETIONS, ADDITIONS, AND CHANGES. A COPY OF THIS DOCUMENT WITHOUT A PROPER APPLICATION OF THE SURVEYOR'S EMBOSSED SEAL SHOULD BE ASSUMED TO BE AN UNAUTHORIZED COPY. REPRODUCTION OR COPYING OF THIS DOCUMENT MAY BE A VIOLATION OF COPYRIGHT LAW UNLESS PERMISSION OF THE AUTHOR AND/OR COPYRIGHT HOLDER IS OBTAINED. VICINITY MAP AND STREET VIEW ARE NOT GUARANTEED AS TO ACCURACY AND COMPLETENESS. (C) 2010-2023 A. AGUJO SURVEYING, INC. ALL RIGHTS RESERVED.

## MAP OF PROPERTY AT FREEPORT

NASSAU

COUNTY, NEW YORK

FIELD SURVEY COMPLETED: MARCH 8, 2023

*Apolonia O. Agujo*  
LICENSED LAND SURVEYOR LICENSE NO. 0508339-1

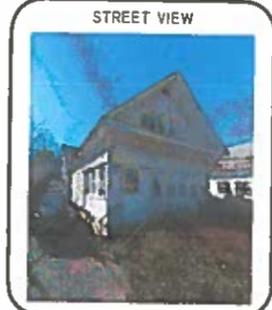
**A. AGUJO SURVEYING, INC.**

PROFESSIONAL LAND SURVEYORS  
782 SALISBURY PARK DRIVE  
WESTBURY, NEW YORK 11590  
TEL. (516)333-6730  
FAX (516)333-6740  
EMAIL: AGUJOSURVEYING@GMAIL.COM

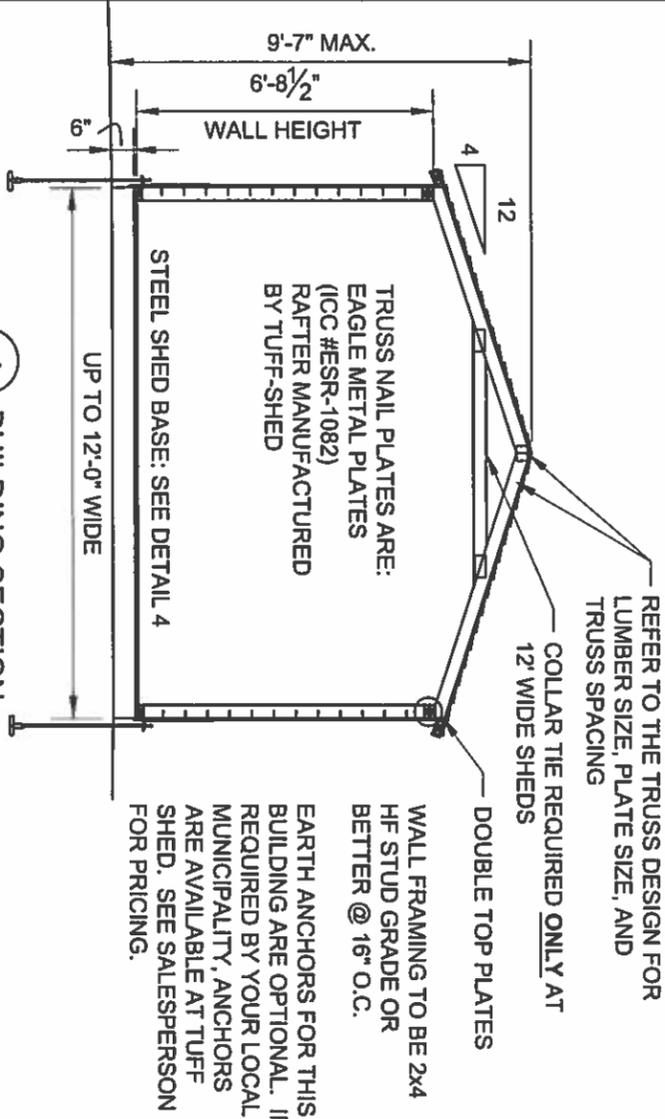


SUCCESSOR TO:  
NORMAN T. WOLF  
THOMPSON E. WOLF

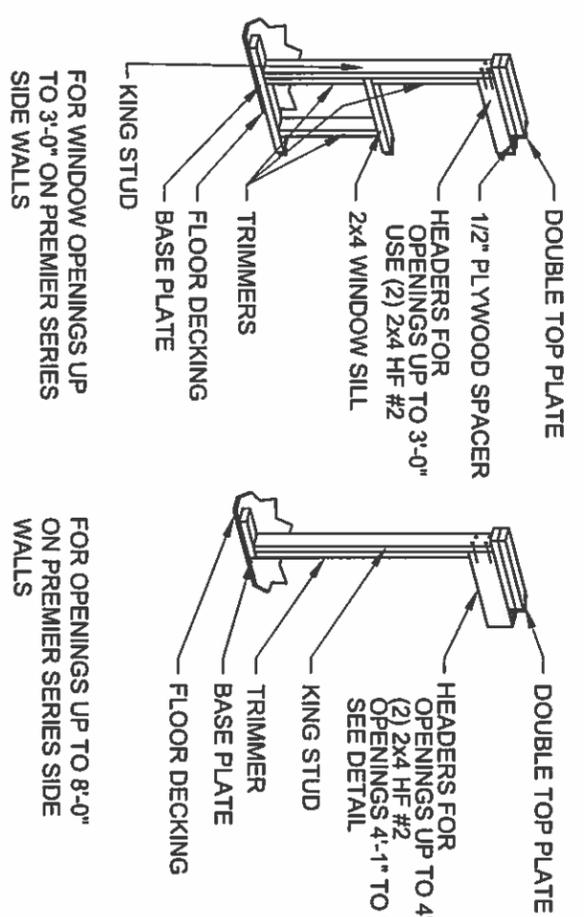
SURVEY MAP COMPLETED: MARCH 13, 2023



# PR SHED 12' WIDE x 18' LONG PREMIER SERIES

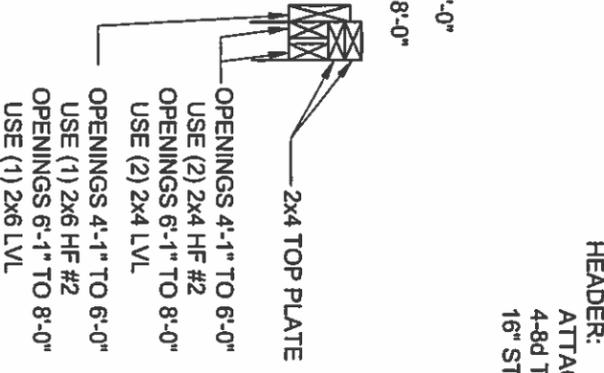


**1 BUILDING SECTION**  
SCALE: N.T.S.

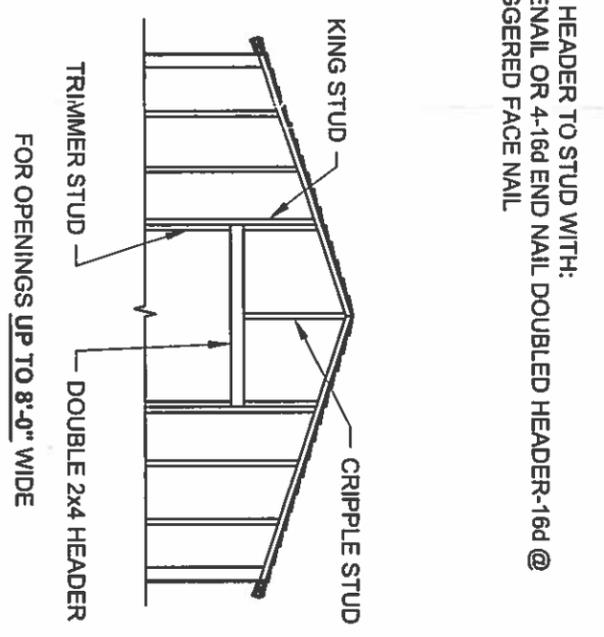


**2A WINDOW HEADER DETAIL**  
FOR LOAD BEARING WALLS  
SCALE: N.T.S.

**2B DOOR HEADER DETAIL**  
FOR LOAD BEARING WALLS  
SCALE: N.T.S.

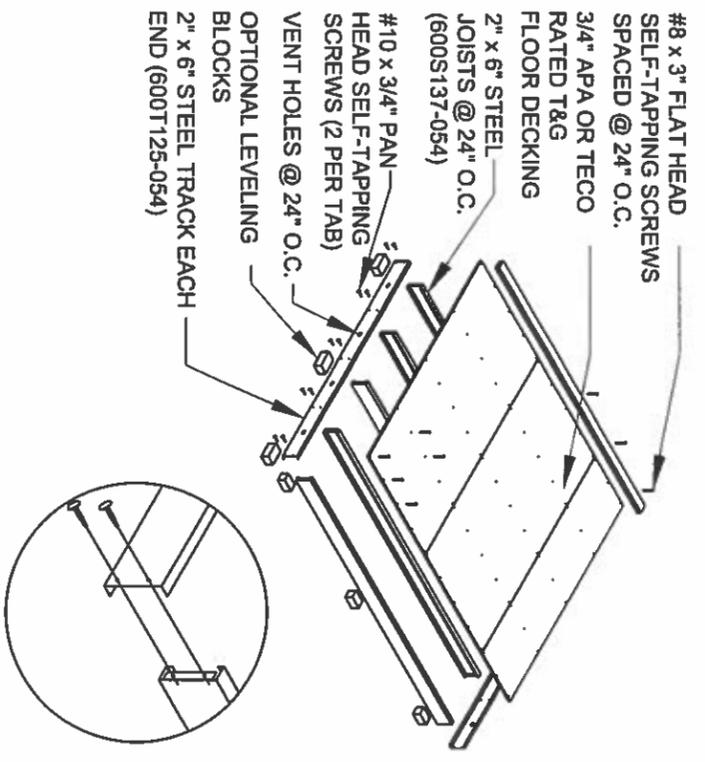


**3 LOAD BEARING WALLS**  
SCALE: N.T.S.



**4 SHED BASE DETAIL**  
SCALE: N.T.S.

- NOTES:**
- BUILDING CODE: 2015 IBC AND 2015 IRC
  - DESIGN LOADING:  
WIND SPEED & EXPOSURE: 115C  
ROOF LIVE LOAD: 30 PSF NO REDUCTION  
ROOF DEAD LOAD: 10 PSF
  - FOR SHEDS WHICH OTHERWISE MEET THE PRESCRIPTIVE REQUIREMENTS OF THE 2015 IBC AND 2015 IRC ALL SHEDS CONSTRUCTED ACCORDING TO STANDARD CONVENTIONAL CONSTRUCTION METHODS.
- NAILING:**  
ROOF: ATTACH 7/16" SILVERCREST OSB SHEATHING TO TRUSSES WITH:  
8d NAILS @ 6" O.C. AT EDGES  
8d NAILS @ 12" O.C. IN FIELD
- WALLS:**  
ATTACH 3/8" SMARTSIDE WITH FOIL BACKING TO WALL FRAMING WITH:  
8d NAILS @ 6" O.C. AT EDGES.  
8d NAILS @ 12" O.C. IN FIELD
- HEADER:**  
ATTACH HEADER TO STUD WITH:  
4-8d TOENAIL OR 4-16d END NAIL DOUBLED HEADER-16d @ 16" STAGGERED FACE NAIL



**TUFF SHED**  
Storage Buildings & Garages  
TUFF SHED, INC.

Order #: \_\_\_\_\_  
Customer: \_\_\_\_\_  
Site Address: \_\_\_\_\_  
Building Size: WIDTH - LENGTH - HEIGHT - SQ. FT. AREA

P.O. # \_\_\_\_\_  
Drawn By: SJ  
Date: 1/2/19  
Checked By: \_\_\_\_\_  
Date: \_\_\_\_\_  
Scale: N.T.S.

THESE DRAWINGS AND THE DESIGN ARE THE PROPERTY OF TUFF SHED, INC. THESE DRAWINGS ARE FOR A BUILDING TO BE SUPPLIED AND BUILT BY TUFF SHED. ANY OTHER USE IS FORBIDDEN BY TUFF SHED INC. & THE ENGINEER OF RECORD.

DRAWINGS BY:  
**TUFF SHED, INC.**

IN HOUSE DRAFTING DEPARTMENT  
1777 S. HARRISON STREET  
DENVER, COLORADO 80210  
(303) 753-TUFF

TUFF SHED INC. ASSUMES ALL RESPONSIBILITY FOR THE CONTENT OF THESE DRAWINGS AND THE CONSTRUCTION OF THE BUILDINGS SHOWN HEREIN.

TITLE	DRAWING NO.
BUILDING SECTIONS	PR-01
SHED BASE DETAILS	REV. LEVEL 01
HEADER FRAMING DETAILS	SHEET 1
NOTES - 2015 IBC & IRC - 115C	PAGE 1 OF 1

Application Date: 6/27/23  
Fees Paid: \$225.00

SP# 3649

INCORPORATED VILLAGE OF FREEPORT  
SITE PLAN REVIEW APPLICATION  
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 245 grand ave ZONING DISTRICT Residence A  
SECTION SS BLOCK 241 LOT 3 LOT SIZE: \_\_\_\_\_

<input type="checkbox"/> TENANT <u>APPLICANT</u> <input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>Same as owner</u>	Name: <u>Edgwin Lainez</u>
Address: _____	Address: <u>245 grand ave</u> <u>Freeport NV</u>
Telephone #: _____	Telephone #: <u>516 547 4668</u>

Attorney Name: \_\_\_\_\_ Address: \_\_\_\_\_  
(optional) Phone #: \_\_\_\_\_

Present Land Use: residential Proposed Land Use: residential

Description of Proposed Work: Maintain extended & widened  
driveway 2,276 sq ft

I request a preliminary meeting: \_\_\_\_\_ YES  NO

I request a waiver of the public hearing and hereby certify the following:  
A. The subject property is zoned Residence A or Residence AA.  
B. The proposed construction is not a new building or dwelling.  
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.  YES \_\_\_\_\_ NO

2023 JUN 27 AM 10  
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FREEPORT, NV

Edgwin R Lainez  
APPLICANT'S SIGNATURE



Sworn to before me this 23rd  
day of June, 2023  
Notary Public

6-23-2023  
DATE

Property Owner's Consent: I, Edgwin Lainez am (are) the owner(s) of the subject property and consent to the filing of this application.

Edgwin R Lainez  
PROPERTY OWNER'S SIGNATURE

06-26-23  
DATE

Sworn to before me this \_\_\_\_\_  
day of \_\_\_\_\_, 20\_\_\_\_.

Notary Public

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: _____ YES _____ NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	Approved _____ Denied _____ Date: _____
Planning Board Signature: _____	Date: _____



**INC. VILLAGE OF FREEPORT**

**Department of Buildings**

46 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK 11520  
(516) 377-2242  
FAX (516) 377-2493

ROBERT T. KENNEDY  
MAYOR

E-MAIL [BUILDINGDEPT@FREEPORTNY.GOV](mailto:BUILDINGDEPT@FREEPORTNY.GOV)

SERGIO A. MAURAS  
SUPERINTENDENT OF BUILDINGS

**SITE PLAN LETTER**  
**June 16, 2023**

**Edguin R Lainez**

**RE: 245 Grand Ave, Freeport, NY**

**Zoning District: Res A Sec 55 Blk 241 Lot 30**

**Building Permit Application #20233304**

**Description: Maintain Driveway (2,276 ft)**

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the VILLAGE CLERK'S OFFICE at 377-2300.

Very truly yours,

Sergio A. Mauras  
Superintendent of Buildings  
/Dh

c: Village Clerk

ZBA Approval Needed: Yes \_\_\_ No X

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VILLAGE OF FREEPORT  
Department of Buildings  
Recommendation

Notice

X Negative Declaration \_\_\_\_\_ Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

\_\_\_\_\_ The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.  
(See reasons below)

Project : \_\_\_\_\_ Building Permit App. 20233304

Location: 245 Grand Ave

Applicant: Edguin R Lainez

Description : Maintain Driveway (2,276)

Lead Agency: Department of Buildings  
for the Board of Trustees  
Village of Freeport  
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:  
Superintendent of Buildings  
(516) 377-2242

**REASON(S) FOR DETERMINATION**

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) \_\_\_\_\_

B) Possible environment effects identified:  
(only if positive determination)

Dated: June 16, 2023

*Sergio A. Mauras*

Sergio A. Mauras  
Superintendent of Buildings

**IMPORTANT:** This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

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VILLAGE OF FREEPORT, NY

617.20  
Appendix B  
Short Environmental Assessment Form

20233304

**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>	
Maintaining Drive Way	
Name of Action or Project: Concrete driveway	
Project Location (describe, and attach a location map): 245 Grand Ave, Freeport	
Brief Description of Proposed Action: maintain extended & widened driveway (2,276) sq ft.	
Name of Applicant or Sponsor: Edwin R Lainez	Telephone: 516 347 1668 E-Mail: edwinlainez993@gmail.com
Address: 245 Grand Ave	
City/PO: Freeport	State: NY Zip Code: 11520
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.	NO YES <input checked="" type="checkbox"/> <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:	NO YES <input checked="" type="checkbox"/> <input type="checkbox"/>
3.a. Total acreage of the site of the proposed action? _____ acres	
b. Total acreage to be physically disturbed? _____ acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres	
4. Check all land uses that occur on, adjoining and near the proposed action.	
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland	

	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Are public transportation service(s) available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing potable water: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places? b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100 year flood plain?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ <input type="checkbox"/> NO <input type="checkbox"/> YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>Edgwin R Lainez</u>	Date: <u>05/22/2023</u>	
Signature: <u>Edgwin R Lainez</u>		

**Part 2 - Impact Assessment.** The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

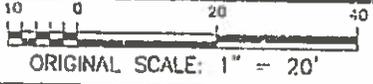
	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

**Part 3 - Determination of significance.** The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

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<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

2023334

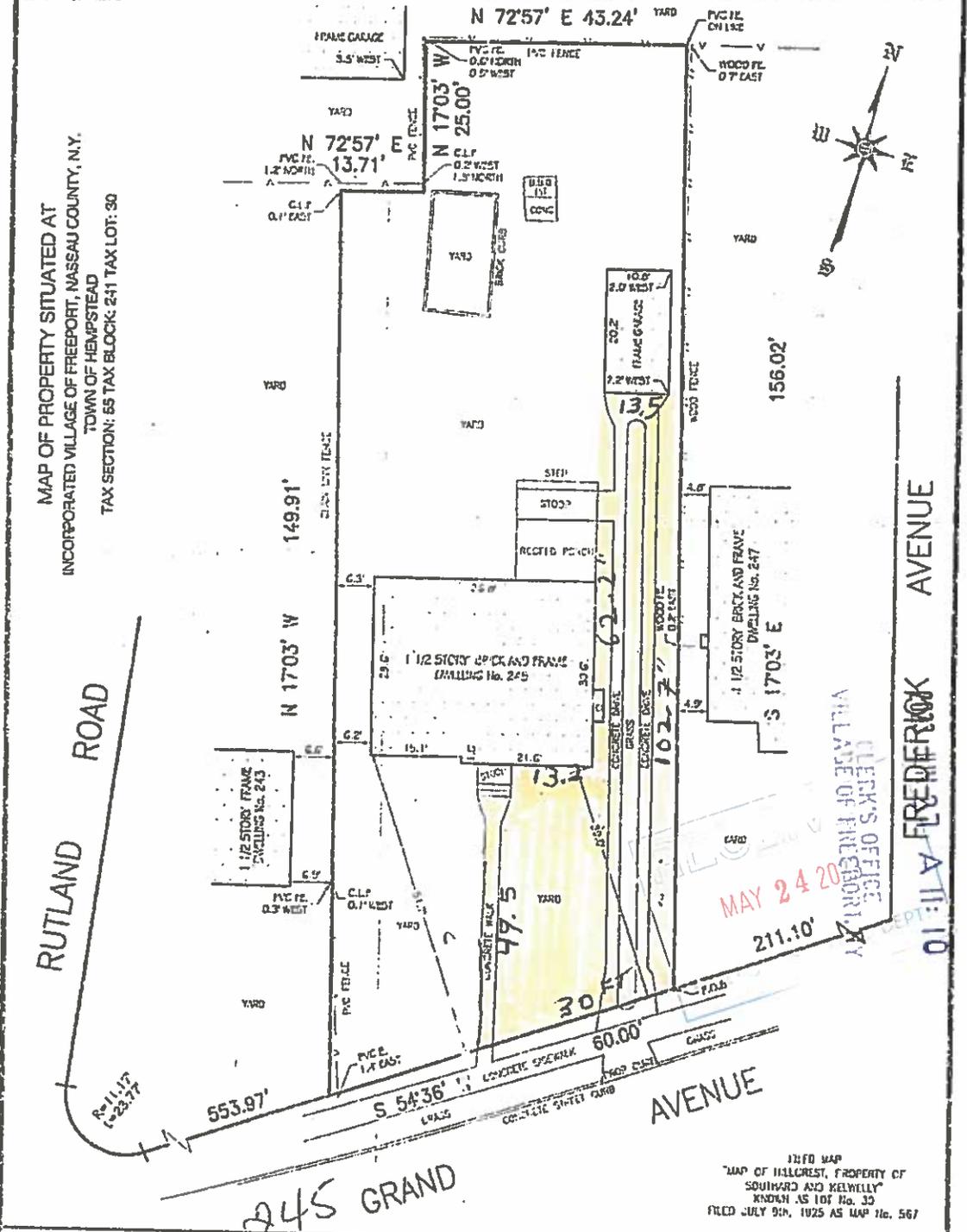


FOR TITLE PURPOSES ONLY  
 SURVEYED FOR EXACT TITLE INSURANCE AGENCY LLC  
 AND ONLY FOR THE PURPOSES FOR WHICH IT WAS PREPARED. IT IS NOT VALID  
 FOR ANY OTHER PURPOSES OR FOR ANYONE ELSE

65-241-30-HEMP

MAP OF PROPERTY SITUATED AT  
 INCORPORATED VILLAGE OF FREEPORT, NASSAU COUNTY, N.Y.  
 TOWN OF HEMPSTEAD  
 TAX SECTION: 65 TAX BLOCK: 241 TAX LOT: 30

RUTLAND ROAD



MAY 24 2017

DEPT. OF RECORDS & PLANNING  
 VILLAGE OF FREEPORT, N.Y.

FREDERICK AVENUE

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1:100 MAP  
 MAP OF HILLCREST, PROPERTY OF  
 SOUTHWARD AND KELWELLY  
 KNOWN AS LOT No. 33  
 FILED JULY 9th, 1925 AS MAP No. 567

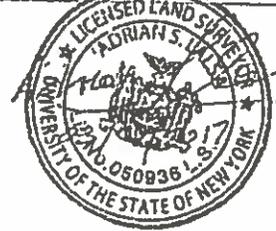
- NOTES:
1. GUARANTEES OR CERTIFICATIONS INDICATED HEREON SHALL REST ONLY TO THE EXTENT FOR WHICH THE SURVEY IS PREPARED AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING AGENCY/INVESTOR, AND TO THE ASSUREES OF THE LENDING INSURANCE GUARANTEES OR CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL REQUIREMENTS OR SUBSEQUENT OWNERS.
  2. PROPERTY CORNER MONUMENTS WERE NOT PLACED AS PART OF THIS SURVEY.
  3. UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY IS A VIOLATION OF SECTION 7203 OF THE NEW YORK STATE EVIDENCE LAW.
  4. ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S PINKED SEAL OR HIS IMPRESSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.
  5. EASEMENTS OF RECORD ARE ONLY GUARANTEED IF AN INSTRUMENT OF TITLE IS FURNISHED TO THE SURVEYOR.

**GUARANTEED TO:**

**LALSA LAND SURVEYING PLLC**  
 CITY & LAND SURVEYORS  
 RECORDS DATING BACK TO 1900'S  
 172-24 93rd AVENUE  
 JAMAICA, N.Y. 11433  
 TELEPHONE (917)957-5372  
 FAX (718)206-2814

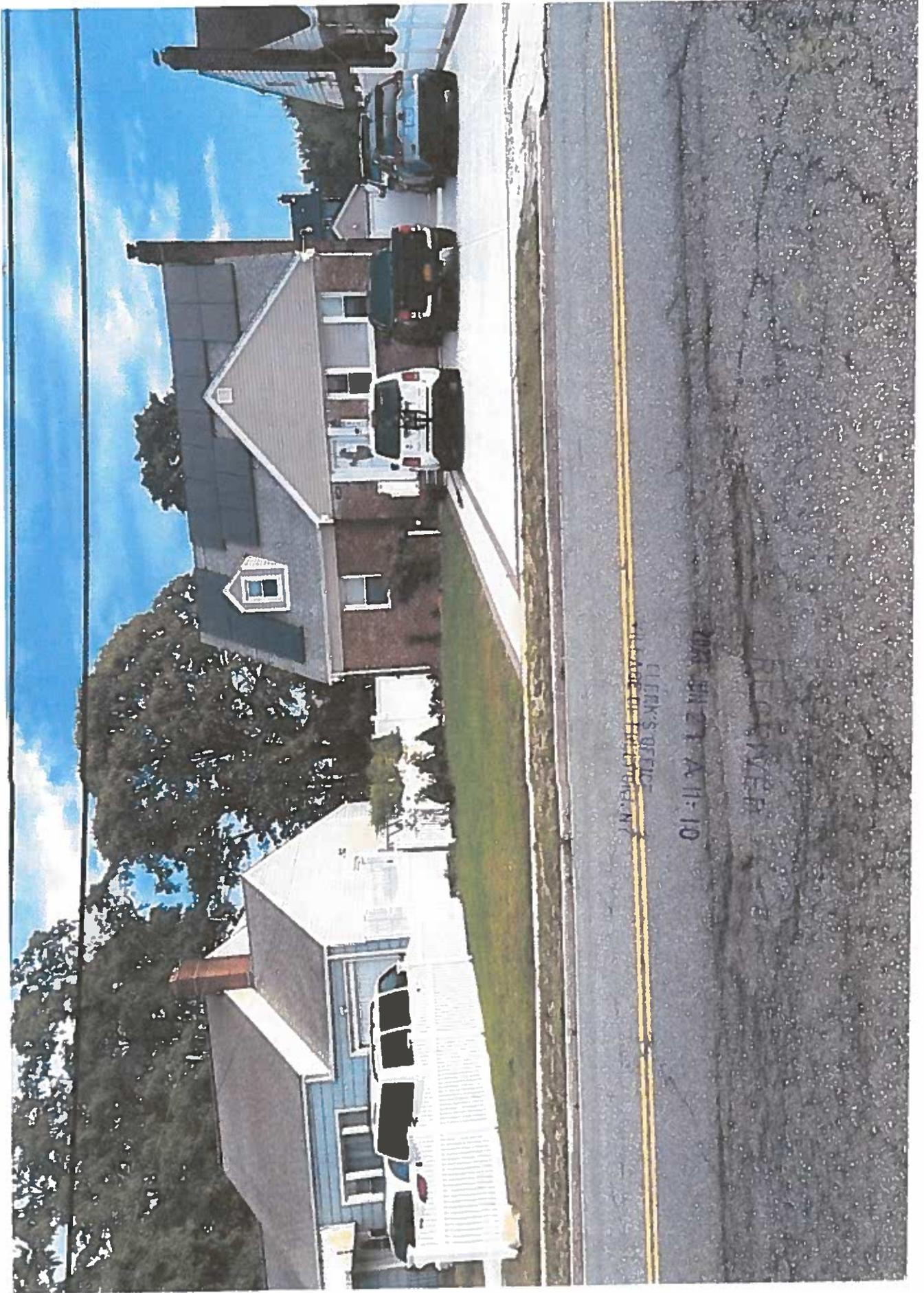
TITLE No. 17-ETI-1701002

DATE	DESCRIPTION
MARCH 10th, 2017	TITLE SURVEY



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245 Grand Ave



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CLERK'S OFFICE  
CITY OF FREEPORT, ME

Application Date: \_\_\_\_\_  
Fees Paid: \_\_\_\_\_

SP# 3650

INCORPORATED VILLAGE OF FREEPORT  
SITE PLAN REVIEW APPLICATION  
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 515 Southside Av. ZONING DISTRICT Resident A  
SECTION 54 BLOCK 524 LOT 21 LOT SIZE: \_\_\_\_\_

<input type="checkbox"/> TENANT <u>APPLICANT</u> <input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>same as owner.</u>	Name: <u>Crossroads Axi's Realty / Braulio Sigua</u>
Address: _____	Address: <u>24 Prospect Av.</u>
Telephone #: _____	Telephone #: <u>E. Reikaway NY 11518</u> <u>347 579-3128</u>

Attorney Name: \_\_\_\_\_ Address: \_\_\_\_\_  
(optional) Phone #: \_\_\_\_\_

Present Land Use: Residential Proposed Land Use: Residential

Description of Proposed Work: Interior alterations (Replacement of windows & new door)

I request a preliminary meeting: \_\_\_\_\_ YES  NO

I request a waiver of the public hearing and hereby certify the following:  
A. The subject property is zoned Residence A or Residence AA.  
B. The proposed construction is not a new building or dwelling.  
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.  
\_\_\_\_\_ YES  NO

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VILLAGE OF FREEPORT

[Signature]  
APPLICANT'S SIGNATURE  
Sworn to before me this 23rd  
day of JUNE 2023  
Peggy M. Lester  
Notary Public

PEGGY M. LESTER DATE 6/23/2023  
Notary Public, State of New York  
No. 01LE6293122  
Qualified in Nassau County  
Commission Expires Nov. 25, 2025

\*\*\*\*\*  
Property Owner's Consent:  
I, BRAULIO R. SIGUA MAND am (are) the owner(s) of the subject property and consent to the filing of this application.

[Signature]  
PROPERTY OWNER'S SIGNATURE  
Sworn to before me this 23rd  
day of JUNE 2023  
Peggy M. Lester  
Notary Public

PEGGY M. LESTER DATE 6/23/2023  
Notary Public, State of New York  
No. 01LE6293122  
Qualified in Nassau County  
Commission Expires Nov. 25, 2025

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: _____ YES _____ NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	Approved _____ Denied _____ Date: _____
Planning Board Signature: _____	Date: _____

**SUBMISSION CHECKLIST**

YES	NO	N/A	
_____	_____	_____	1. The Building Department shall provide the applicant with a G.I.S. survey of all parcels within a five hundred (500) foot radius of the subject parcel. (Required for new construction/subdivision, only).
_____	_____	_____	2. The applicant shall provide photographs of all parcels within a three hundred (300) foot radius of the subject parcel, with identifying comments on said photographs.
_____	_____	_____	3. A site plan shall include the following information, plotted as necessary to a scale of not more than twenty (20) feet to one (1) inch:
_____	_____	_____	a. Title of drawing, including name and address of applicant.
_____	_____	_____	b. North point, scale, and date.
_____	_____	_____	c. Boundaries of the project.
_____	_____	_____	d. Existing natural features, such as watercourse, waterbodies, wetlands, wooded areas, and individual large trees on the subject property. Features to be retained should be noted.
_____	_____	_____	e. Floodplain boundaries as determined by the Federal Emergency Management Agency.
_____	_____	_____	f. Location of proposed land and water uses and their areas in acres and location, together with the proposed use, dimensions, height and architectural features of all buildings and other structures.
_____	_____	_____	g. Location of outdoor storage and description of materials to be stored.
_____	_____	_____	h. Location of all existing or proposed site improvements including street, drains, culverts, retaining walls, fences, docks and easements, whether public or private.
_____	_____	_____	i. Location and description of all proposed waterfront public access/recreation provisions.
_____	_____	_____	j. Description of sewage disposal and water supply systems and locations of such facilities.
_____	_____	_____	k. Location and proposed development of buffer areas and other landscaping; the general landscaping plan and planting schedule.
_____	_____	_____	l. Location of all parking and loading area, internal circulation pattern, and ingress and egress drives.
_____	_____	_____	m. Provision for pedestrian and patron access, including public and private sidewalks, walkways and docks.
_____	_____	_____	n. Location, design and size of all signs and lighting facilities.
_____	_____	_____	o. Approximate locations and dimensions of areas proposed for neighborhood parks, playgrounds or other permanent open space.
_____	_____	_____	p. Building orientation and site design for energy efficiency and visual quality.
_____	_____	_____	q. Location and design of all energy distribution facilities, including electrical, gas, and solar energy.
_____	_____	_____	r. Description and location of erosion control measures including proposed location of sediment sink/settling pond and interceptor swales, etc..
_____	_____	_____	s. Location, supporting design data and copies of computations used as a basis for the design capacities and performance of stormwater management facilities.
_____	_____	_____	t. Lines and dimensions of all property which is offered, or to be offered for dedication for public use, with the purpose indicated thereon, and of all property that is proposed to be reserved by deed covenant for the common use of the property owners of the development.
_____	_____	_____	u. Estimated project construction schedule.
_____	_____	_____	v. Record of application for approval status of all necessary permits from federal, state and county officials.
_____	_____	_____	w. Identification of any federal, state or county permits required for project execution.
_____	_____	_____	x. The Planning Board may require such additional information as it may deem necessary for a complete assessment of the project pursuant to this chapter.



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**INC. VILLAGE OF FREEPORT** CLERK'S OFFICE  
Department of Buildings VILLAGE OF FREEPORT, NY  
46 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK 11520  
(516) 377-2242  
FAX (516) 377-2493

ROBERT T. KENNEDY  
MAYOR

E-MAIL [BUILDINGDEPT@FREEPORTNY.GOV](mailto:BUILDINGDEPT@FREEPORTNY.GOV)

SERGIO A. MAURAS  
SUPERINTENDENT OF BUILDINGS

**SITE PLAN LETTER**  
June 16, 2023

Crossroads Axis Realty LIC  
RE:, 515 Southside Ave, Freeport, NY  
Zoning District: Res A Sec 54 Blk 524 Lot 21  
Building Permit Application #20233265  
Description: Interior alterations (Replacement of windows and new door.)

Dear Sir/Madam:

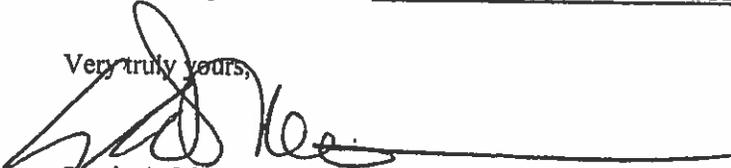
The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. Only after this initial appointment should the additional copies be made.

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the VILLAGE CLERK'S OFFICE at 377-2300.

Very truly yours,

  
Sergio A. Mauras  
Superintendent of Buildings  
/Dh

c: Village Clerk

ZBA Approval Needed: Yes \_\_\_ No X

VILLAGE OF FREEPORT  
Department of Buildings  
Recommendation

Notice

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X Negative Declaration

2023 JUN 26 P 2:20  
Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.  
(See reasons below)

Project :

Building Permit App. 20233265

Location: 515 Southside Ave

Applicant: Crossroads Axis Realty LIC

Description: Interior Alterations (Replacement of windows and new door.)

Lead Agency: Department of Buildings  
for the Board of Trustees  
Village of Freeport  
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:  
Superintendent of Buildings  
(516) 377-2242

**REASON(S) FOR DETERMINATION**

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) \_\_\_\_\_  
\_\_\_\_\_

B) Possible environment effects identified:  
(only if positive determination)

\_\_\_\_\_  
\_\_\_\_\_

Dated: June 16, 2023

*Sergio A. Mauras*

Sergio A. Mauras  
Superintendent of Buildings

**IMPORTANT:** This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

617.20  
Appendix B  
Short Environmental Assessment Form

20233265

**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>			
Interior Alteration			
Name of Action or Project:			
515 Southside Av. Freeport NY 11520			
Project Location (describe, and attach a location map):			
Brief Description of Proposed Action:			
interior Alteration (Replacement of windows. & new door).			
Name of Applicant or Sponsor:		Telephone: (347) 589-3128	
Crossroads Axis Realty LLC / Brianio Siqua.		E-Mail: Brianio.siqua1@gmail.com	
Address:			
24 Prospect Av. E. Patchogue NY 11518.			
City/PO:		State:	Zip Code:
E Patchogue		NY	11518
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?			NO YES
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			✓
2. Does the proposed action require a permit, approval or funding from any other governmental Agency?			NO YES
If Yes, list agency(s) name and permit or approval:			✓
3.a. Total acreage of the site of the proposed action? <span style="float: right;">17.43 acres</span>			
b. Total acreage to be physically disturbed? <span style="float: right;">12.45 acres</span>			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? <span style="float: right;">_____ acres</span>			
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			

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 DEPT OF ENVIRONMENTAL CONSERVATION  
 ALBANY, NY  
 MAY 3 2023

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Are public transportation service(s) available at or near the site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing potable water: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Is the proposed action located in an archeological sensitive area?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100 year flood plain?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES If Yes, briefly describe: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>Crossroads Axis Realty LLC / Braulio Siquia</u> Date: <u>05/01/23</u>		
Signature: <u>[Signature]</u>		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

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 HALL COUNTY, OR

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Part 3 - Determination of significance.** The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

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<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input checked="" type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	
Name of Lead Agency	Date
_____	
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

# DEPARTMENT OF BUILDINGS

OF THE VILLAGE OF FREEPORT, N.Y.

APPLICATION NO. 20233265  
 Filing Date 05/01/23

## Application for Erection of Buildings or Alterations

**IMPORTANT** - Applicant to complete all items in sections: I, II, III, IV, V

<b>I. LOCATION OF BUILDING</b>	AT (LOCATION) <u>515 Southside Av. FREEPORT NY 11520</u>	ZONING DISTRICT <u>Residence A.</u>
	(No.) (Street)	
	BETWEEN <u>West end av.</u> AND _____	
	(Cross Street) (Cross Street)	
SECTION <u>54</u> BLOCK <u>524</u> LOT <u>21</u>	APPROX. LOT SIZE <u>60.97' X 100'</u>	LOT AREA _____

**II. TYPE AND COST OF BUILDING** - All applicants complete Parts A - D.

<p><b>A. TYPE OF IMPROVEMENT</b></p> <p>1     New building</p> <p>2     Addition-Alteration (if residential, enter number of new housing units added. If none-state none _____)</p> <p>3     Swimming Pool</p> <p>4   <input checked="" type="checkbox"/> Repair (replacement)</p> <p>5     Bulkhead (New, Repair)</p> <p>6     Fence</p> <p>7     Moving (relocation)</p>	<p><b>B. PROPOSED OR EXISTING USE</b></p> <p style="text-align: center;"><b>RESIDENTIAL</b></p> <p>11   <input checked="" type="checkbox"/> One Family</p> <p>12     Two families</p> <p>13     Apartment - Enter No. of Units _____</p> <p>14     Transient hotel, motel, or dormitory - Enter No. of Units _____</p> <p>15     Garage or Accessory Structure</p> <p>16     Other - Specify _____</p> <p style="text-align: center;"><b>NON RESIDENTIAL - Complete Part "E"</b></p> <p>17     Industrial</p> <p>18     Office, bank, professional</p> <p>19     Stores, mercantile</p> <p>20     Church, other religious</p> <p>21     Hospital, institutional</p> <p>22     Other - Specify _____</p>
<p><b>C. COST</b></p> <p>10 TOTAL COST OF IMPROVEMENT \$ <u>7,530.00</u></p>	<p><b>D. DESCRIPTION OF PROJECT</b></p> <p style="font-size: large; text-align: center;"><u>interior Alteration (replacement of windows &amp; new door)</u></p>

**III. IDENTIFICATION** - To be completed by all applicants

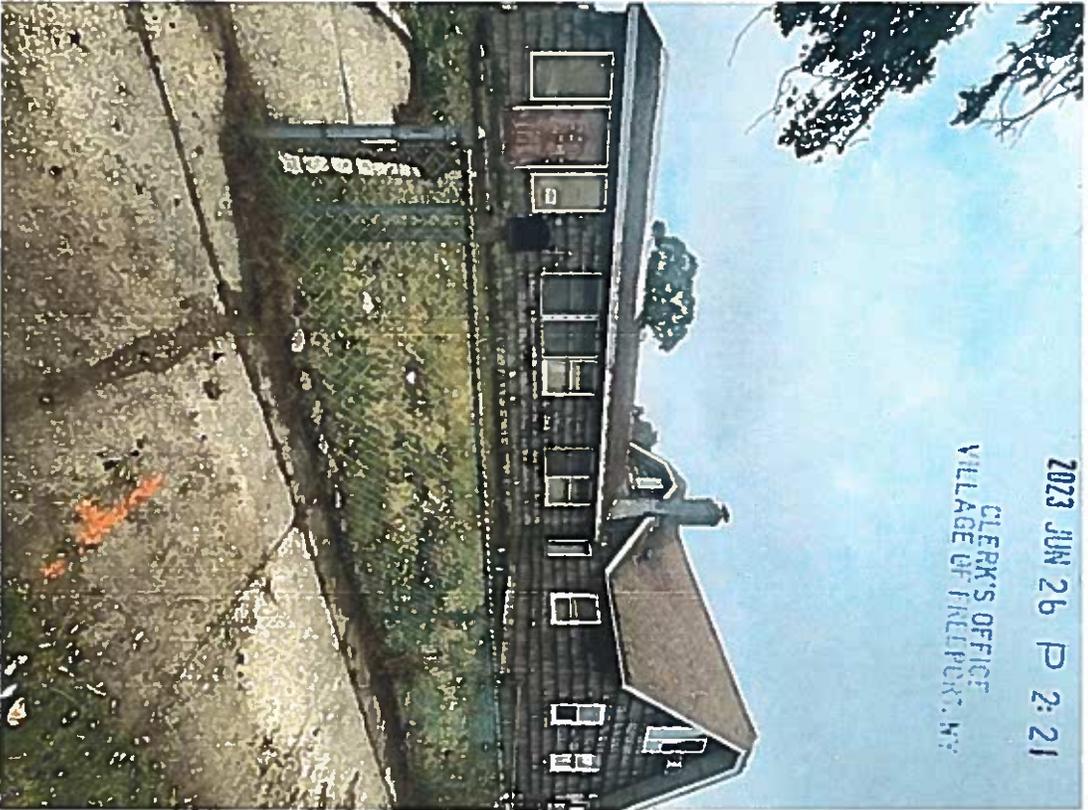
	NAME	MAILING ADDRESS - Number, street, city and state, Zip	TEL. NO.
1. Owner or Lessee	<u>CROSSROADS AXIS REALTY LLC. BRAUNO SIGNA.</u>	<u>24 prospect Av. East Parkway NY 11518</u>	<u>(347) 589 3128</u>
2. Contractor			
3. Architect or Engineer	<u>Thomas Peter Domamico</u>	<u>108 Merrick Rd. LYMBROOK NY. 11563</u>	<u>(516) 987-7147</u>

<p><b>IV. OWNER - CONTRACTOR STATEMENT</b></p> <p>Building permit is issued subject to the provisions of Section 67 of the Workmen's Compensation Law.</p> <p>Workmen's Compensation Certificate No. _____ Company _____ Exp. Date _____</p> <p>Contractor or Owner _____ (Print)</p> <p>Address _____</p> <p>Phone _____</p> <p>State of New York</p> <p>County of Nassau</p> <p><u>Crossroads Axis Realty LLC.</u> being duly sworn, says that <u>Crossroads Axis Realty LLC.</u> is the contractor or owner of the above mentioned building. That the items of the above application also the estimated cost of said building or alteration, is correct to the best of <u>my</u> knowledge and belief and agrees to conform to all applicable laws of this jurisdiction.</p> <p>Sworn to before me this <u>3</u> day of <u>May</u>, 20<u>23</u></p> <p><u>Mehesha C. Little</u> Notary Public, County, N.Y.</p> <p style="text-align: right;"><u>Brauno R. Signa</u> (Applicant Signature)</p>	<p><b>V. FLOOD ZONE</b></p> <p>IS PROJECT LOCATED WITHIN A DESIGNATED FLOOD HAZARD ZONE?                  YES <input checked="" type="checkbox"/> NO _____                  IF YES, WHICH ZONE? <u>AE</u></p> <p>IS PROJECT TO REPAIR FLOOD DAMAGE?                  YES _____ NO <input checked="" type="checkbox"/></p> <p><b>PROJECT DESCRIPTION</b></p> <p>Total/First Flr Square Feet <u>1,752.84</u></p> <p>Upper Flrs Square Feet _____</p> <p># of Fixtures _____</p> <p># of Floors _____</p> <p>Occup. Type _____</p>
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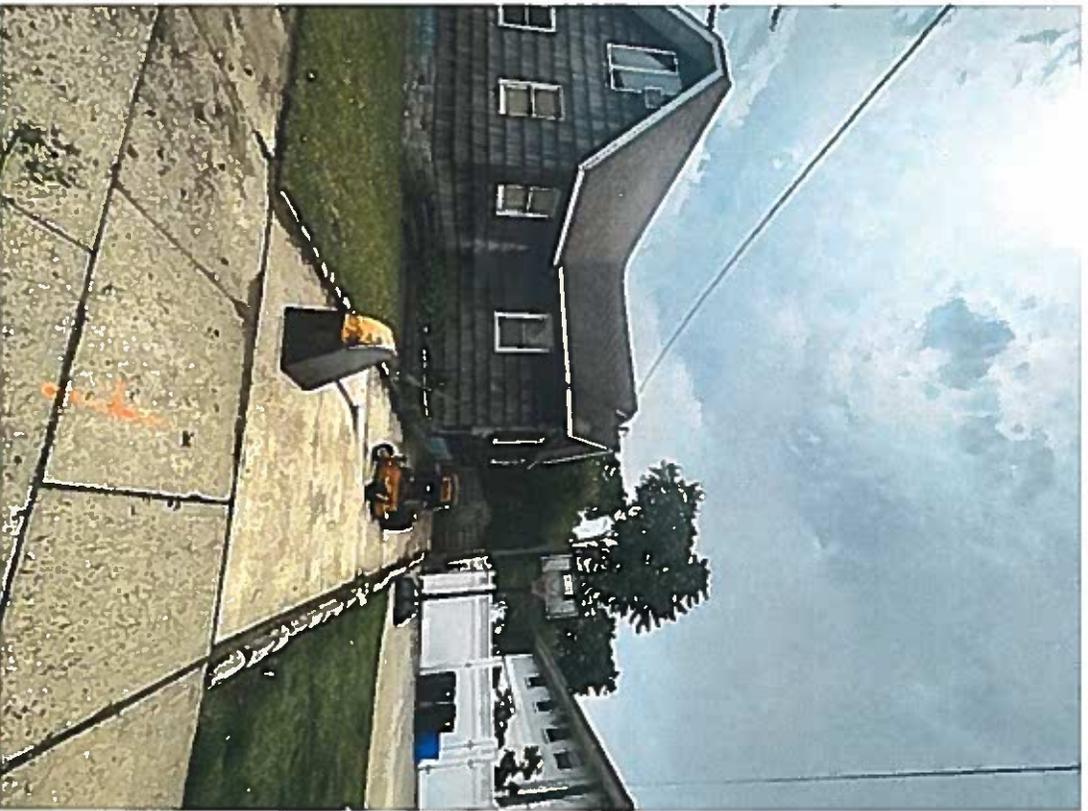
<p><b>VI. VALIDATION (Official Use Only)</b></p> <p>Building Permit Number _____</p> <p>Building Permit Issued _____</p> <p>Building Permit Fee \$ _____</p>	<p style="text-align: center;">Approved by: _____</p> <p style="text-align: center;">Superintendent of Buildings</p>
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VILLAGE OF FREEPORT, NY



515 Southside Ave



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COURT HOUSE OF HAMILTON, NY



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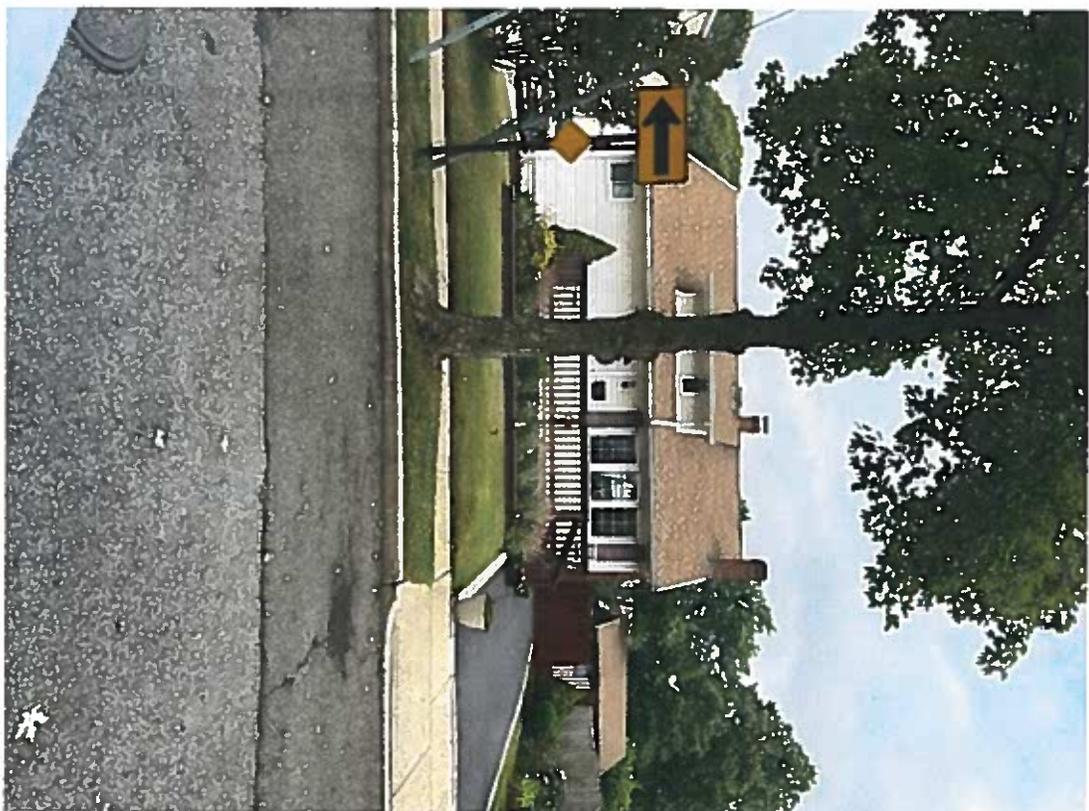
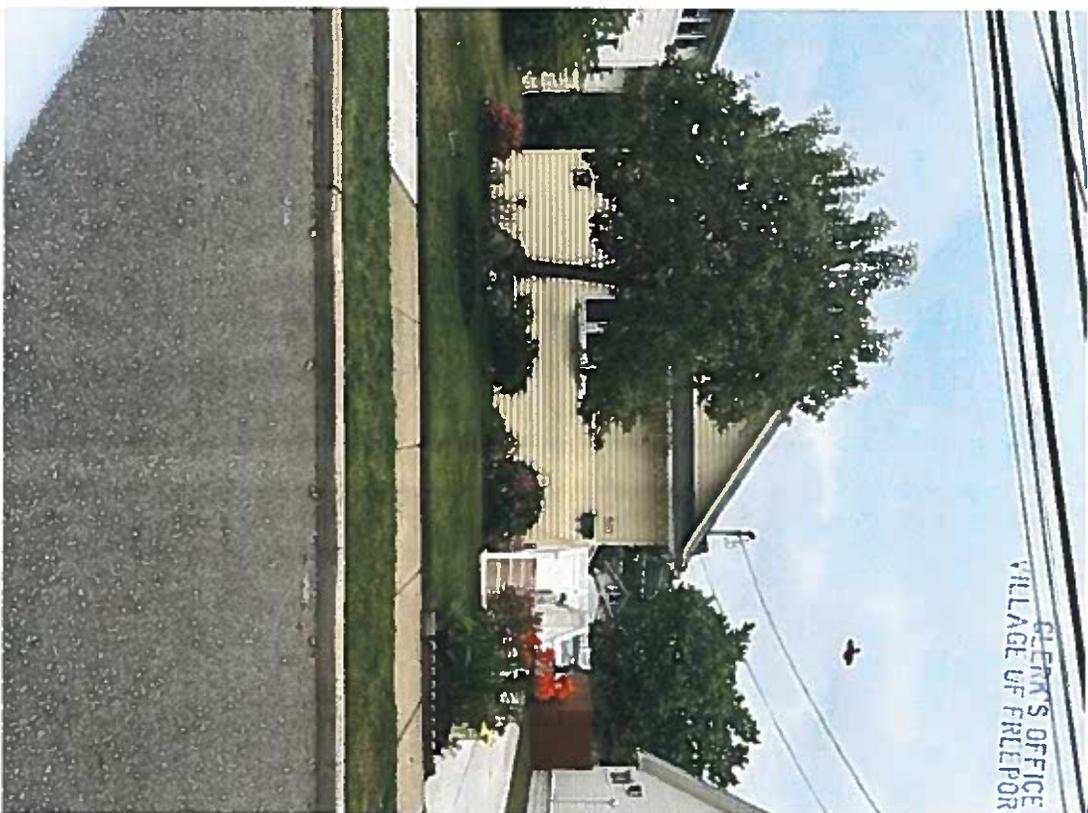
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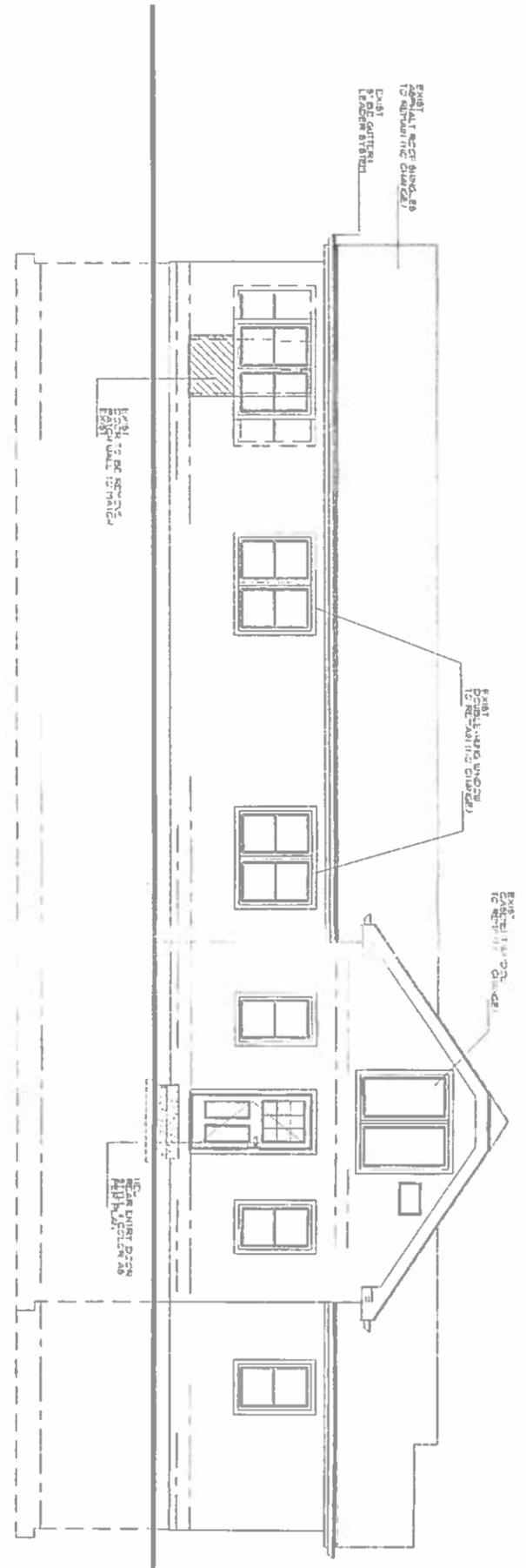
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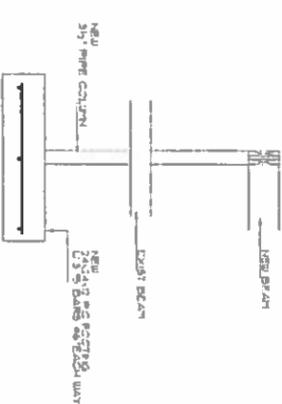




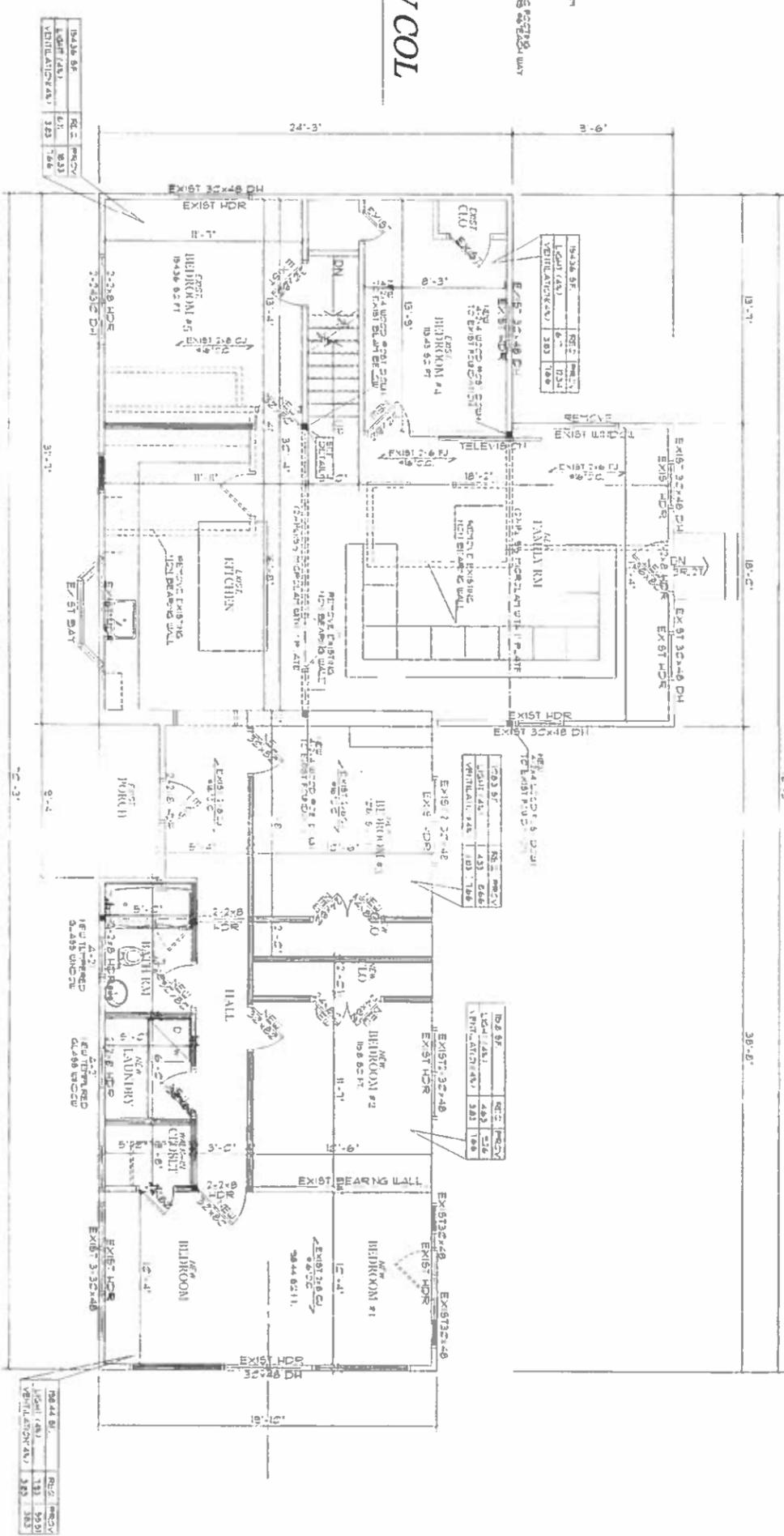
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**WEST ELEVATION**  
 (REAR)



**DETAIL @ NEW COL**



**FIRST FL PLAN**

Rev	Date	Description

**PROJECT**  
 RENOVATION  
 515 SOUTHSIDE AVE  
 FREEPORT, NY  
 11520

**CLIENT**  
 THOMAS  
 PETER  
 DOMANICO  
 ARCHITECT  
 108 MERRICK ROAD  
 LYNNBRIDGE, N.Y. 11560  
 PHONE (516) 887-7187

**CLIENT**  
 515 SOUTHSIDE AVE  
 FREEPORT, NY  
 11520

**FIRST FL FLOOR &  
 ELEVATION**

Proj Arch	TD	Chk'd by	TPD
Date	5/11/23	Drawn by	TG
Project	PRJ-23-14	Scale	AS NOTED
Sheet No			



A-2

Application Date: 6/28/23  
 Fees Paid: \$225.00

SP# 3651

**INCORPORATED VILLAGE OF FREEPORT  
 SITE PLAN REVIEW APPLICATION  
 PLANNING BOARD**

**NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION**

PROPERTY ADDRESS: 25 JOHNSON PL. ZONING DISTRICT RES. 'A'  
 SECTION 54 BLOCK 320 LOT 133 LOT SIZE: 10,006 S.F.

<input type="checkbox"/> TENANT	<input checked="" type="checkbox"/> <b>APPLICANT</b>	<input type="checkbox"/> LESSEE	<b>PROPERTY OWNER</b>	
Name: <u>MARCELO KOHAN</u>			Name: <u>UBALDO RODRIGUEZ</u>	
Address: <u>2963 HOLIDAY PARK DR. MERRICK, NY. 11566</u>			Address: <u>25 JOHNSON PL, FREEPORT, NY. 11520</u>	
Telephone #: <u>516-378-2178</u>			Telephone #: <u>516-749-2515</u>	

Attorney Name: \_\_\_\_\_ Address: \_\_\_\_\_  
 (optional) Phone #: \_\_\_\_\_

Present Land Use: (2) FAM. RESIDENCE Proposed Land Use: (2) FAM. RESIDENCE

Description of Proposed Work: - 2ND FLOOR EXTENSION AT REAR  
- ADDITION OF AN EGRESS WINDOW AT BASEMENT  
- ADDITION OF A DECK AT REAR

I request a preliminary meeting:  YES  NO

I request a waiver of the public hearing and hereby certify the following:  
 A. The subject property is zoned Residence A or Residence AA.  
 B. The proposed construction is not a new building or dwelling.  
 C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.  
 YES  NO

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 VILLAGE CLERK'S OFFICE  
 FREEPORT, NY

[Signature]  
**APPLICANT'S SIGNATURE**  
 Sworn to before me this 27th  
 day of JUNE, 2023  
 Notary Public

TED R DRIGGIN  
 Notary Public - State of New York  
 NO. 01DR6363962  
 Qualified in Nassau County  
 My Commission Expires Sep 5, 2025

6/27/23  
**DATE**  
 TED R DRIGGIN  
 Notary Public - State of New York  
 NO. 01DR6363962  
 Qualified in Nassau County  
 My Commission Expires Sep 5, 2025

**Property Owner's Consent:**  
 I, Ubaldo Rodriguez am (are) the owner(s) of the subject property and consent to the filing of this application.

[Signature]  
**PROPERTY OWNER'S SIGNATURE**  
 Sworn to before me this 27th  
 day of JUNE, 2023  
 Notary Public

OGILDA ESTEVEZ  
 NOTARY PUBLIC, STATE OF NEW YORK  
 NO. 01ES5021338  
 QUALIFIED IN NASSAU COUNTY  
 MY COMMISSION EXPIRES DEC. 13, 2025

6/27/2023  
**DATE**

**FOR VILLAGE USE ONLY**

Site Plan Public Hearing Required: <input type="checkbox"/> YES <input type="checkbox"/> NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	<input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____
Planning Board Signature: _____	Date: _____

**SUBMISSION CHECKLIST**

YES	NO	N/A	
_____	_____	_____	1. The Building Department shall provide the applicant with a G.I.S. survey of all parcels within a five hundred (500) foot radius of the subject parcel. (Required for new construction/subdivision, only).
_____	_____	_____	2. The applicant shall provide photographs of all parcels within a three hundred (300) foot radius of the subject parcel, with identifying comments on said photographs.
_____	_____	_____	3. A site plan shall include the following information, plotted as necessary to a scale of not more than twenty (20) feet to one (1) inch:
_____	_____	_____	a. Title of drawing, including name and address of applicant.
_____	_____	_____	b. North point, scale, and date.
_____	_____	_____	c. Boundaries of the project.
_____	_____	_____	d. Existing natural features, such as watercourse, waterbodies, wetlands, wooded areas, and individual large trees on the subject property. Features to be retained should be noted.
_____	_____	_____	e. Floodplain boundaries as determined by the Federal Emergency Management Agency.
_____	_____	_____	f. Location of proposed land and water uses and their areas in acres and location, together with the proposed use, dimensions, height and architectural features of all buildings and other structures.
_____	_____	_____	g. Location of outdoor storage and description of materials to be stored.
_____	_____	_____	h. Location of all existing or proposed site improvements including street, drains, culverts, retaining walls, fences, docks and easements, whether public or private.
_____	_____	_____	i. Location and description of all proposed waterfront public access/recreation provisions.
_____	_____	_____	j. Description of sewage disposal and water supply systems and locations of such facilities.
_____	_____	_____	k. Location and proposed development of buffer areas and other landscaping; the general landscaping plan and planting schedule.
_____	_____	_____	l. Location of all parking and loading area, internal circulation pattern, and ingress and egress drives.
_____	_____	_____	m. Provision for pedestrian and patron access, including public and private sidewalks, walkways and docks.
_____	_____	_____	n. Location, design and size of all signs and lighting facilities.
_____	_____	_____	o. Approximate locations and dimensions of areas proposed for neighborhood parks, playgrounds or other permanent open space.
_____	_____	_____	p. Building orientation and site design for energy efficiency and visual quality.
_____	_____	_____	q. Location and design of all energy distribution facilities, including electrical, gas, and solar energy.
_____	_____	_____	r. Description and location of erosion control measures including proposed location of sediment sink/setting pond and interceptor swales, etc..
_____	_____	_____	s. Location, supporting design data and copies of computations used as a basis for the design capacities and performance of stormwater management facilities.
_____	_____	_____	t. Lines and dimensions of all property which is offered, or to be offered for dedication for public use, with the purpose indicated thereon, and of all property that is proposed to be reserved by deed covenant for the common use of the property owners of the development.
_____	_____	_____	u. Estimated project construction schedule.
_____	_____	_____	v. Record of application for approval status of all necessary permits from federal, state and county officials.
_____	_____	_____	w. Identification of any federal, state or county permits required for project execution.
_____	_____	_____	x. The Planning Board may require such additional information as it may deem necessary for a complete assessment of the project pursuant to this chapter.



**INC. VILLAGE OF FREEPORT**

**Department of Buildings**  
46 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK 11520  
(516) 377-2242  
FAX (516) 377-2493

ROBERT T. KENNEDY  
MAYOR

E-MAIL [BUILDINGDEPT@FREEPORTNY.GOV](mailto:BUILDINGDEPT@FREEPORTNY.GOV)

SERGIO A. MAURAS  
SUPERINTENDENT OF BUILDINGS

**SITE PLAN LETTER**  
June 16, 2023

Ubaldo Rodriguez

RE: 25 Johnson Place, Freeport, NY

Zoning District: Res A Sec 54 Blk 320 Lot 133

Building Permit Application #20233251

Description: 2<sup>nd</sup> floor addition, Install new deck and remove and add windows.

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. Only after this initial appointment should the additional copies be made.

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the VILLAGE CLERK'S OFFICE at 377-2300.

Very truly yours,

Sergio A. Mauras  
Superintendent of Buildings  
/Dh

c: Village Clerk

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ZBA Approval Needed: Yes \_\_\_ No X

VILLAGE OF FREEPORT  
Department of Buildings  
Recommendation

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Notice

X 2023 JUN 28 A 11:02  
Negative Declaration

Positive Declaration

CLERK'S OFFICE

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.  
(See reasons below)

Project : \_\_\_\_\_  
Building Permit App. 20233251

Location: 25 Johnson Place

Applicant: Ubaldo Rodriguez

Description : 2<sup>nd</sup> floor addition, Install new deck and remove and add windows.

Lead Agency: Department of Buildings  
for the Board of Trustees  
Village of Freeport  
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:  
Superintendent of Buildings  
(516) 377-2242

**REASON(S) FOR DETERMINATION**

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) \_\_\_\_\_  
\_\_\_\_\_

B) Possible environment effects identified:  
(only if positive determination)

\_\_\_\_\_  
\_\_\_\_\_

Dated: June 16, 2023

Sergio A. Mauras  
Sergio A. Mauras  
Superintendent of Buildings

**IMPORTANT:** This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

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VILLAGE OF FREEPORT

# DEPARTMENT OF BUILDINGS

OF THE VILLAGE OF FREEPORT, N.Y.

APPLICATION NO. \_\_\_\_\_

Filing Date

2023 3251

APRIL 20, 2023

## Application for Erection of Buildings or Alterations

**IMPORTANT** - Applicant to complete all items in sections: I, II, III, IV, V

I. LOCATION OF BUILDING	AT LOCATION <u>25</u> <u>JOHNSON PL</u> ZONING DISTRICT <u>RES. 'A'</u> <small>(No.) (Street)</small>
	BETWEEN <u>S. BAYVIEW AVE</u> AND <u>WESTEND AVE</u> <small>(Cross Street) (Cross Street)</small>
	SECTION <u>5A</u> BLOCK <u>310</u> LOT <u>133</u> APPROX. LOT SIZE <u>190</u> x <u>52'</u> LOT AREA <u>10,006</u> <small>(Cross Street)</small>

### II. TYPE AND COST OF BUILDING - All applicants complete Parts A - D.

<b>A. TYPE OF IMPROVEMENT</b> 1 <input type="checkbox"/> New Building 2 <input checked="" type="checkbox"/> Addition-Alteration (if residential, enter number of new housing units added. If non-residential name _____) 3 <input type="checkbox"/> Swimming Pool 4 <input type="checkbox"/> Floor Replacement 5 <input type="checkbox"/> Bulkhead (New, Repair) 6 <input type="checkbox"/> Fence 7 <input type="checkbox"/> Moving (Indication)		<b>B. PROPOSED OR EXISTING USE</b> <table border="0"> <tr> <td><b>RESIDENTIAL</b></td> <td><b>NON-RESIDENTIAL - Complete Part "B"</b></td> </tr> <tr> <td>11 <input type="checkbox"/> One Family</td> <td>17 <input type="checkbox"/> Industrial</td> </tr> <tr> <td>12 <input checked="" type="checkbox"/> Two Family</td> <td>18 <input type="checkbox"/> Office, bank, professional</td> </tr> <tr> <td>13 <input type="checkbox"/> Apartments - Enter No. of Units _____</td> <td>19 <input type="checkbox"/> Store, restaurant</td> </tr> <tr> <td>14 <input type="checkbox"/> Transfer Retail, hotel, or dormitory - (Enter No. of Units _____)</td> <td>20 <input type="checkbox"/> Church, other religious</td> </tr> <tr> <td>15 <input type="checkbox"/> Garage or Accessory Structure</td> <td>21 <input type="checkbox"/> Hospital, institutional</td> </tr> <tr> <td>16 <input type="checkbox"/> Other - Specify _____</td> <td>22 <input type="checkbox"/> Other - Specify _____</td> </tr> </table>		<b>RESIDENTIAL</b>	<b>NON-RESIDENTIAL - Complete Part "B"</b>	11 <input type="checkbox"/> One Family	17 <input type="checkbox"/> Industrial	12 <input checked="" type="checkbox"/> Two Family	18 <input type="checkbox"/> Office, bank, professional	13 <input type="checkbox"/> Apartments - Enter No. of Units _____	19 <input type="checkbox"/> Store, restaurant	14 <input type="checkbox"/> Transfer Retail, hotel, or dormitory - (Enter No. of Units _____)	20 <input type="checkbox"/> Church, other religious	15 <input type="checkbox"/> Garage or Accessory Structure	21 <input type="checkbox"/> Hospital, institutional	16 <input type="checkbox"/> Other - Specify _____	22 <input type="checkbox"/> Other - Specify _____
<b>RESIDENTIAL</b>	<b>NON-RESIDENTIAL - Complete Part "B"</b>																
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15 <input type="checkbox"/> Garage or Accessory Structure	21 <input type="checkbox"/> Hospital, institutional																
16 <input type="checkbox"/> Other - Specify _____	22 <input type="checkbox"/> Other - Specify _____																
<b>C. COST</b> 10 TOTAL COST OF IMPROVEMENT <u>\$ 35,000</u>		<b>D. DESCRIPTION OF PROJECT</b> <u>- 2ND FLOOR EXTENSION</u> <u>- ADDITION OF EGRESS WINDOW</u> <u>&amp; WELL 1ST BASEMENT</u> <u>- Addition of Deck</u>															

### III. IDENTIFICATION - To be completed by all applicants

	NAME	MAILING ADDRESS - Number, street, city and state, Zip	TEL. NO.
1. Owner or Lessor	URBALDO RODRIGUEZ	25 JOHNSON PL., FREEPORT, N.Y.	(516) 749-2515
2. Contractor	RA		
3. Architect or Engineer	MARCELO KOHAN, RA	2963 HOLIDAY PARK DR., MERCK, N.Y.	(516) 378-2178

### IV. OWNER - CONTRACTOR STATEMENT

Building permits is issued subject to the provisions of Section 67 of the Workmen's Compensation Law.

Workmen's Compensation Certificate No. \_\_\_\_\_ Company \_\_\_\_\_ Exp. Date \_\_\_\_\_

OGILDA ESTEVEZ  
NOTARY PUBLIC, STATE OF NEW YORK  
NO. 01ES5021338  
QUALIFIED IN NASSAU COUNTY  
MY COMMISSION EXPIRES DEC. 13, 2025  
State of New York

Contractor or Owner Urbaldo Rodriguez  
Address 25 Johnson Place  
Phone 516-749-2515

County of Nassau  
Urbaldo Rodriguez (Print) He is the contractor or owner of the above mentioned building. That the items of the above application and the estimated cost of said building or alteration, is correct to the best of his knowledge and belief and agrees to conform to all applicable laws of this jurisdiction.  
(His or Her)

Sworn and signed on this 21st day of December, 2023  
[Signature]  
Notary Public,  
County, N.Y.

[Signature]  
(Applicant Signature)

### V. FLOOD ZONE

IS PROJECT LOCATED WITHIN A DESIGNATED FLOOD HAZARD ZONE?  
YES  NO   
IF YES, WHICH ZONE? \_\_\_\_\_

IS PROJECT TO REPAIR FLOOD DAMAGE?  
YES  NO

### PROJECT DESCRIPTION

Total/First Floor Square Feet

Upper Floor Square Feet

# of Fixtures

# of Floors

Occup. Type

### VI. VALIDATION (Include the Date)

Building Permit Number \_\_\_\_\_  
Building Permit Issued \_\_\_\_\_  
Building Permit Fee \$ \_\_\_\_\_

Approved by:

Superintendent of Buildings

617.20  
Appendix B  
Short Environmental Assessment Form

20233251

**Instructions for Completing**

**Part 1 - Project Information:** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>							
Name of Action or Project: <p style="text-align: center;">RODRIGUEZ RESIDENCE</p>							
Project Location (describe, and attach a location map): <p style="text-align: center;">25 JOHNSON PL, FREEPORT, NY, 11520</p>							
Brief Description of Proposed Action: <ul style="list-style-type: none"> <li>- 2ND FLOOR EXTENSION</li> <li>- NEW EGRESS WINDOW &amp; WINDOW WELL AT BASEMENT</li> <li>- Addition of Deck.</li> </ul>							
Name of Applicant or Sponsor: MARCELO KOHAN, RA		Telephone: 516-378-2178					
Address: 2963 HOLIDAY PARK DR,		E-Mail: MAX@DELARGENTDESIGN.COM					
City/PO: MERRICK		State: NY	Zip Code: 11566				
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1" style="width: 100%;"> <tr> <td style="width: 50%;">NO</td> <td style="width: 50%;">YES</td> </tr> <tr> <td style="text-align: center;"> </td> <td style="text-align: center;">✓</td> </tr> </table>	NO	YES		✓
NO	YES						
	✓						
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			<table border="1" style="width: 100%;"> <tr> <td style="width: 50%;">NO</td> <td style="width: 50%;">YES</td> </tr> <tr> <td style="text-align: center;"> </td> <td style="text-align: center;">✓</td> </tr> </table>	NO	YES		✓
NO	YES						
	✓						
3.a. Total acreage of the site of the proposed action?		.23 acres					
b. Total acreage to be physically disturbed?		— acres					
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		— acres					
4. Check all land uses that occur on, adjoining and near the proposed action.							
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)							
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____							
<input type="checkbox"/> Parkland							

5. Is the proposed action, a. A permitted use under the zoning regulations?		NO	YES	N/A
b. Consistent with the adopted comprehensive plan?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?		NO	YES	
2023 JUN 28 A 11: 02		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____		NO	YES	
CLERK'S OFFICE VILLAGE OF FREETOWN, NY		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?		NO	YES	
b. Are public transportation service(s) available at or near the site of the proposed action?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____		NO	YES	
		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing potable water: _____		NO	YES	
		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____		NO	YES	
		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?		NO	YES	
b. Is the proposed action located in an archeological sensitive area?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?		NO	YES	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban				
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?		NO	YES	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?		NO	YES	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES		NO	YES	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor name: <u>MARCELO KAHAN</u> Date: <u>12/16/22</u>		
Signature: <u>[Signature]</u>		

**Part 2 - Impact Assessment.** The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.**

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 VILLAGE OF FREEPORT, NY

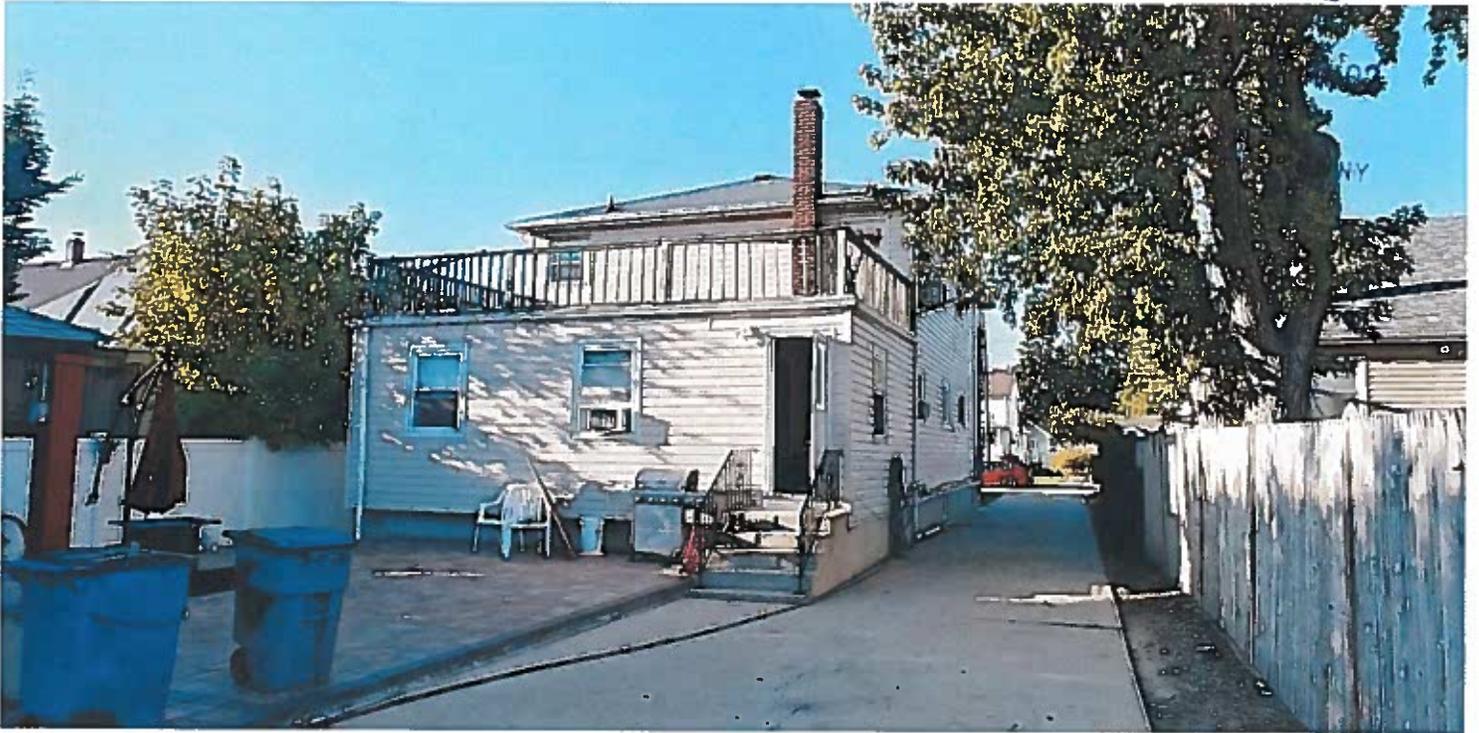
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)





25 Johnson Pl., Freeport, NY, 11520

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**REAR ELEVATION**



**SIDE ELEVATION**



25 Johnson Pl., Freeport, NY, 11520



**FRONT ELEVATION**



**SIDE ELEVATION**

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Johnson Pl., Freeport, NY, 11520



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Johnson Pl., Freeport, NY, 11520



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FREEPORT, NY

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Johnson Pl., Freeport, NY, 11520



# CertainTeed Monogram Horizontal Vinyl Siding (2 Square)

★★★★★ 5 Reviews Available in 214 Options. Pricing may vary

**PLEASE NOTE:** Once an order is placed, all special order only options on this product page are custom and cannot be cancelled, refunded, or returned for any reason.

If placing an order for 4 or more boxes for this product, the order will need to be shipped to a commercial address with forklift access or you will need to have it picked up at the local destination terminal for the shipping company. At this time, we cannot ship this item to a residential address.

### Choose Your Siding Style

Double 5in. Dutchlap

### Choose Your Siding Color

Midnight Blue

### Choose Your Quantity

Single Box

### Double 5 Inch Dutchlap - Midnight Blue - Single Box

Manufacturer Part Number: 3312545

**\$452.06+ Free Freight Shipping**

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VILLAGE OF FREEPORT, NY

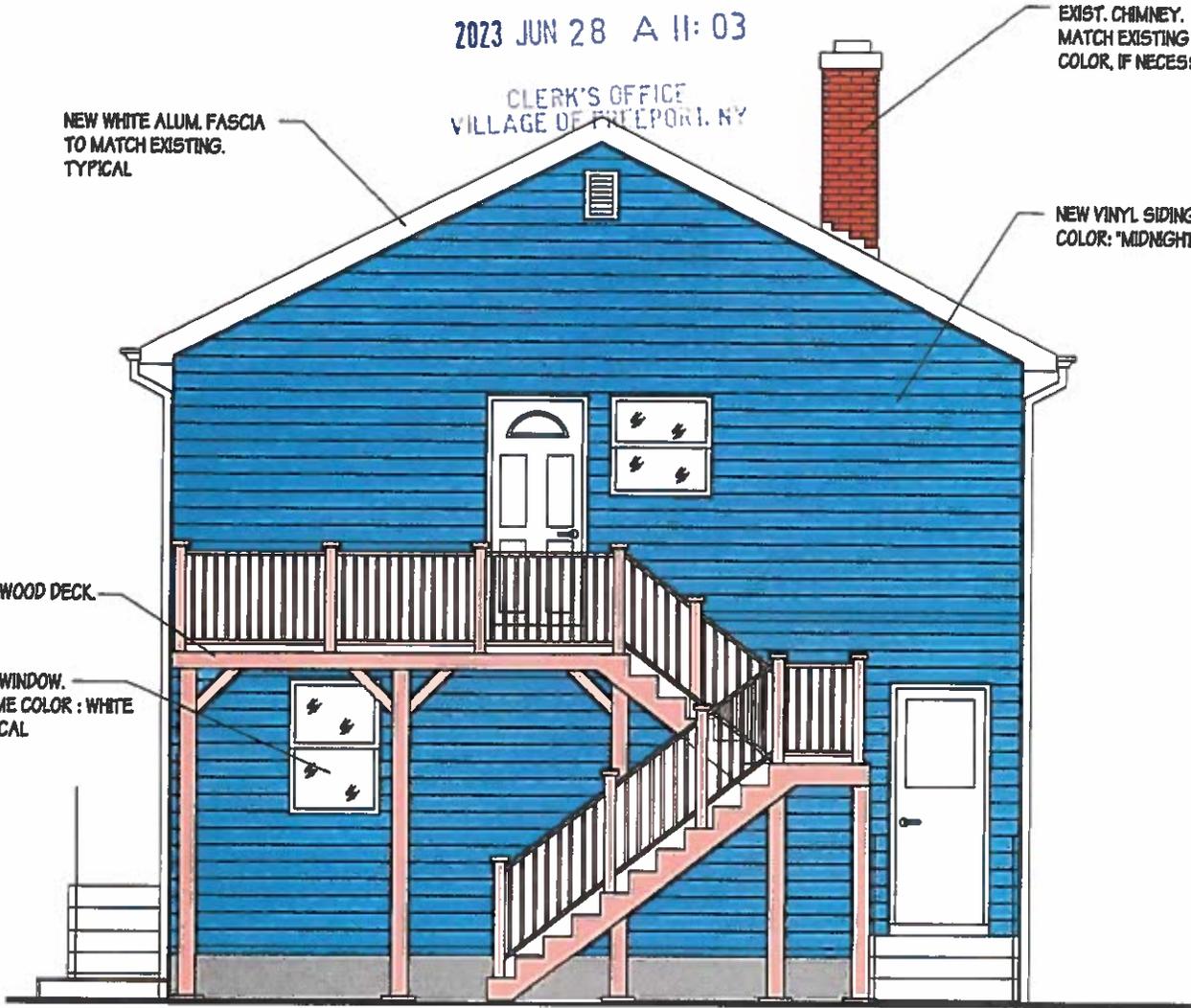
NEW WHITE ALUM. FASCIA  
TO MATCH EXISTING.  
TYPICAL

EXIST. CHIMNEY.  
MATCH EXISTING TERRACOTA  
COLOR, IF NECESSARY

NEW VINYL SIDING.  
COLOR: 'MIDNIGHT BLUE', OR SIMILAR

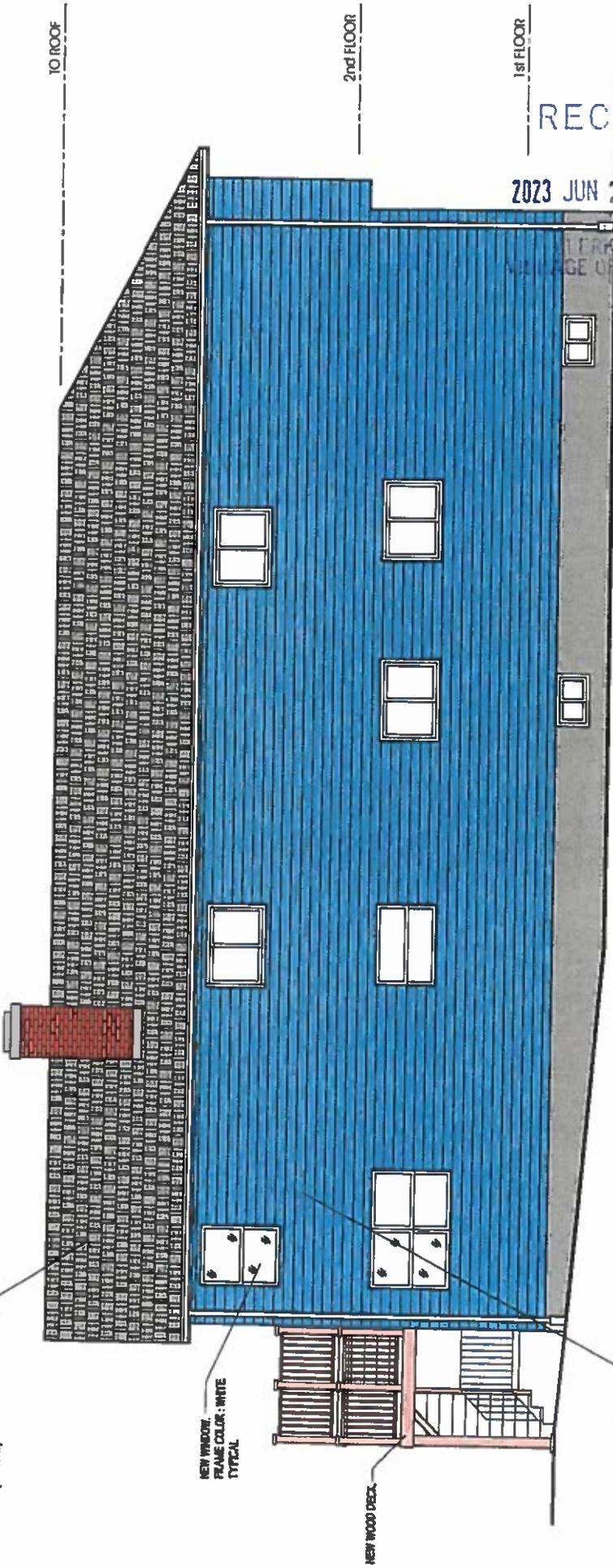
NEW WOOD DECK.

NEW WINDOW.  
FRAME COLOR : WHITE  
TYPICAL



Proposed &  
Existing Rear Elevation

SCALE = 1/4" = 1'-0"



NEW ASPHALT SHINGLE ROOFING.  
COLOR: 'SLATE' GRAY  
(TYPICAL)

NEW WINDOW  
FRAME COLOR: WHITE  
TYPICAL

NEW WOOD DECK

NEW VINYL SIDING  
COLOR: 'MIDNIGHT' BLUE; OR 'SAGE' GRAY

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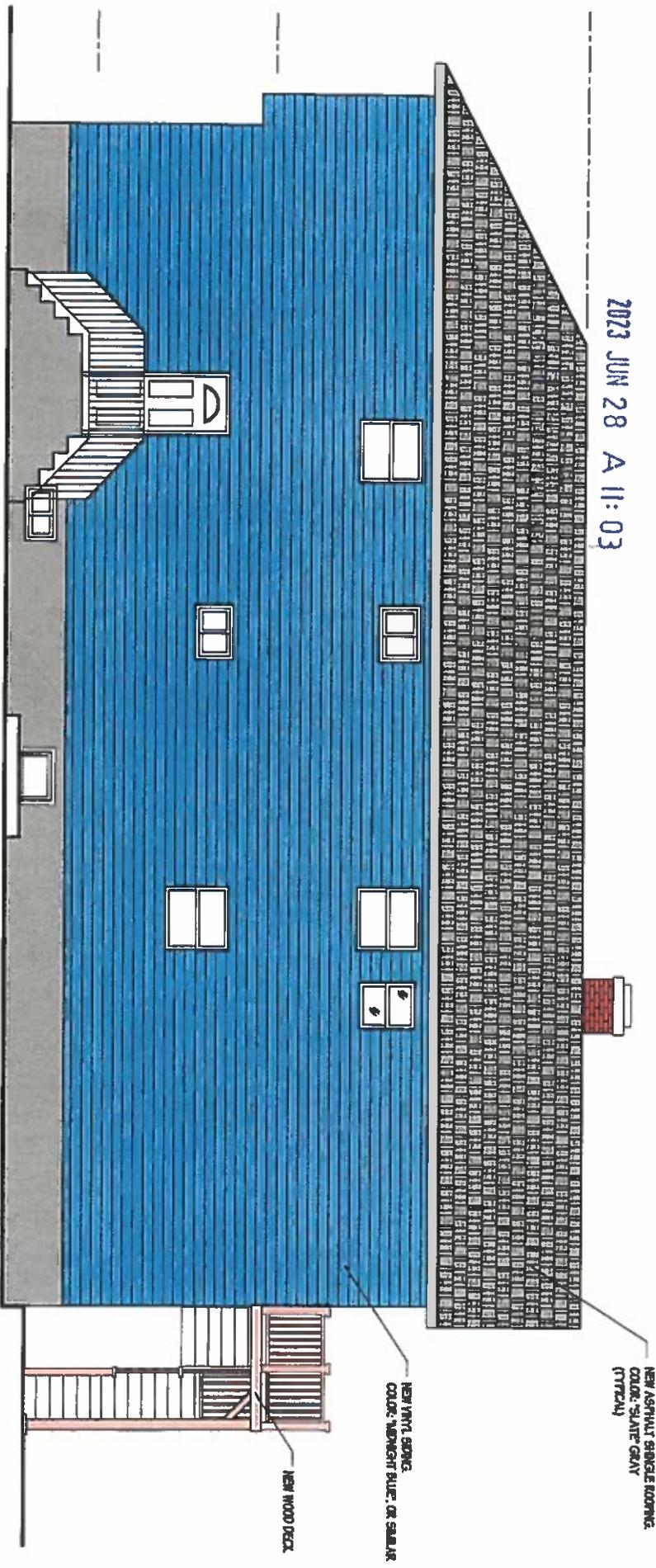
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PLANNING OFFICE  
VILLAGE OF FREEPORT, NY

**Existing Left Side Elevation**  
SCALE = 1/4" = 1'-0"

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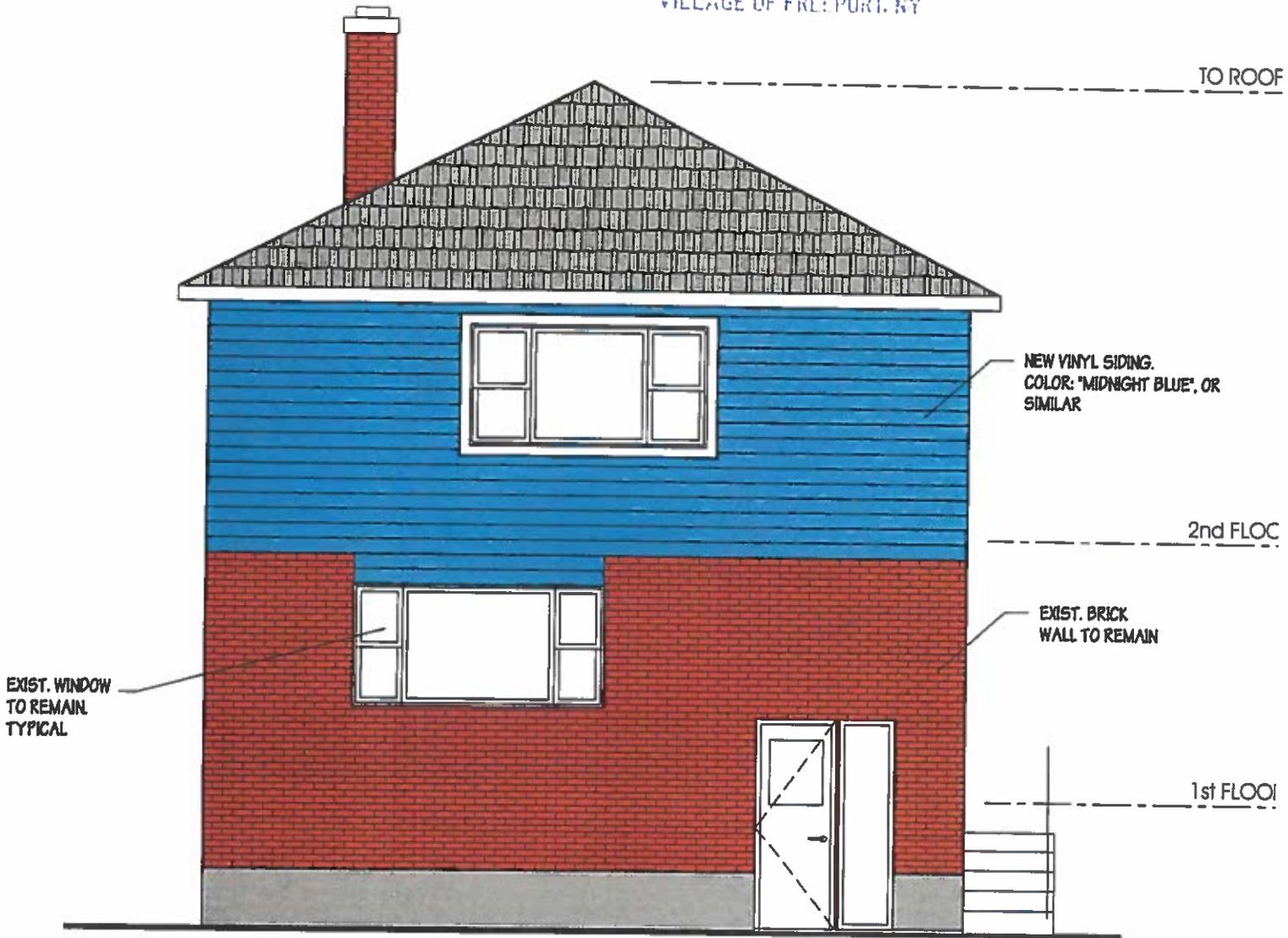


Existing/Proposed Right Side Elevation

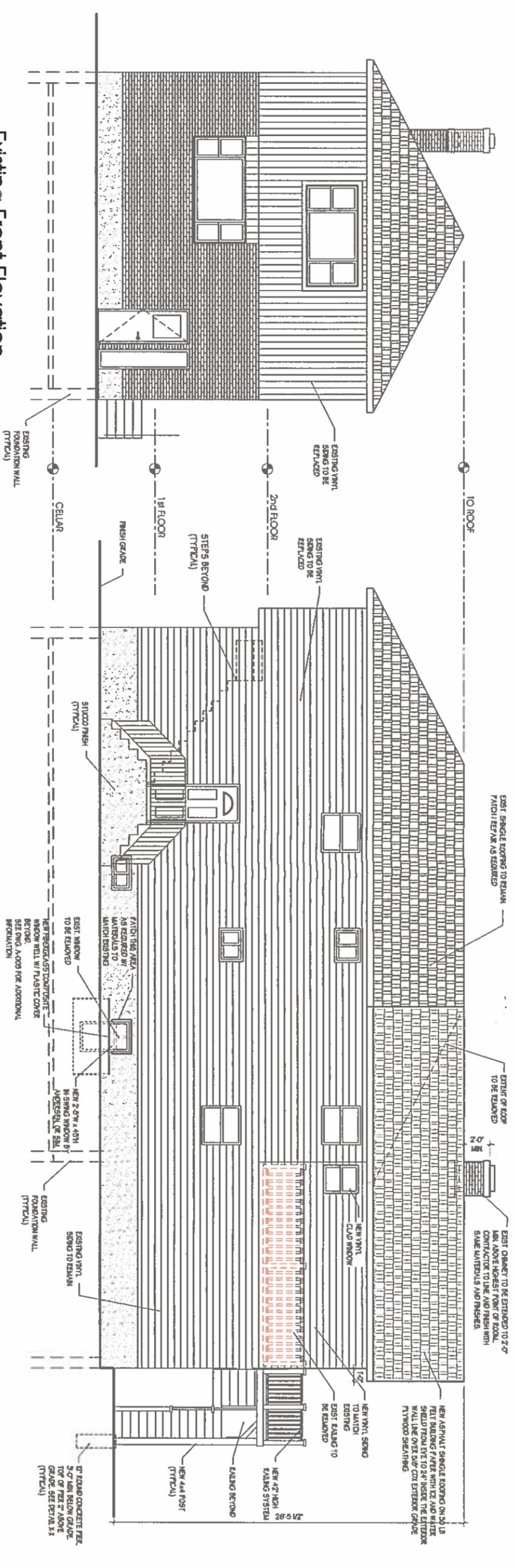
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CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY

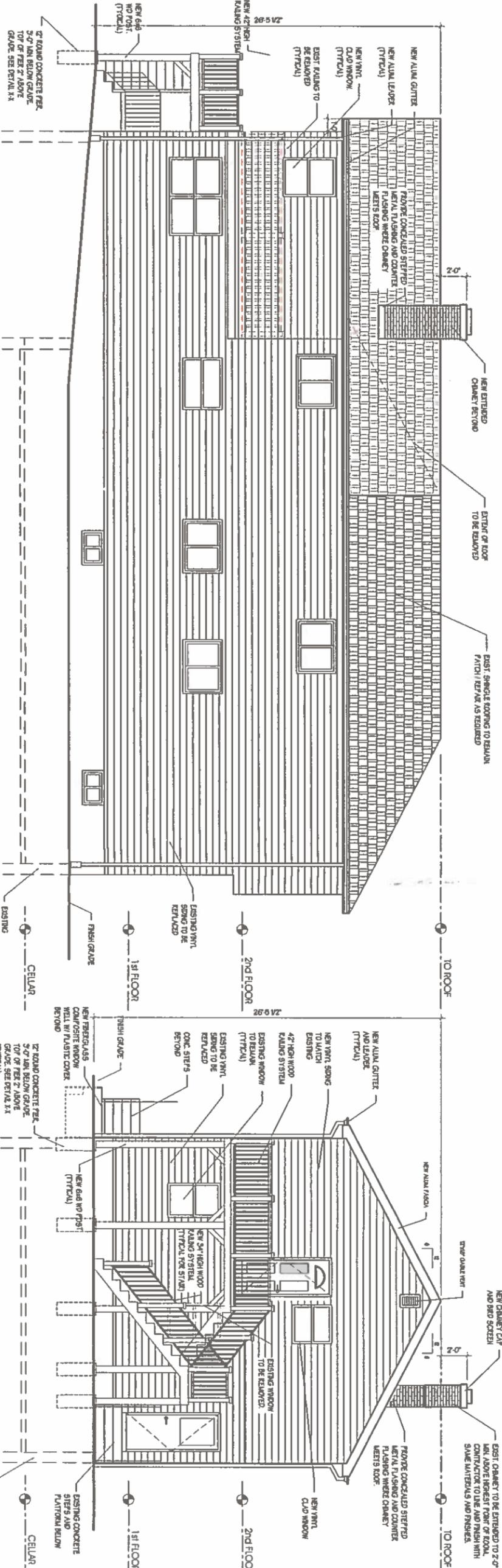


Existing Front Elevation



Existing Front Elevation  
SCALE = 1/4" = 1'-0"

Existing/Proposed Right Side Elevation  
SCALE = 1/4" = 1'-0"



Existing Left Side Elevation  
SCALE = 1/4" = 1'-0"

Proposed Rear Elevation  
SCALE = 1/4" = 1'-0"



2963 Holiday Park Drive  
Merrick, New York, 11566  
Phone: 516.378.2178  
Email: mak@delargentsdesign.com

**PROJECT INFORMATION**  
Existing (2) Family Residence  
25 Johnson Pl.  
Freeport, NY, 11520  
SECTION: 55  
BLOCK: 363  
TAX LOT(s): 606-608

NO.	DATE	DESCRIPTION
1	4/27/23	ISSUED FOR PERMITS
2	2023 JUN 15	REVISED
3	2023 JUN 20	REVISED

PROJECT NO:	2213
CAD DWG FILE:	
DATE:	1/17/23
DRAWN BY:	MKK
SHEET TITLE:	

Existing / Proposed Elevations	
SHEET NUMBER	PAGE NO.
A-003.00	5 of 11
DOB JOB NUMBER	