

Application Date: 10/10/23
Fees Paid: \$325.00

SP# 3673

INCORPORATED VILLAGE OF FREEPORT
SITE PLAN REVIEW APPLICATION
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 23 Weberfield Avenue ZONING DISTRICT Residence REA
SECTION 55 BLOCK 211 LOT 122, 123 LOT SIZE: 50' x 150'

<input type="checkbox"/> TENANT	<input checked="" type="checkbox"/> APPLICANT	<input type="checkbox"/> LESSEE	<input checked="" type="checkbox"/> PROPERTY OWNER	
Name: <u>Wayne Headley</u>			Name: <u>Wayne Headley</u>	
Address: <u>7 West 2nd Street</u> <u>Freeport, NY 11520</u>			Address: <u>7 West 2nd Street</u> <u>Freeport, NY 11520</u>	
Telephone #: <u>(347) 880-9159</u>			Telephone #: <u>(347) 880-9159</u>	

Attorney Name: _____ Address: _____
(optional) Phone #: _____

Present Land Use: Residential
single family Proposed Land Use: Residential
single family

Description of Proposed Work: Proposed new detached garage

I request a preliminary meeting: YES NO

I request a waiver of the public hearing and hereby certify the following:
A. The subject property is zoned Residence A or Residence AA.
B. The proposed construction is not a new building or dwelling.
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.

Wayne Headley
APPLICANT'S SIGNATURE
Sworn to before me this 2nd
day of OCT, 2023

NO
10/02/2023
DATE
Ayuu A. Carson
Notary Public, State of New York
Registration N.J. 01CA6421845
Qualified in Nassau County
Commission Expires September 13 2025

Notary Public

Property Owner's Consent:
I, _____ am (are) the owner(s) of the subject property and consent to the filing of this application.

Wayne Headley
PROPERTY OWNER'S SIGNATURE
Sworn to before me this 2nd
day of OCT, 2023

10/02/2023
DATE
Ayuu A. Carson
Notary Public, State of New York
Registration N.J. 01CA6421845
Qualified in Nassau County
Commission Expires September 13 2025

Notary Public

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: <u>YES</u> <u>NO</u>	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	<u>Approved</u> <u>Denied</u> Date: _____
Planning Board Signature: _____	Date: _____



INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE

FREEPORT, NEW YORK 11520

(516) 377-2242

FAX (516) 377-2493

ROBERT T. KENNEDY
MAYOR

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

SITE PLAN LETTER
August 15, 2023

Wayne Headley
23 Weberfield Ave
Freeport, NY 11520

RE: 23 Weberfield Ave , Freeport, NY 11520
Zoning District: Residence A Sec 55, Blk 211, Lot 122,123
Building Permit Application #20233415
Description: Proposed new detached garage 22'x30' (660 sq.ft)

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the **Village Clerk's Office at 516-377-3632** to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the **VILLAGE CLERK'S OFFICE** at 377-2300.

Very truly yours,

Sergio A. Mauras
Superintendent of Buildings
/Daniela Hernandez

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c: Village Clerk

ZBA Approval Needed: Yes__ No_X

VILLAGE OF FREEPORT

Department of Buildings

Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement. (See reasons below)

Project : Building Permit App. 20233415

Location: 23 Weberfield Ave , Freeport NY 11520

Applicant: Wayne Headley

Description : Proposed new detached garage 22'x30' (660 sq.ft)

Lead Agency: Department of Buildings for the Board of Trustees Village of Freeport 46 North Ocean Avenue, Freeport, NY

Agency Contact Person: Superintendent of Buildings (516) 377-2242

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REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A)

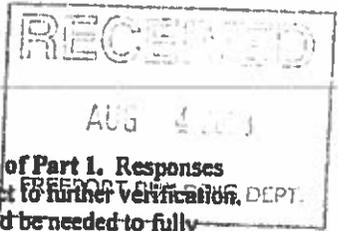
B) Possible environment effects identified: (only if positive determination)

Dated: August 15, 2023

Sergio A. Mauras Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

017.20
Appendix B
Short Environmental Assessment Form



Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: PROPOSED NEW DETACHED GARAGE			
Project Location (describe, and attach a location map): 23 Weberfield Avenue, Freeport, NY 11520			
Brief Description of Proposed Action: PROPOSED NEW DETACHED GARAGE 22'x30'			
Name of Applicant or Sponsor: Wayne Headley		Telephone: (347) 890-9159	
		E-Mail:	
Address: 7 West 2nd Street, Freeport, NY			
City/PO: Freeport		State: NY	Zip Code: 11520
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input checked="" type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: Village of Freeport			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		0.172 acres	
b. Total acreage to be physically disturbed?		0.015 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		0.172 acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

	NO	YES	N/A
3. Is the proposed action, a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?	<input type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing potable water: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the proposed action located in an archeological sensitive area?	<input type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES			

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18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>PEI-DAU LIU, ARCHITECT</u> Date: <u>8-3/2023</u>		
Signature: <u><i>Pei-Dau Liu</i></u>		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

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	small impact may occur	to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

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<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)



EXISTING NORTH FACADE



EXISTING SOUTHWEST FACADE



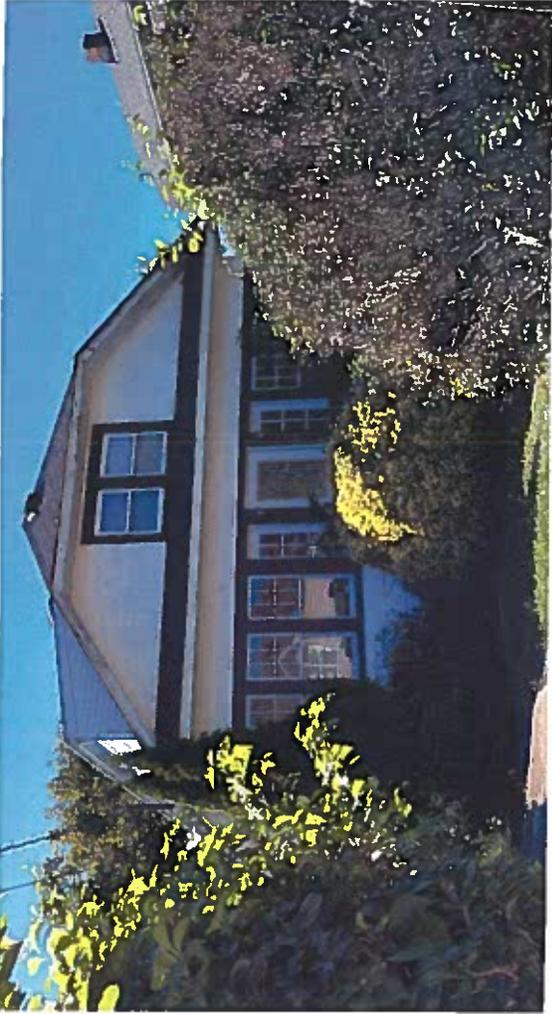
EXISTING NORTHEAST FACADE



EXISTING NORTHWEST FACADE

EXISTING CONDITIONS

23 WEBERFIELD AVENUE, FREEPORT, NY



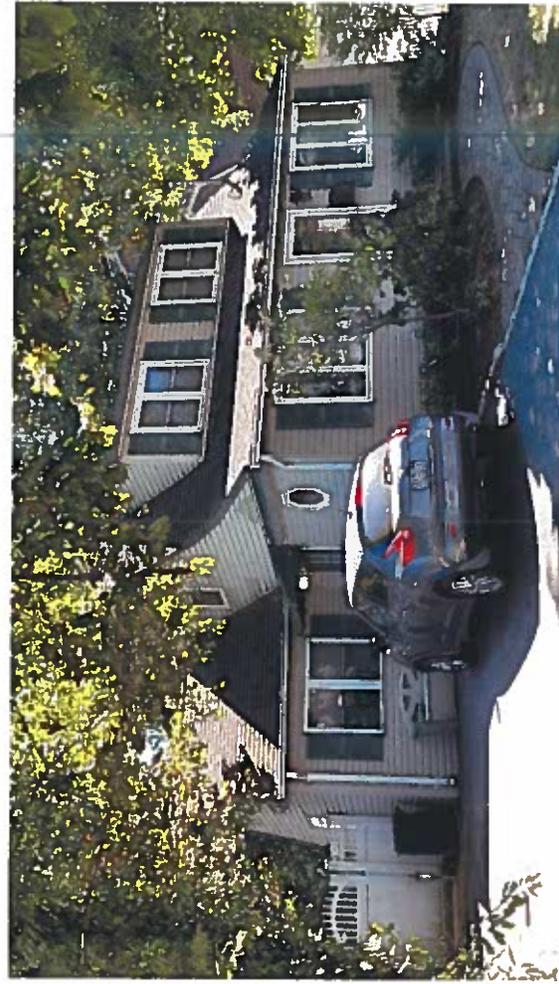
17 WEBERFIELD AVENUE (SOUTH)



16 WEBERFIELD AVENUE (EAST)

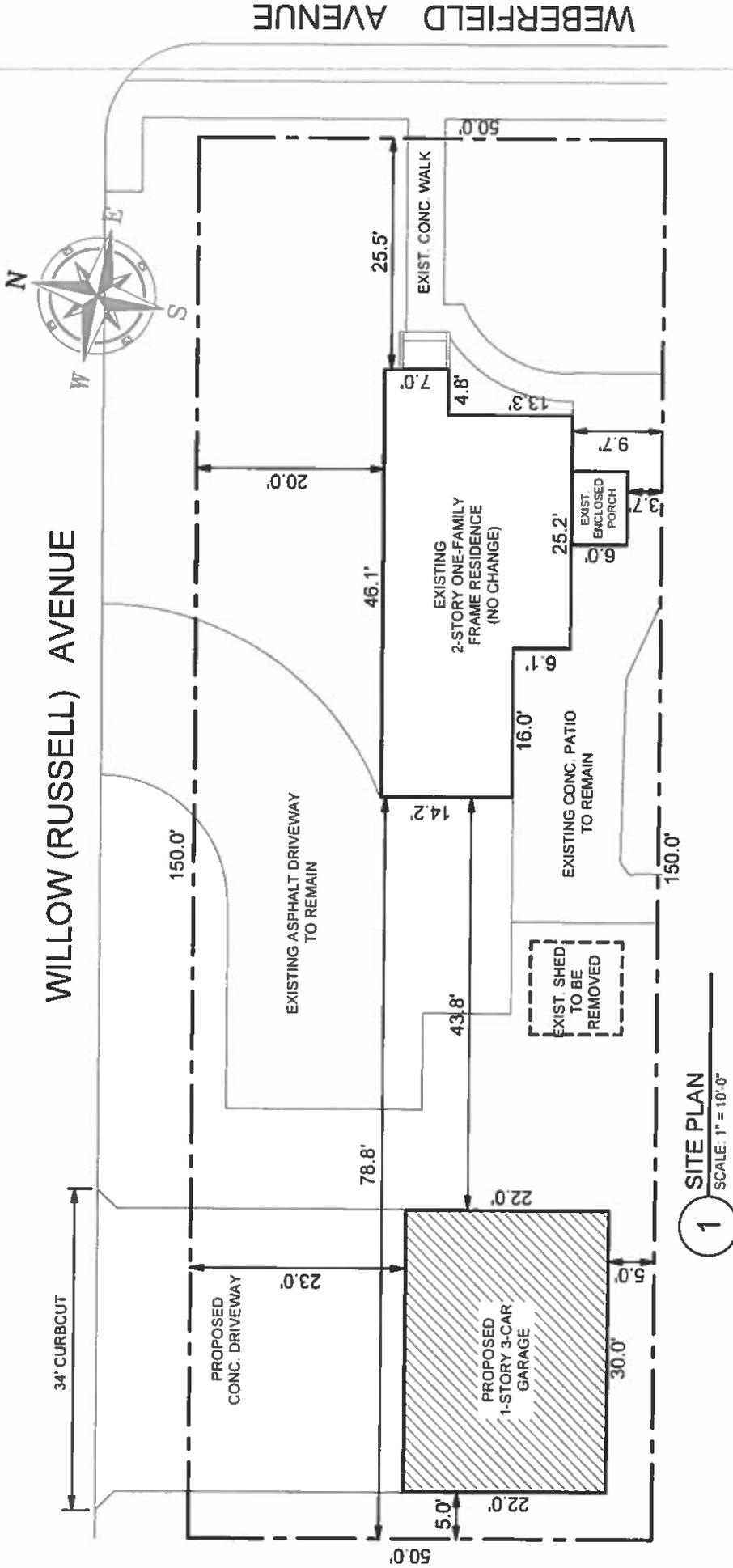


27 WEBERFIELD AVENUE (NORTH)



50 WILLOW AVENUE (WEST)

ADJACENT HOUSES NEXT TO 23 WEBERFIELD AVENUE, FREEPORT, NY



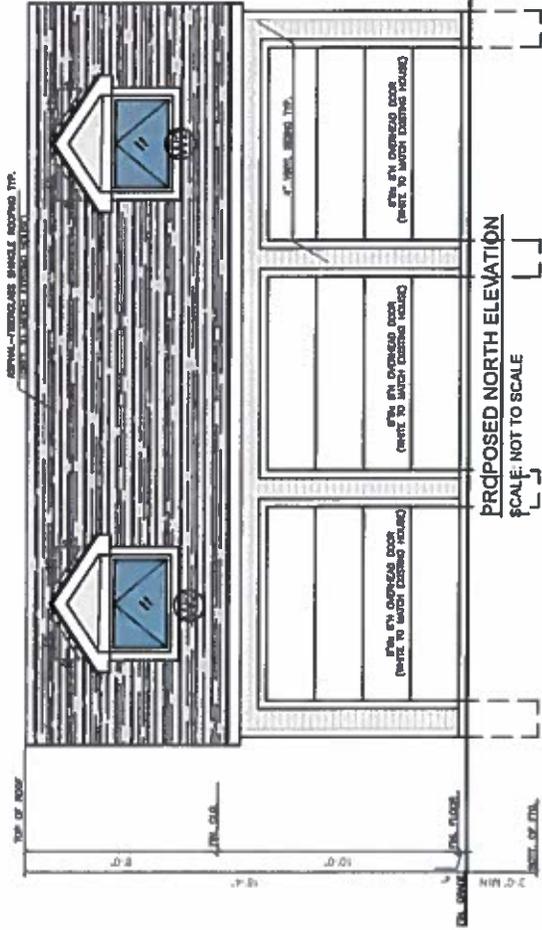
1 SITE PLAN
SCALE: 1" = 10'-0"

**PROPOSED NEW DETACHED GARAGE AT
23 WEBERFIELD AVENUE, FREEPORT, NY**

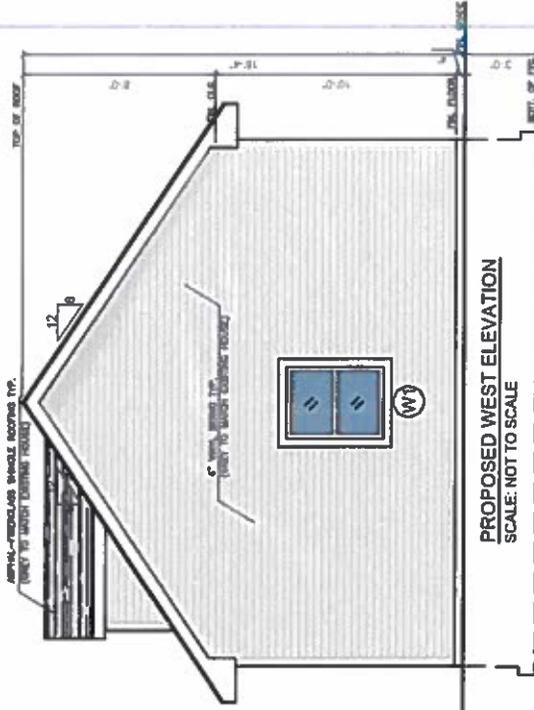
PEI-DAU LIU, ARCHITECT
384 NASSAU PARKWAY, OCEANSIDE, NY 11572
Tel: 516-580-1787 Email: liuarchitect@aol.com

WEBERFIELD AVENUE

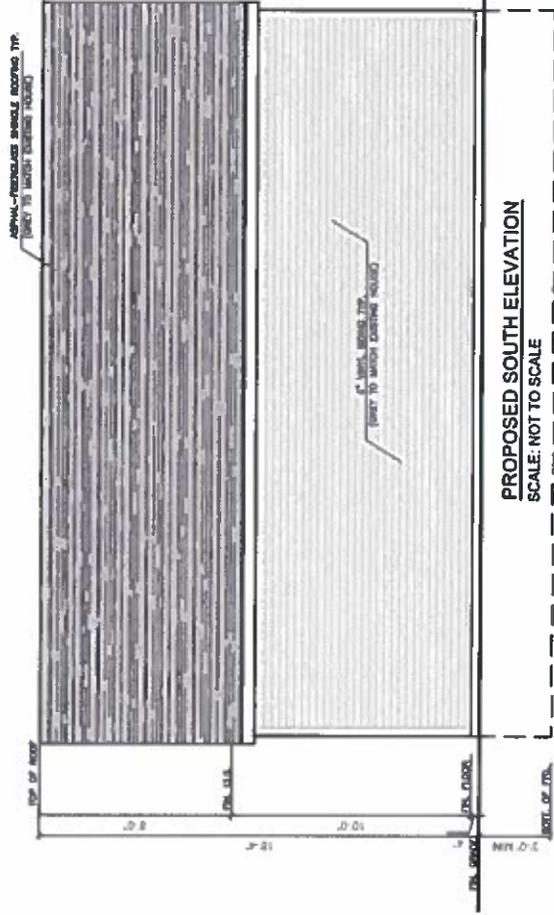
WILLOW (RUSSELL) AVENUE



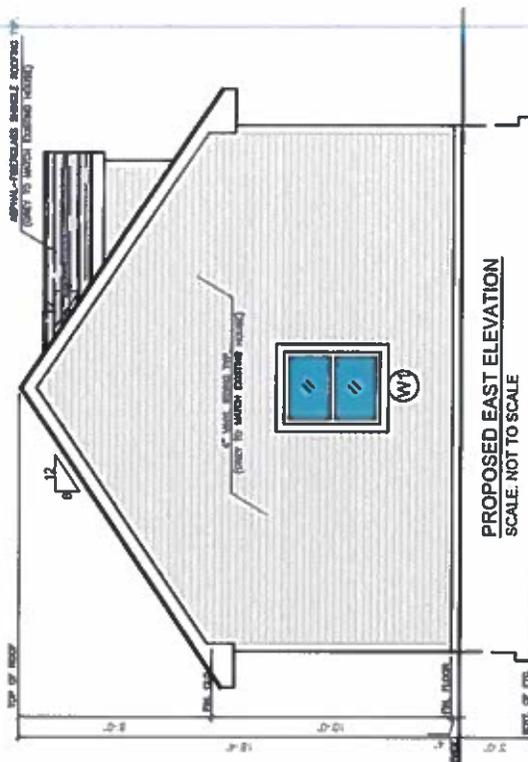
PROPOSED NORTH ELEVATION
SCALE: NOT TO SCALE



PROPOSED WEST ELEVATION
SCALE: NOT TO SCALE



PROPOSED SOUTH ELEVATION
SCALE: NOT TO SCALE



PROPOSED EAST ELEVATION
SCALE: NOT TO SCALE

**PROPOSED NEW DETACHED GARAGE AT
23 WEBERFIELD AVENUE, FREEPORT, NY**

PEI-DAU LIU, ARCHITECT
384 NASSAU PARKWAY, OCEANSIDE, NY 11572
Tel: 516-580-1787 Email: liuarchitect@aol.com

Application Date: _____
Fees Paid: _____

SP# 3674

**INCORPORATED VILLAGE OF FREEPORT
SITE PLAN REVIEW APPLICATION
PLANNING BOARD**

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 124 N Long Beach Ave ZONING DISTRICT Residence AA
SECTION 55 BLOCK 271 LOT 19 LOT SIZE: _____

<input type="checkbox"/> TENANT <u>APPLICANT</u> <input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>Radha & Rajendra Sharma</u>	Name: <u>Radha & Rajendra Sharma</u>
Address: <u>124 N Long Beach Ave</u>	Address: <u>124 N Long Beach Ave</u>
<u>Freeport NY - 11520</u>	<u>Freeport NY - 11520</u>
Telephone #: <u>212-729-9440</u>	Telephone #: <u>212-729-9440</u>

Attorney Name: _____ Address: _____
(optional) Phone #: _____

Present Land Use: Residence AA Proposed Land Use: Residence AA

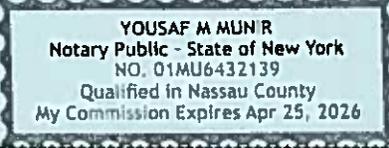
Description of Proposed Work: Install a canopy over existing balcony

I request a preliminary meeting: YES NO

I request a waiver of the public hearing and hereby certify the following:
A. The subject property is zoned Residence A or Residence AA.
B. The proposed construction is not a new building or dwelling.
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.

[Signature] YES NO
APPLICANT'S SIGNATURE DATE 9/18/23

Sworn to before me this 18
day of SEPTEMBER, 2023
[Signature]
Notary Public



Property Owner's Consent:
I, [Signature] am (are) the owner(s) of the subject property and consent to the filing of this application.
[Signature] DATE 9/18/23
PROPERTY OWNER'S SIGNATURE

Sworn to before me this _____
day of _____, 20____.

Notary Public

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: <input type="checkbox"/> YES <input type="checkbox"/> NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	Approved <input type="checkbox"/> Denied <input type="checkbox"/> Date: _____
Planning Board Signature: _____	Date: _____



INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

ROBERT T. KENNEDY
MAYOR

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

SITE PLAN LETTER
August 30, 2023

Rajendra Sharma
124 N Long Beach Ave
Freeport, NY 11520

RE: 124 N Long Beach Avenue, Freeport, NY 11520
Zoning District Residence AA. Sec 55, Blk 271, Lot 19
Building Permit Application #20233385
Description: Install canopy over the existing balcony (308 sq.ft)

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the **Village Clerk's Office at 516-377-3632** to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the **VILLAGE CLERK'S OFFICE** at 377-2300.

Very truly yours,


Sergio A. Mauras
Superintendent of Buildings
/Daniela Hernandez

c: Village Clerk

ZBA Approval Needed: Yes__ No_X_

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project :

Building Permit App. 20233385

Location: 124 N Long Beach Ave, Freeport NY 11520

Applicant: Rajendra Sharma

Description : Install canopy over the existing balcony (308 sq.ft)

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) _____

B) Possible environment effects identified:
(only if a positive determination)

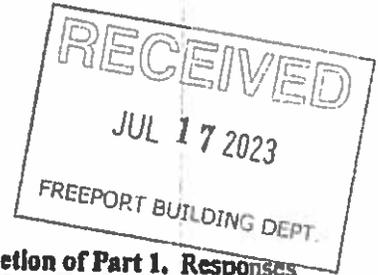
Dated: August 30, 2023

Sergio A. Mauras

Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

617.20
Appendix B
Short Environmental Assessment Form



Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information							
Name of Action or Project: <i>Install Canopy</i>							
Project Location (describe, and attach a location map): <i>124 N Long Beach Ave</i>							
Brief Description of Proposed Action: <i>Installing the canopy over the existing Balcony</i>							
Name of Applicant or Sponsor: <i>RAJENDRA SHARMA</i>		Telephone: <i>212-729-9446</i>					
		E-Mail: <i>neelkanthdham@gmail.com</i>					
Address: <i>124 N Long Beach Ave</i>							
City/PO: <i>Freeport</i>		State: <i>New York</i>	Zip Code: <i>11520</i>				
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1" style="width: 100%; text-align: center;"> <tr> <td>NO</td> <td>YES</td> </tr> <tr> <td style="font-size: 2em;">X</td> <td></td> </tr> </table>	NO	YES	X	
NO	YES						
X							
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			<table border="1" style="width: 100%; text-align: center;"> <tr> <td>NO</td> <td>YES</td> </tr> <tr> <td style="font-size: 2em;">X</td> <td></td> </tr> </table>	NO	YES	X	
NO	YES						
X							
3.a. Total acreage of the site of the proposed action?		_____ acres					
b. Total acreage to be physically disturbed?		_____ acres					
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ acres					
4. Check all land uses that occur on, adjoining and near the proposed action.							
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)							
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____							
<input type="checkbox"/> Parkland							

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5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation service(s) available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing potable water: _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places? b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100 year flood plain?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____ _____		RECEIVED JUL 17 2023 FREEPORT BUILDING DEP	NO	YES
			<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____ _____			NO	YES
			<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____ _____			NO	YES
			<input checked="" type="checkbox"/>	<input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE				
Applicant/sponsor name: <u>RAJENDRA SHARMA</u>		Date: <u>7/14/23</u>		
Signature: _____				

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

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 DEPARTMENT OF ENVIRONMENTAL CONSERVATION

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<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.						
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.						
<table style="width: 100%; border: none;"> <tr> <td style="width: 50%; border-bottom: 1px solid black; text-align: center;">Name of Lead Agency</td> <td style="width: 50%; border-bottom: 1px solid black; text-align: center;">Date</td> </tr> <tr> <td style="border-bottom: 1px solid black; text-align: center;">Print or Type Name of Responsible Officer in Lead Agency</td> <td style="border-bottom: 1px solid black; text-align: center;">Title of Responsible Officer</td> </tr> <tr> <td style="border-bottom: 1px solid black; text-align: center;">Signature of Responsible Officer in Lead Agency</td> <td style="border-bottom: 1px solid black; text-align: center;">Signature of Preparer (if different from Responsible Officer)</td> </tr> </table>		Name of Lead Agency	Date	Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer	Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)
Name of Lead Agency	Date						
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer						
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)						



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2023 OCT 11 A 9:04

VILLAGE OF PASTICHE, NY



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2023 OCT 11 A 9:07





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11 A 9:04
NEW YORK, NY

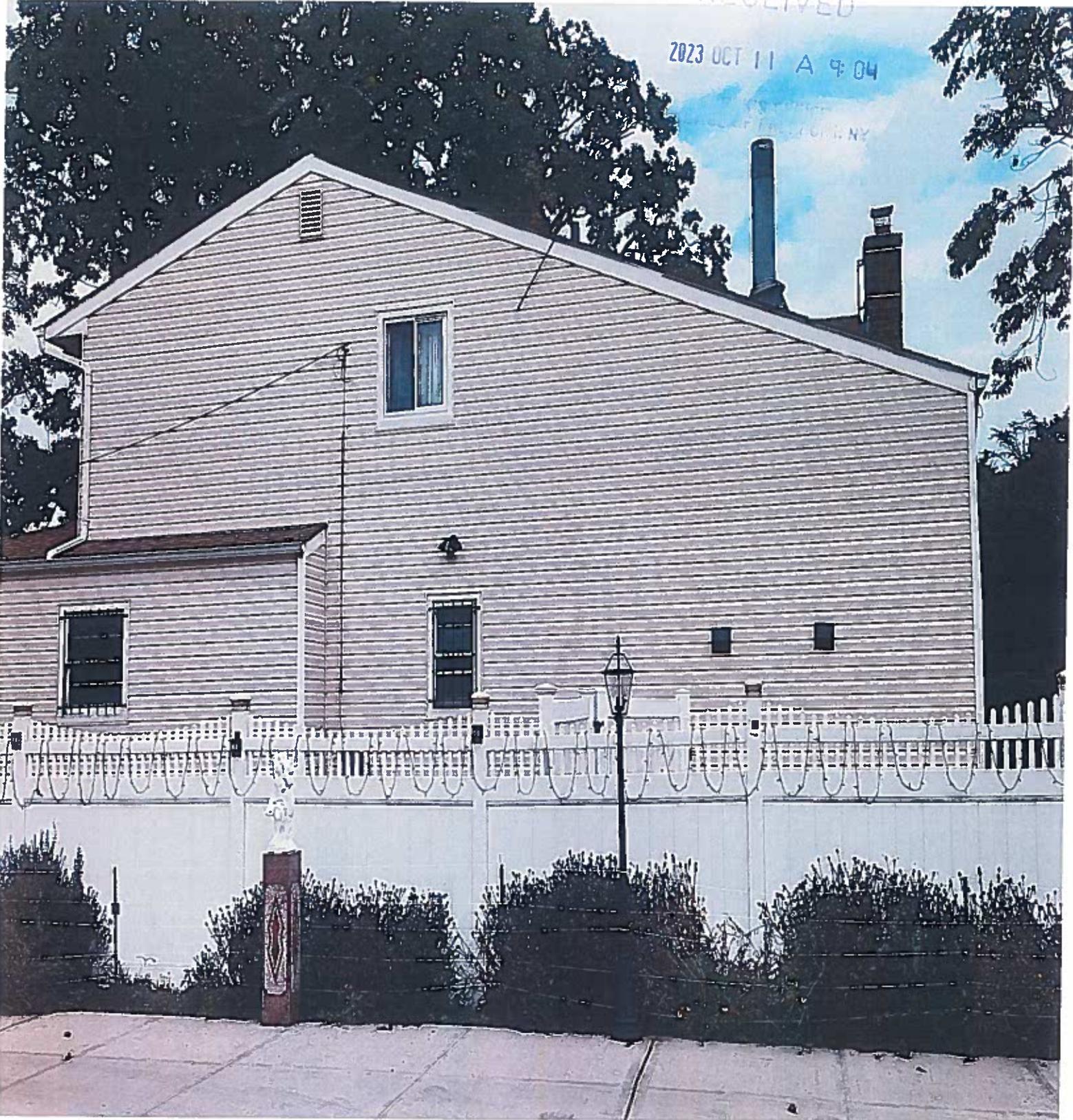


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2023 OCT 11 A 9:04

NEW YORK STATE
OFFICE OF TAX & FINANCE



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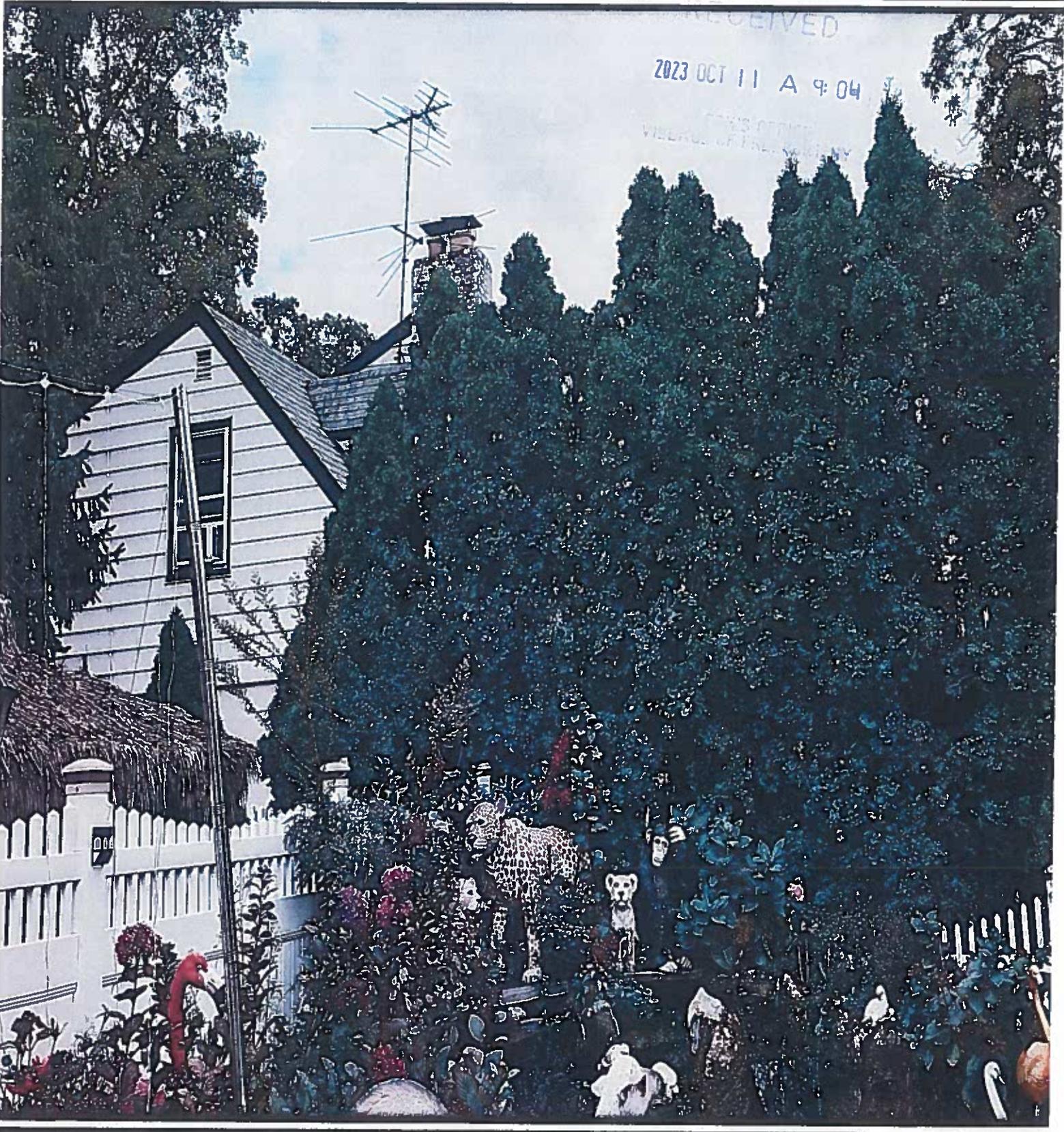
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POST OFFICE
VICTORIA BC CANADA



Application Date: 10/11/23
Fees Paid: \$ 225.00

SP# 3675

INCORPORATED VILLAGE OF FREEPORT
SITE PLAN REVIEW APPLICATION
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 514 South Long Beach Avenue ZONING DISTRICT Res. "A"
SECTION 54 BLOCK 216 LOT 69 LOT SIZE: 140' x 110'
(15,400 s.f.)

<input type="checkbox"/> TENANT APPLICANT <input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>MIGUEL RAMIREZ</u>	Name: <u>Raimani P. Manansingh</u>
Address: <u>33 LAMONT PLACE</u> <u>WEST BABYLON, N.Y. 11704</u>	Address: <u>514 South Long Beach Avenue</u> <u>Freeport, New York 11520</u>
Telephone #: <u>(631) 704-6601</u>	Telephone #: <u>(516)286-5535</u>

Attorney or architect: (AGENT)
Name: Miguel Ramirez Address: 33 Lamont Place
Phone #: (631)704-6601 West Babylon, New York 11704

Present Land Use: 1-Family Residence Proposed Land Use: No Change

Description of Proposed Work: Proposed 1,290 s.f. wood frame with stucco finished
2-Story addition to existing 2-Story 1-Family Residence AND PROPOSED 12'x12'
WOOD SHED

I request a concept plan conference: YES NO

I request a waiver of the public hearing and hereby certify the following:
A. The subject property is zoned Residence A or Residence AA.
B. The proposed construction is not a new building or dwelling.
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied. YES NO

Miguel Ramirez August 18 of 2023
APPLICANT'S SIGNATURE DATE

Sworn to before me this 18th
day of August, 20 23
Doris Alexandra Ramirez
Notary Public

DORIS ALEXANDRA RAMIREZ
NOTARY PUBLIC STATE OF NEW YORK
SUFFOLK COUNTY
LIC. #01RA6359376
COMM. EXP. 05-30-2025

Property Owner's Consent:
I, Raimani P. Manansingh am (are) the owner(s) of the subject property and consent to the filing of this application.

Raimani P. Manansingh
PROPERTY OWNER'S SIGNATURE

August 18 of 2023
DATE

Sworn to before me this 18th
day of August, 20 23
Doris Alexandra Ramirez
Notary Public

DORIS ALEXANDRA RAMIREZ
NOTARY PUBLIC STATE OF NEW YORK
SUFFOLK COUNTY
LIC. #01RA6359376
COMM. EXP. 05-30-2025

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: <input type="checkbox"/> YES <input type="checkbox"/> NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	<input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____
Planning Board Signature: _____	Date: _____



INC. VILLAGE OF FREEPORT

Department of Buildings
46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

ROBERT T. KENNEDY
MAYOR

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

AMENDED SITE PLAN LETTER
October 2, 2023

Raimani P. Manansigh
514 South Long Beach Ave
Freeport, NY 11520

RE: 514 South Long Beach Avenue, Freeport, NY 11520
Zoning District: Residence A Sec 62, Blk 153, Lot 231
Building Permit Application #20233362

Description: Proposed 1,290 sq.ft wood frame stucco finish 2 story addition to existing 2 story 1 family residence and attached garage in 1st floor and proposed 12'x12' wood shed

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the VILLAGE CLERK'S OFFICE at 377-2300.

Very truly yours,

Sergio A. Mauras
Superintendent of Buildings
/Daniela Hernandez

c: Village Clerk

ZBA Approval Needed: Yes__ No__x_

AN UNOFFICIAL COPY
2023 OCT 11 11:00 AM
VILLAGE CLERK'S OFFICE

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

 The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project :

Building Permit App. 20233362

Location: 514 South Long Beach Ave, Freeport NY 11520

Applicant: Raimani P. Manansigh

Description : Proposed 1,290 sq.ft wood frame stucco finish 2 story addition to existing 2 story 1 family residence and attached garage in 1st floor and proposed 12'x12' wood shed

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) _____

B) Possible environment effects identified:
(only if positive determination)

Dated: October 2, 2023

Sergio A. Mauras
Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

617.20
Appendix B
Short Environmental Assessment Form

20233362

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: Proposed (663 s.f.) Wood frame with stucco finish 2-Story addition to Existing 2-Story 1-Family Residence.			
Project Location (describe, and attach a location map): No.514 on West side of South Long Beach Avenue and North side of Front Street in the Inc. Village of Freeport, N.Y. 11520.			
Brief Description of Proposed Action: 1,290 sqft. Proposed (663 s.f.) Wood frame with stucco finish 2-Story addition to Existing 2-Story 1-Family Residence. ± Proposed 12x12 Shed. ↓ Wood.			
Name of Applicant or Sponsor: Raimani P. Manansingh		Telephone: (516)286-5535 E-Mail: prempersad@gmail.com	
Address: 514 South Long Beach Avenue			
City/PO: Freeport		State: New York	Zip Code: 11520
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO YES ✓
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO YES ✓
3.a. Total acreage of the site of the proposed action?		0.35 acres	
b. Total acreage to be physically disturbed?		0.35 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		0.35 acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

5. Is the proposed action a. A permitted use under the zoning regulations?	NO	YES	N/A
		✓	
b. Consistent with the adopted comprehensive plan?		✓	
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
			✓
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
			✓
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
			✓
b. Are public transportation service(s) available at or near the site of the proposed action?			✓
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?			✓
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	
			✓
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	NO	YES	
			✓
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____	NO	YES	
			✓
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	
			✓
b. Is the proposed action located in an archeological sensitive area?			✓
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
			✓
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____			✓
			✓
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
			✓
16. Is the project site located in the 100 year flood plain?	NO	YES	
			✓
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES	NO	YES	
			✓
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____			✓
			✓

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	✓	
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	✓	
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	✓	
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>Raimani P. Manansingh</u>		Date: <u>June 6 of 2023</u>
Signature: <u>Raimani P. Manansingh</u>		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	✓	
2. Will the proposed action result in a change in the use or intensity of use of land?	✓	
3. Will the proposed action impair the character or quality of the existing community?	✓	
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	✓	
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	✓	
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	✓	
7. Will the proposed action impact existing: a. public / private water supplies?	✓	
b. public / private wastewater treatment utilities?	✓	
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	✓	
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	✓	

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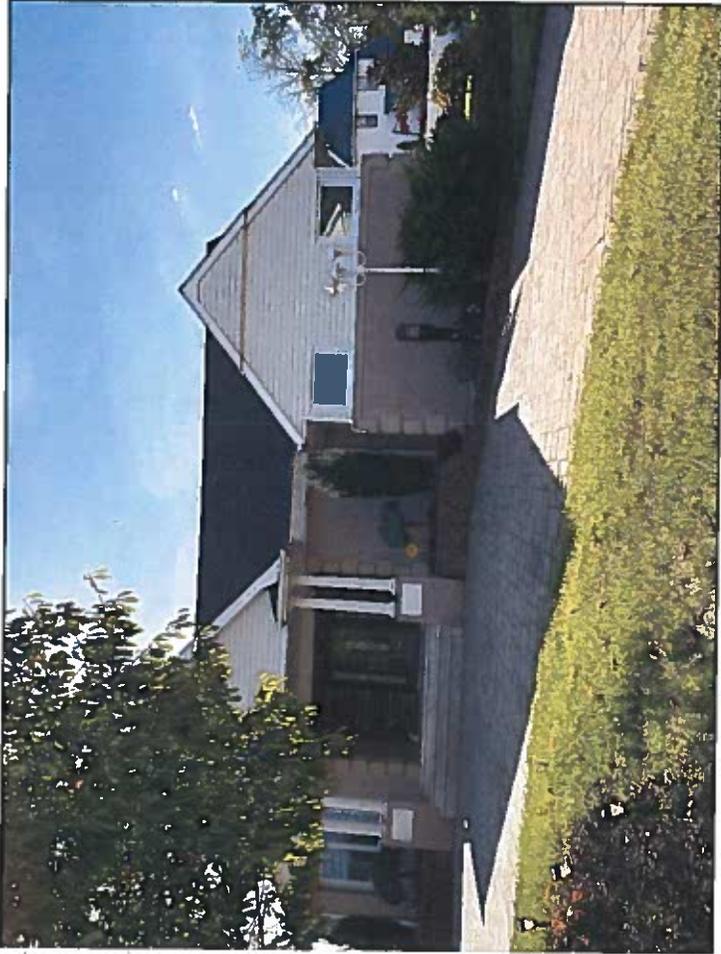
	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	✓	
11. Will the proposed action create a hazard to environmental resources or human health?	✓	

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

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 OFFICE OF THE ATTORNEY GENERAL
 STATE OF NEW YORK

<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
_____ Name of Lead Agency	_____ Date
_____ Print or Type Name of Responsible Officer in Lead Agency	_____ Title of Responsible Officer
_____ Signature of Responsible Officer in Lead Agency	_____ Signature of Preparer (if different from Responsible Officer)

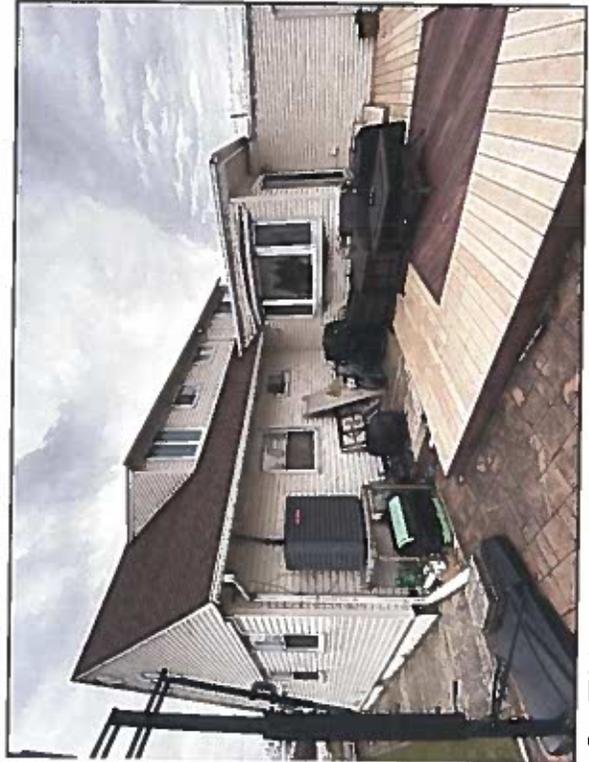
EXISTING SUBJECT PROPERTY PICTURES ADDRESS: 514 SOUTH LONG BEACH AVENUE



1.-EXISTING (EAST) FRONT FACADE



2.-EXISTING (NORTH) RIGHT SIDE FACADE

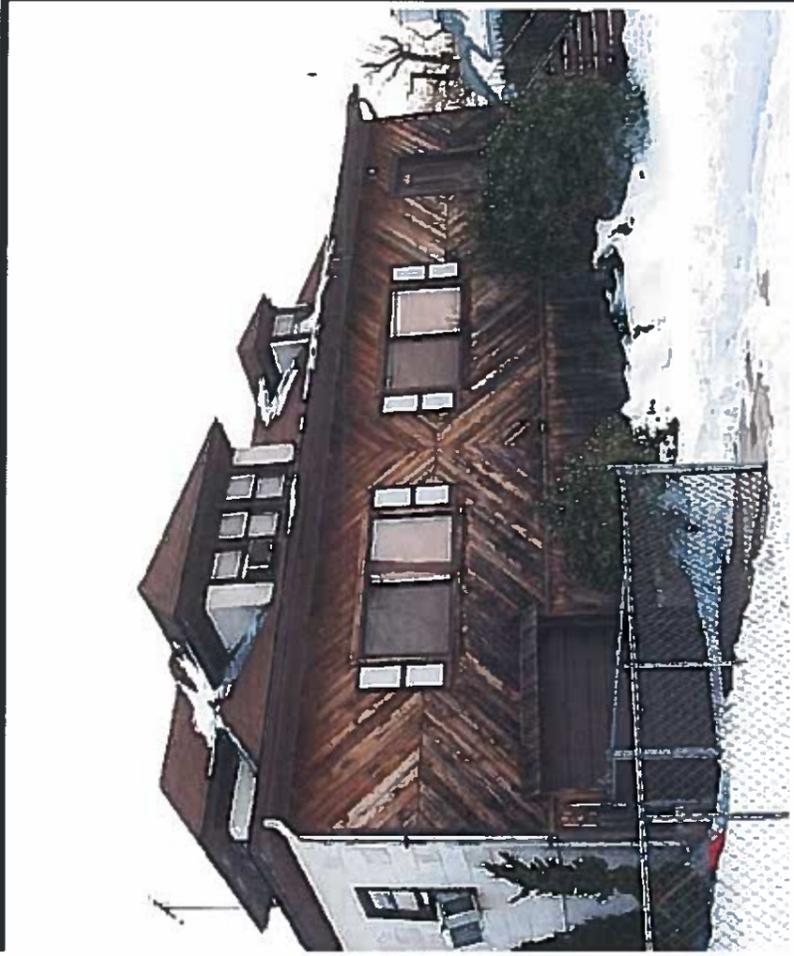


3.-EXISTING (WEST) REAR FACADE



4.-EXISTING (SOUTH) LEFT SIDE FACADE

EXISTING RESIDENCES AROUND SUBJECT PROPERTY



ROOSEVELT AVE (ADJACENT AT WEST OF SUBJECT PROPERTY).



2.-502 SOUTH LONG BEACH AVE (ADJACENT AT NORTH SIDE OF SUBJECT PROPERTY).



FRONT STREET (AT FRONT SOUTH OF SUBJECT PROPERTY).



4.-112 FRONT STREET (AT FRONT EAST SIDE OF SUBJECT PROPERTY).

VLADIMIR CONSTANT P.E.
 7 Metchick Court
 Westbury, New York 11590
 Phone: (516) 779-2343
 E-MAIL: v.constant@yohai.com



CONSULTANT
MAR
DRAFTING
 CORPORATION
 RESIDENTIAL & COMMERCIAL
 DESIGN

33 LAMONT PLACE
 WEST BABYLON, N.Y. 11704
 TEL: (631) 920-2445
 FAX: (631) 704-6601
 E-MAIL: MAR.DRAFTING@GMAIL.COM

REVISIONS

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		

APPLICATION NO

APPLICANT/OWNER
Raimani Persad
 ADDRESS:
 514 South Long Beach Ave
 Freeport, N.Y. 11520
 PHONE
 (516) 286-5535
 EMERGENCY CONTACT
 NAME: MIGUEL RAMIREZ
 PHONE
 (631) 704-6601

PROJECT TITLE
 2-STORY ADDITION
 TO EXISTING 1 1/2-STY.
 VINYL & STUCCO
 1-FAMILY RESIDENCE
 514 SOUTH LONG BEACH AVENUE
 FREEPORT, N.Y. 11520
 SEC 62 BLK 153 LOT(6) 231

DRAWING TITLE
 EXISTING FIRST FLOOR WITH
 PROPOSED ADDITION

DRAWING NO
A-2

CHECKED BY:
 VLADIMIR CONSTANT

DATE
 FEB 2023

PROJECT NO
 202304

SCALE
 3/4"

WALL TYPE LEGEND

	EXISTING EXTERIOR WALL BEARING CONCRETE BLOCK FOUNDATION WALL WITH INSULATED INTERIOR FINISHES
	EXISTING WALL AND/OR EXISTING CONSTRUCTION TO BE REMOVED
	NEW EXTERIOR WALL CONSTRUCTED OF VINYL SIDING OVER TYPE VAPOR BARRIER OVER 1" RIGID INSUL. (R-3) OVER 1/2" CDX PLYD SHEATHING OVER 2"x4" STUDS @ 16" O.C. PROVIDE 3/4" POLY-FACED BATT INSUL. (R-20) BETWEEN STUDS FINISH INTERIOR WITH GYP BD (TYP)
	EXISTING INTERIOR & EXTERIOR WALL FRAME TO REMAIN
	NEW EXTERIOR WALL CONSTRUCTED OF VINYL SIDING OVER TYPE VAPOR BARRIER OVER 1" RIGID INSUL. (R-3) OVER 1/2" CDX PLYD SHEATHING OVER 2"x4" STUDS @ 16" O.C. PROVIDE 3/4" POLY-FACED BATT INSUL. (R-20) BETWEEN STUDS FINISH INTERIOR WITH GYP BD (TYP)
	INTERIOR WALL PARTITION CONSISTING OF (1) LAYERS OF 1/2" GYP BD EACH SIDE OF 3 1/2" WD STUDS @ 16" O.C. FROM FLOOR TO TOP OF STRUCTURE ABOVE

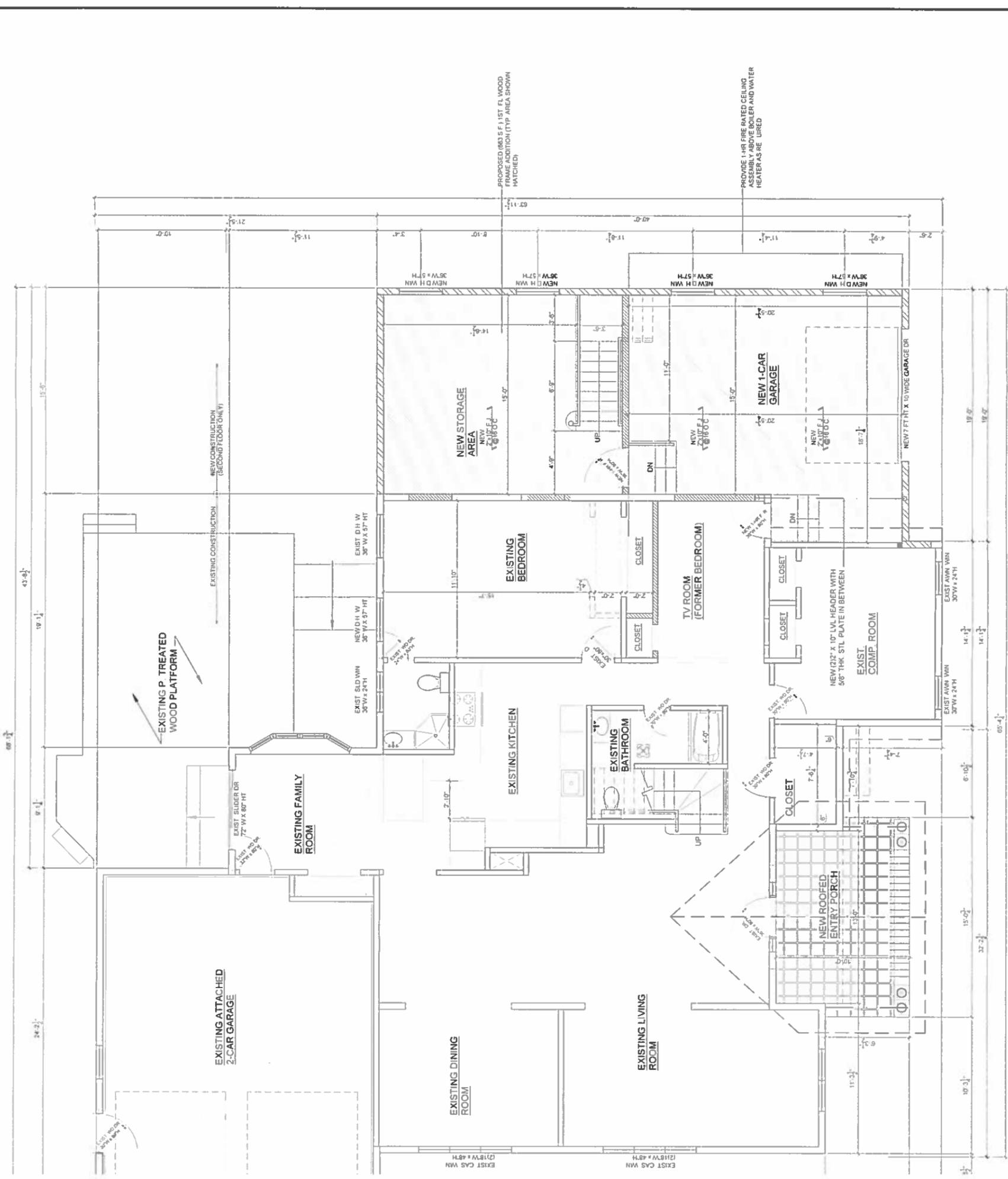
SIMBOL LIST

	ELECTRIC INTERCOM SMOKE DETECTOR (TYP)
	ELECTRIC CARBON MONOXIDE DETEC. (TYP)
	WINDOW NUMBER DESIGNATION (SEE WINDOW SCHEDULE ON PLAN A-7, PAGE 11)
	DOOR LETTER DESIGNATION (SEE DOOR SCHEDULE ON PLAN A-7, PAGE 11)
	EXHAUST FAN FOR MECHANICAL VENTILATION TO EXTERIOR WITHIN 60 C.F.M. CAPACITY
	PROPOSED FLOOR AREA
	1-HR FIRE RATED CEILING ABOVE 1-CAR GARAGE AREA WITH (2) LAYERS OF TYPE "X" GYPSUM BOARD

GENERAL NOTES:

- NEW CARBON MONOXIDE DETECTOR TO BE INSTALLED IN EACH SLEEPING ROOM HALLWAY & BATH. ALL SMOKE DETECTORS TO BE INTERCONNECTED IN ACCORDANCE WITH SECTION R312 OF THE NYS RESIDENTIAL CODE (TYF).
- NEW CARBON MONOXIDE DETECTOR IS TO BE INSTALLED LISTED AND LABELED AS COMPLIING WITH 2021-2023 STANDARDS AND TO BE INSTALLED ACCORDING TO THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- FOR BATHROOMS, CEILING WALLS, CEILING WALLS, CEILING WALLS AND OTHER VERTICAL CONCRETE WORK PROPOSED TO THE WEATHER USE 3,000 PSI AIR ENRICHED CONCRETE.
- POUCHES, GARAGE SLABS AND STIPS EXPOSED TO THE WEATHER AND GARAGE FLOOR SHALL BE PROTECTED WITH AN APPROVED WEATHER PROTECTANT. G.C. TO BE APPLIED TO ALL EXTERIOR WALLS AND ROOF STRUCTURE UP TO EXISTING TOP OF PLATE IN ORDER TO INSTALL NEW ROOF AND CEILING STRUCTURE AS PROPOSED IN THIS ADDITION.
- PROVIDE FIRE STOPPING AND SOLID BLOCKING AS PER CODE.
- ALL FLOOR LEVELS.

HEADER SCHEDULE:
 ALL HEADERS OVER WINDOWS AND DOORS TO BE AS FOLLOWS:
 (1) 2" x 4" OR DIMENSIONS LESS THAN 3" WIDE
 (2) 2" x 6" OR DIMENSIONS LESS THAN 6" WIDE
 (3) 2" x 8" OR DIMENSIONS LESS THAN 8" WIDE
 (4) 2" x 10" OR DIMENSIONS LESS THAN 10" WIDE
 (5) 2" x 12" OR DIMENSIONS LESS THAN 12" WIDE
 (6) LARGER DIMENSIONS SEE FOOTNOTES



A FIRST FLOOR PLAN WITH PROPOSED ADDITION
 SCALE: 1/8" = 1'-0" (AREA 3.000 S.F.)

INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT
 (PER TABLE R402.1.1)

VISION OR SKYLIGHT U-FAC TOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE & DEPTH	CRAWL SPACE WALL R-VALUE
0.55	0.40	40	70 or 13+5 b	8/13	19	10/13	10 FT	10/13

For SI 1 foot = 304.8mm.
 a. R-Values are minimums. U-Factors and SHGC are maximums. R-19 shall be permitted to be compressed into a 2x6 cavity.
 b. The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration.
 c. The first R-value applies to continuous insulation, the second to framing cavity insulation; either insulation meets the requirement.
 d. R-5 shall be added to the required slab edge R-values for heated slabs.
 e. There are no SHGC requirements in the Marine zone.
 f. Or insulation sufficient to fill the framing cavity, R-19 minimum.
 g. "13+5" means R-13 cavity insulation plus R-5 insulated sheathing. If structural sheathing covers 25 percent or less of the exterior, insulation sheathing is not required where structural sheathing is used.
 If structural sheathing covers more than 25 percent of exterior, structural sheathing shall be complemented with insulated

INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT
 (PER TABLE R402.1.1)

VISION OR SKYLIGHT U-FAC TOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE & DEPTH	CRAWL SPACE WALL R-VALUE
0.55	0.40	40	70 or 13+5 b	8/13	19	10/13	10 FT	10/13

VLADIMIR CONSTANT P.E.
 7 Metrick Court
 Westbury, New York, 11590
 Phone: (516) 779-2343
 E-MAIL: v.constant@jshaw.com



CONSULTANT
MAR
DRAFTING CORPORATION
 RESIDENTIAL & COMMERCIAL DESIGN
 33 LAMONT PLACE
 WEST BABYLON, N.Y. 11704
 OFF: (631) 920-2445
 CELL: (631) 704-6601
 E-MAIL: MAR.DRAFTING@GMAIL.COM

REVISIONS	
NO.	DATE DESCRIPTION
1	
2	
3	
4	
5	

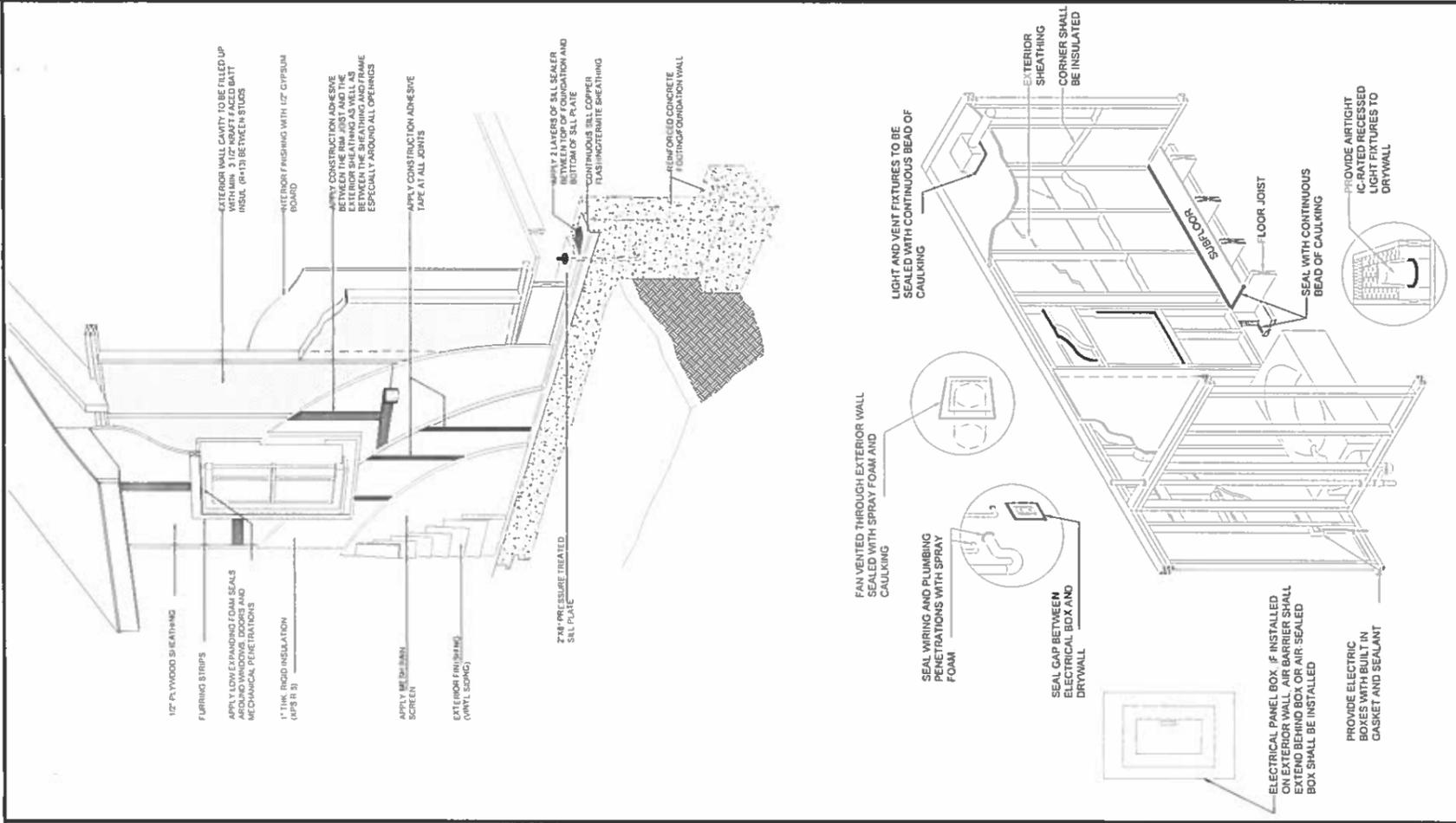
APPLICATION NO.

APPLICANT/OWNER
Raimani Persad
 ADDRESS:
 514 South Long Beach Ave
 Freeport, N.Y. 11520
 PHONE
 (516) 286-5535
 EMERGENCY CONTACT
 NAME: MIGUEL RAMIREZ
 PHONE
 (631) 704-6601

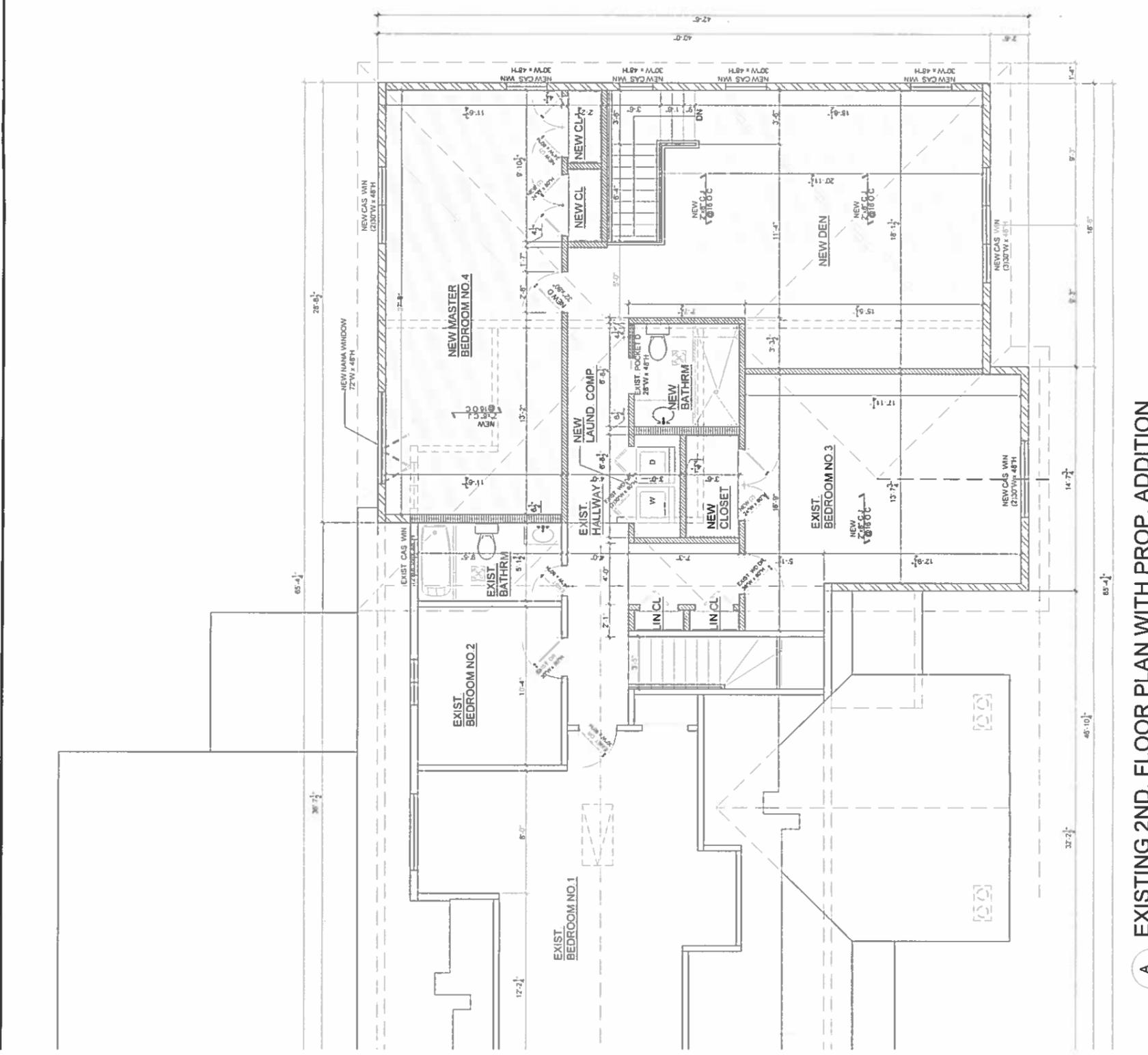
PROJECT TITLE
2-STORY ADDITION TO EXISTING 1 1/2-STY. VINYL & STUCCO 1-FAMILY RESIDENCE
 514 SOUTH LONG BEACH AVENUE
 FREEPORT, N.Y. 11520
 SEC 62 BLK 153 LOTS(S) 231

DRAWING TITLE
PROPOSED SECOND FLOOR PLAN

DRAWN/DESIGN BY: MIGUEL RAMIREZ	DRAWING NO. A-3
CHECKED BY: VLADIMIR CONSTANT	PROJECT NO. 4
DATE: FEB 2023	SCALE: AS SHOWN

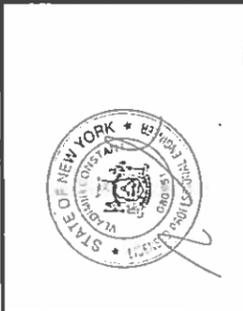


B INTERIOR AND EXTERIOR AIR SEALING DETAIL
 A-3 NOT TO SCALE



A EXISTING 2ND. FLOOR PLAN WITH PROP. ADDITION
 A-3 SCALE 1/4"=1' (AREA 1,984 S.F.)

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 7 Nipmuck Court
 Westbury, New York 11591
 Phone: (516) 779-3343
 E-MAIL: v.constant@jabnet.com



MAR DRAFTING CORPORATION
 RESIDENTIAL & COMMERCIAL DESIGN
 33 LAMONT PLACE
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 OFF: (631) 920-2445
 CELL: (631) 704-6601
 E-MAIL: MAR.DRAFTING@GMAIL.COM

REVISIONS

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		

APPLICATION NO.

APPLICANT/OWNER
Raimani Persad

ADDRESS:
 514 South Long Beach Ave
 Freeport, N.Y. 11520

PHONE:
 (516)286-5535

EMERGENCY CONTACT
 NAME: MIGUEL RAMIREZ
 PHONE:
 (631)704-6601

PROJECT TITLE
 2-STORY ADDITION
 TO EXISTING 1 1/2-STY.
 VINYL & STUCCO
 1-FAMILY RESIDENCE

514 SOUTH LONG BEACH AVENUE
 FREEPORT, N.Y. 11520
 SEC 62 BLK 153 LOT(S) 231

DRAWING TITLE
 EXISTING ELEVATIONS WITH
 PROPOSED ADDITION

DRAWING NO
A-6

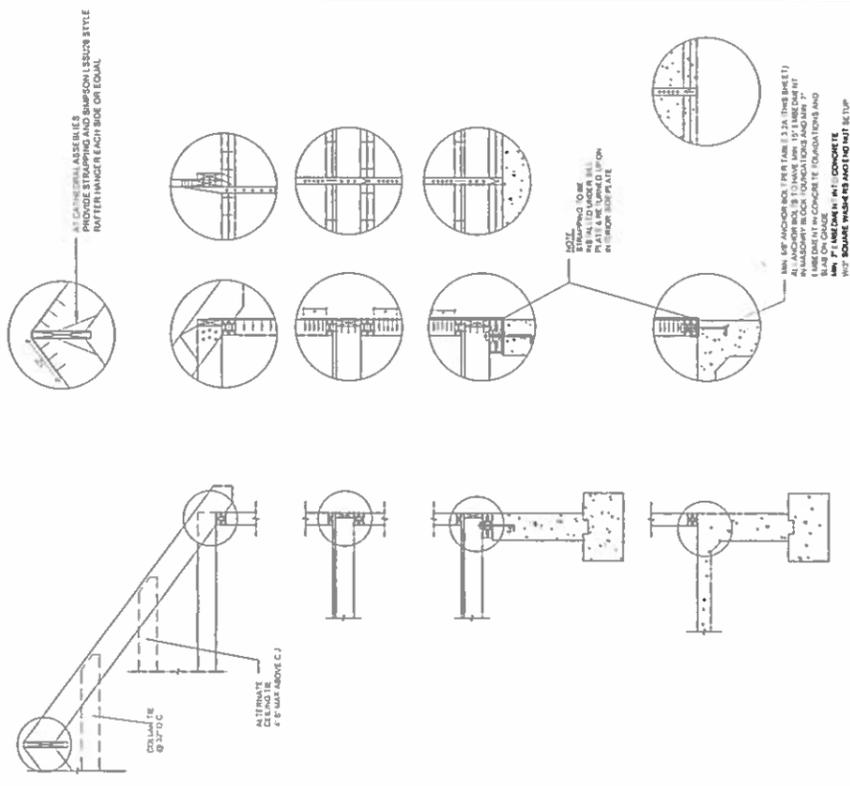
DRAWN/DESIGN
 BY: MIGUEL RAMIREZ

CHECKED BY
 VLADIMIR CONSTANT

DATE
 FEB 2023

PROJECT NO
 7

NAILING AND STRAPPING



"TYPICAL SECTION"

DETAILS

****ALL STRAPPING TO BE 1-1/4" X 20 GAUGE STL ****
"SIMPSON" EQUIVALENT - CS20 (COILED STRAP) - MIN. BEARING IN FRAMING MEMBERS 12" - MIN. NAILING AS PER TABLE 3.4 2001 WFCM FOR ALL RIDGES AND USE TABLE 3.3B 2001 WFCM FOR ALL OTHER CONDITIONS

AT RAFTER TO RIDGE CONNECTION:
 FOR STRAP 1. 8d COMMON NAILS @ EA END OF STRAP FOR NOTED COLLAR/CLO TIE 1. 10d COMMON NAILS @ EA

AT RAFTER TO TOP PLATE TO STUD CONNECTION:
 FOR STRAP 1. 8d COMMON NAILS @ EA END OF STRAP 2. 8d COMMON NAILS (FOR S PITCH) FOR C/J FOR R 3. 16d COMMON NAILS (FOR S PITCH) FOR @ EA PLATE TO PLATFORM ABOVE 4. 16d COMMON NAILS @ 16" O C

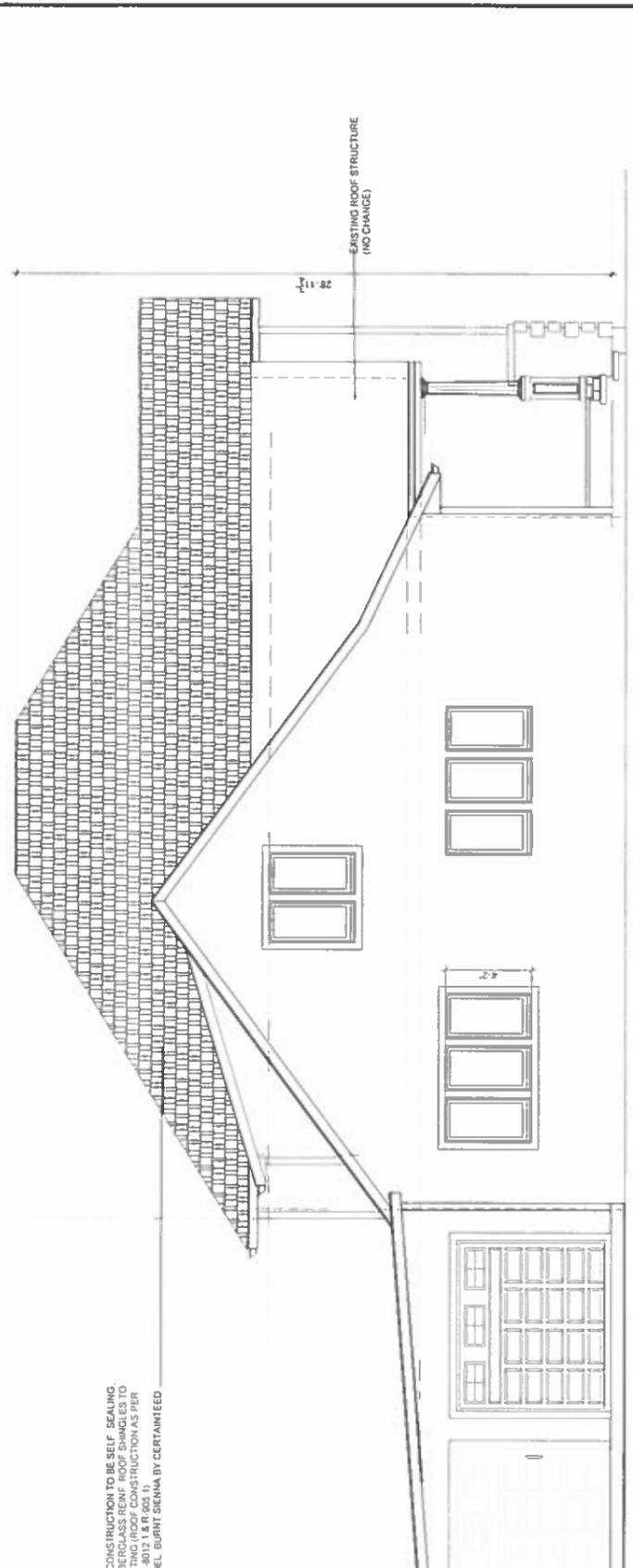
AT STUD TO FLOOR ASSEMBLY TO STUD CONNECTION (ONLY APPLICABLE FOR TWO STORY CONNECTIONS):
 FOR STRAP 1. 8d COMMON NAILS @ EA END OF STRAP FOR @ EA PLATE TO PLATFORM ABOVE & @ OF EA PLATE TO PLATFORM BELOW 2. 16d COMMON NAILS @ 16" O C

AT STUD TO FLOOR ASSEMBLY TO SILL PLATE(S) CONNECTION:
 FOR STRAP 1. 8d COMMON NAILS @ EA END OF STRAP FOR @ EA PLATE TO PLATFORM BELOW 2. 16d COMMON NAILS @ 16" O C

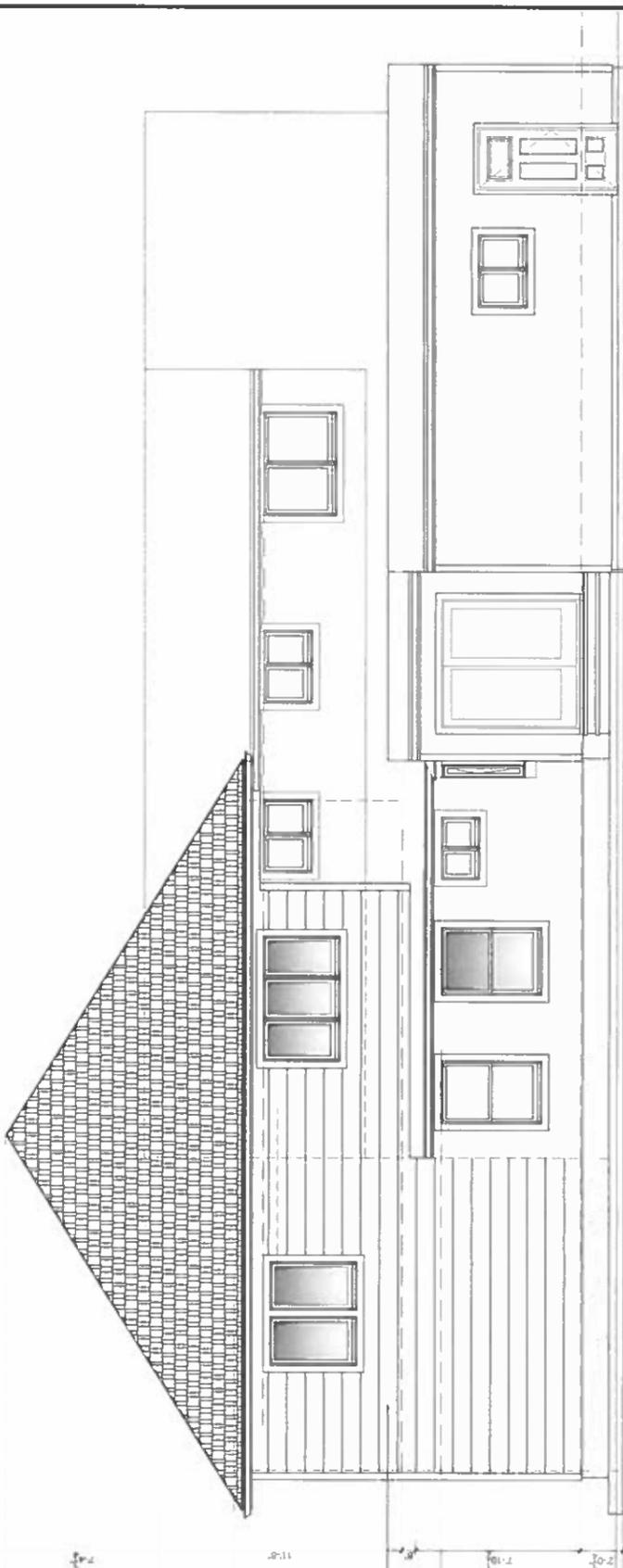
AT STUD TO FLOOR ASSEMBLY TO SILL PLATE(S) CONNECTION (SILL COLLAR/CLASGE APPLICABLE):
 FOR STRAP 1. 8d COMMON NAILS @ EA END OF STRAP FOR @ EA PLATE TO PLATFORM BELOW 2. 16d COMMON NAILS @ 16" O C

NOTATION:

A - NUMBER OF 6d NAILS @ EA END OF STRAPPING (TABLE 3.5 P. 118 TABLE 3.1 P. 110)
 B - NUMBER OF 8d NAILS @ EA END OF STRAPPING (TABLE 3.5 P. 118)
 C - NUMBER OF 16d NAILS END NAILED THROUGH ADJACENT KING STUD TO END OF HEADER @ EA. SEE TABLE 3.5 P. 118 & 2.11D. NUMBER OF 16d NAILS END NAILED THROUGH ADJACENT JACK STUDS TO END OF SILL @ EA. SEE TABLE 3.1 P. 110 & 2.11D. NUMBER OF 16d NAILS END NAILED THROUGH ADJACENT JACK STUDS TO END OF SILL @ EA. SEE TABLE 3.1 P. 110 & 2.11D.
 (NOTE: ALL STRAPPING TO BE 1 1/4" X 20 GA. GALVANIZED STEEL)



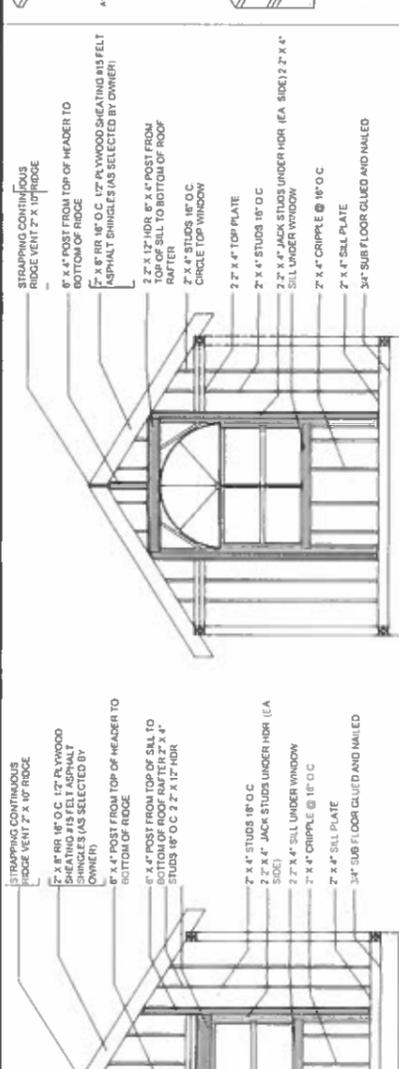
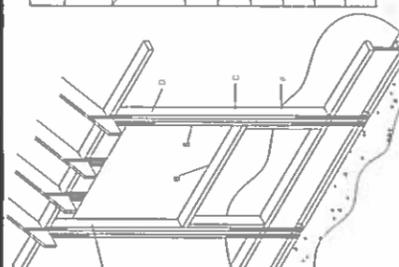
A EXISTING LEFT (SOUTH) SIDE ELEVATION
 SCALE 1/8"=1'-0"



B EXISTING REAR (WEST) ELEVATION WITH PROP. ADDITION
 SCALE 1/8"=1'-0"

FASTENING SCHEDULE B
 ROUGH OPENING FRAMING REQUIREMENTS FOR WINDOW OPENINGS IN ACCORDANCE WITH WOOD FRAME CONSTRUCTION MANUAL 2001 EDITION

ROUGH OPENING	A	B	C	D	E	F
7'-0"	2	(1) 2" x 4"	1	1	1	1
4'-0"	4	(1) 2" x 4"	2	2	2	2
6'-0"	6	(2) 2" x 4"	3	3	3	3
8'-0"	8	(2) 2" x 4"	3	3	3	3
10'-0"	10	(2) 2" x 4"	4	4	4	4
12'-0"	12	(2) 2" x 4"	5	5	5	5



CONSTRUCTION TO BE SELF SEALING
 (BERGLASS REINF. ROOF SHINGLES TO
 FIT ROOF CONSTRUCTION AS PER
 R-8012 (18" X 18" MIN.)
 DEL. GUAR. SIGNA BY CERTAINTEEED

PROPOSED SUBJECT PROPERTY COLOR RENDERING PERSPECTIVE VIEWS



-(EAST) FRONT FACADE



2.-AERIAL VIEW



-(NORTH/EAST) FRONT/RIGHT SIDE FACADE



4.-LEFT/FRONT (SOUTH/EAST)FACADE

VLADIMIR CONSTANT P.E.
 7 Merrick Court
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 TEL: (631) 704-6601
 E-MAIL: MARDRAFTING@GMAIL.COM

REVISIONS	
NO	DESCRIPTION
△	
△	
△	

ISSUED TO	NO.	DATE

PROJECT TITLE
PROPOSED WOOD SHED WITH VINYL SIDING TO EXISTING 1-FAMILY RESIDENCE
 514 SOUTH LONG BEACH AVENUE
 FREEPORT, N.Y. 11520
 SEC 02 BLK 153 LOT(S) 231

DRAWING TITLE
PROPOSED FLOOR JPLAN PLOT PLAN, LOCATION MAP, SYMBOL LIST AND SCOPE OF PROJECT

DRAWN BY: WIGDEL RAMIREZ	DRAWING NO. SH-1
CHECKED BY: VLADIMIR CONSTANT	PROJECT NO. 202304
DATE: FEB 2023	SCALE: AS SHOWN
	1/1



C REAR ELEVATION
 SCALE: 1/4"=1' (AREA: 144 S.F.)

NEW DUTCH LAP VINYL SIDING TO MATCH EXISTING.
 COLOR: PEARL BY AMERICAN DREAM EDGE MANUFACTURER.

NEW VINYL CORNERS AND TRIM
 COLOR: WHITE



D RIGTH SIDE ELEVATION
 SCALE: 1/4"=1' (AREA: 144 S.F.)

NEW BE SELF- SEALING, ASPHALTREINF. ROOF SHINGLES.
 COLOR/MODEL: BURNT SIENNA BY CERTAINTEED.



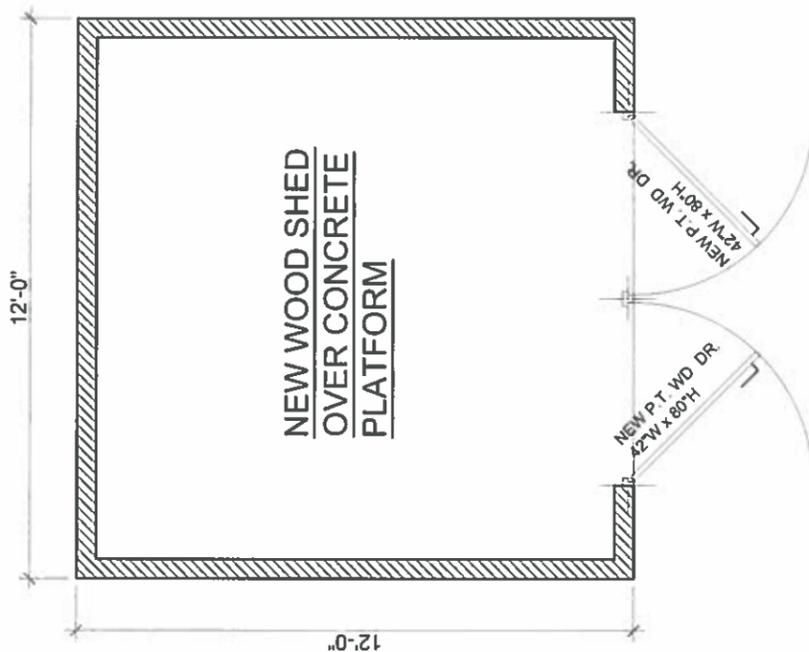
E LEFT SIDE ELEVATION
 SCALE: 1/4"=1' (AREA: 144 S.F.)

NEW 12" HT X 30" HT VINYL TRANSOM
 COLOR: WHITE

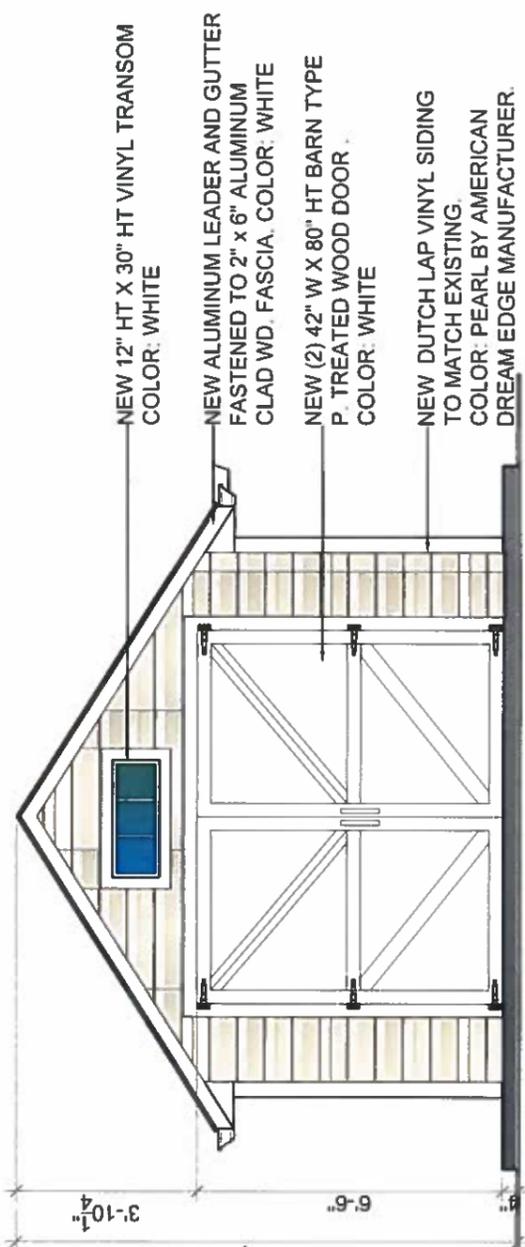
NEW ALUMINUM LEADER AND GUTTER FASTENED TO 2" X 6" ALUMINUM CLAD WD. FASCIA. COLOR: WHITE

NEW (2) 42" W X 80" HT BARN TYPE P. TREATED WOOD DOOR.
 COLOR: WHITE

NEW DUTCH LAP VINYL SIDING TO MATCH EXISTING.
 COLOR: PEARL BY AMERICAN DREAM EDGE MANUFACTURER.



A FLOOR PLAN
 SCALE: 1/4"=1' (AREA: 144 S.F.)



B FRONT ELEVATION
 SCALE: 1/4"=1' (AREA: 144 S.F.)

LANDMARK WOODSCAPE

- 30-Year Limited Transferable Warranty
- 10-Year StreakFighter™ Warranty
- 5-Year SureStart™ Protection
- 5-Year, 70 mph Wind-Resistance Warranty
- Upgrade to 110 mph Available

"Best Buy"
As ranked by a leading
Consumer Magazine.

LANDMARK WOODSCAPE PREMIUM

- Lifetime Limited Transferable Warranty
- 10-Year StreakFighter™ Warranty
- 10-Year SureStart™ Protection
- 10-Year, 90 mph Wind-Resistance Warranty
- Upgrade to 130 mph Available

"Recommended Buy"
As ranked by a leading
Consumer Magazine.

LANDMARK Woodscape

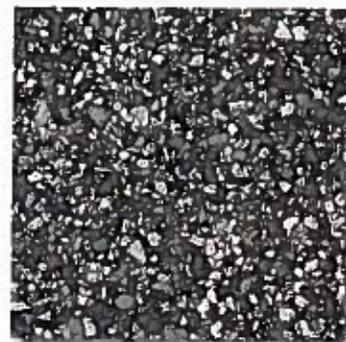
LANDMARK Woodscape PREMIUM



Birchwood



Max Def Birchwood



Heather Blend



Max Def Heather Blend



Pewterwood



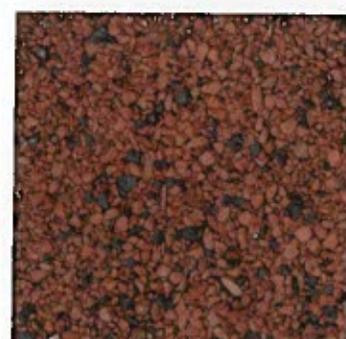
Max Def Pewterwood



Sunset Brick



Max Def Sunset Brick



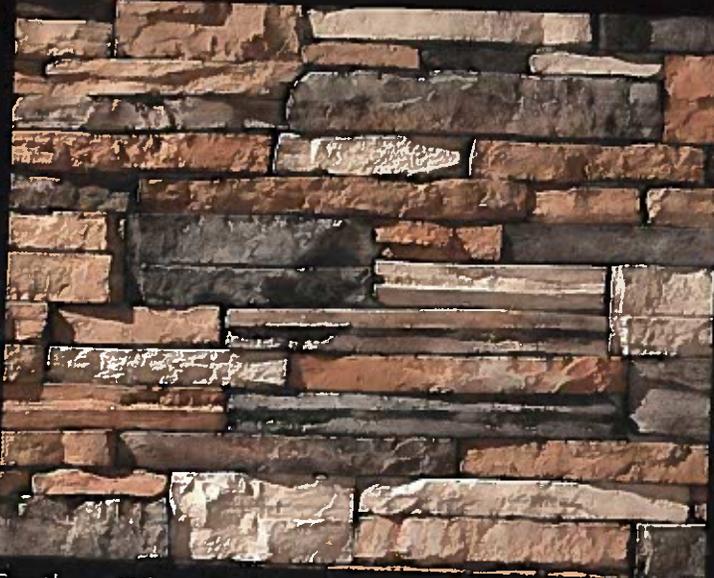
9- L E D G E



Gray Ledge #15003045



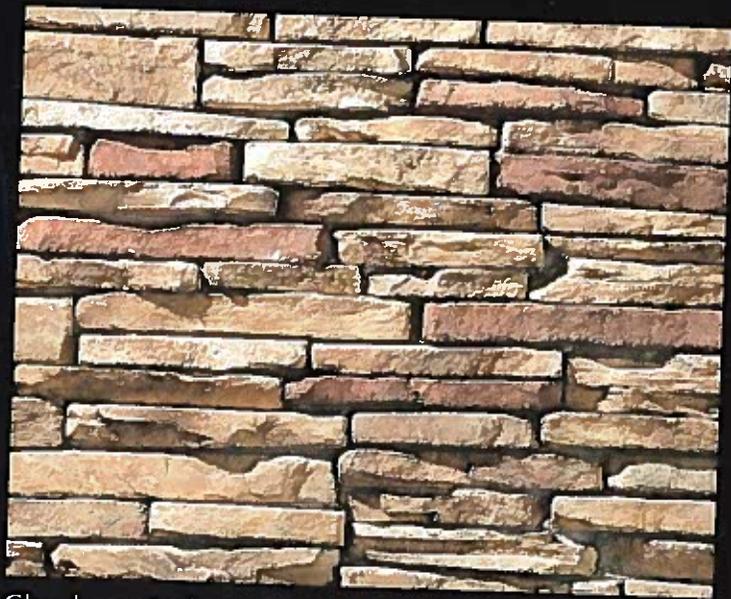
California Ledge #15022025



Southern Wheat Ledge #15080125



Kentucky Ledge #15026015



Chardonay Ledge #15018065



Texas Ledge #15031010

Application Date: 10/11/23
Fees Paid: \$

SP# _____

INCORPORATED VILLAGE OF FREEPORT
SITE PLAN REVIEW APPLICATION
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 134 S OCEAN AVENUE ZONING DISTRICT Residence APARTMENT
SECTION 62 BLOCK 114 LOT 110 LOT SIZE: 16,600

<input type="checkbox"/> TENANT <u>APPLICANT</u>	<input type="checkbox"/> LESSEE	PROPERTY OWNER	
Name: <u>R SHARAH</u>		Name: <u>LOOK NORTH TOGETHER, INC.</u>	
Address: <u>6500 JERICHO TPKE SUITE W</u> <u>3YOSSET, NEW YORK 11791</u>		Address: <u>1488 DEER PARK ROAD ST 36</u> <u>NORTH BABYLON NY 11703</u>	
Telephone #:		Telephone #: <u>347 837-3660</u>	

Attorney Name: _____ Address: _____
(optional) Phone #: _____

Present Land Use: APARTMENT Proposed Land Use: APARTMENT

Description of Proposed Work: CONSTRUCT A NEW 3 STORY 19,966 SF
APARTMENT BUILDING WITH UNDERGROUND PARKING AND
ROOF TOP TERRACE

I request a preliminary meeting: YES NO

I request a waiver of the public hearing and hereby certify the following:
A. The subject property is zoned Residence A or Residence AA.
B. The proposed construction is not a new building or dwelling.
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.
_____ YES NO

[Signature]
APPLICANT'S SIGNATURE
Sworn to before me this 22
day of AUGUST, 2023
[Signature]
Notary Public

08/22/2023
DATE
STELLA VLAHOS-KITAS
Notary Public - State of New York
No. 01VL6264910
Qualified in Nassau County
My Commission Expires December 5, 2024

Property Owner's Consent: _____ am (are) the owner(s) of the subject property and consent to the filing of this application.

[Signature]
PROPERTY OWNER'S SIGNATURE
Sworn to before me this 22
day of AUGUST, 2023
[Signature]
Notary Public
ISABELLA VLAHOS
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 01AN6339518
Qualified in Suffolk County
Commission Expires April 4, 2024

08/22/2023
DATE

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: <input type="checkbox"/> YES <input type="checkbox"/> NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	Approved _____ Denied _____ Date: _____
Planning Board Signature: _____	Date: _____



INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520

(516) 377-2242

FAX (516) 377-2493

ROBERT T. KENNEDY
MAYOR

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

October 11, 2023

Amended SITE PLAN LETTER

Look North Together Inc.
1488 Deer Park Avenue – Suite 364
North Babylon, NY 11703

RE: 134 S. Ocean Avenue, Freeport, NY
Zoning District – Residence Apartment – Sec. 62 Blk.114 Lot 110
Building Permit Application #20211963
Description: Construct a new 24 unit, 3-story 19,996 sq. ft. multiple dwelling

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the VILLAGE CLERK'S OFFICE at 377-2300.

Very truly yours,

Sergio A. Mauras

Sergio A. Mauras
Superintendent of Buildings
Jonathan Smith, Building Inspector
/cd

c: Village Clerk
Laura Colletti, R. A.

VILLAGE CLERK'S OFFICE
FREEPORT, NY

90 4 11 100 870Z
OCT 11 2023

RECEIVED

ZBA Approval Needed:

Yes: X No: _____

Encl.

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project :

Building Permit App. # 20211963

Location: 134 S. Ocean Avenue, Freeport, NY

Applicant : Look North Together Inc.

Description: Construct a new 24 unit, three-story 19,966 sq. ft. multiple dwelling with underground parking and rooftop terrace

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A)

B) Possible environment effects identified:
(only if positive determination)

DATED: June 22, 2022 - Amended


Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

617.20
Appendix B
Short Environmental Assessment Form

MAF 9/2 2022

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
134 So Ocean Avenue, Freeport, NY 11520			
Name of Action or Project: 134 So Ocean			
Project Location (describe, and attach a location map): 134 So Ocean Avenue between west Merrick Rd and Smith St			
Brief Description of Proposed Action: Provide new 3 story 24 apartment building, steel framed, with underground parking for 24 cars			
Name of Applicant or Sponsor: Laura Coletti, RA c/o Impact Architecture, pllc		Telephone: 631-339-0590 E-Mail: lcoletti@impactarchitecture1.com	
Address: 399 Conklin St, Suite 208			
City/PO: Farmingdale		State: New York	Zip Code: 11735
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input checked="" type="checkbox"/> YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO <input checked="" type="checkbox"/> YES <input type="checkbox"/>
3 a. Total acreage of the site of the proposed action?		.38 acres acres	
b. Total acreage to be physically disturbed?		.38 acres acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		.38 acres acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
		<input checked="" type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?		<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing potable water: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____		<input checked="" type="checkbox"/>	
Adequate Storm Drains provided			

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>Laura Coletti</u>		Date: <u>3-10-2022</u>
Signature: _____		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:		
a. public / private water supplies?	<input type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

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 WILLIAMSBURG COUNTY
 WILLIAMSBURG, VA

<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

Name of Lead Agency

Date

Print or Type Name of Responsible Officer in Lead Agency

Title of Responsible Officer

Signature of Responsible Officer in Lead Agency

Signature of Preparer (if different from Responsible Officer)

**INCORPORATED VILLAGE OF FREEPORT
ZONING BOARD OF APPEALS DECISION**

DATE: October 20, 2022

APPROVAL

Building Department Permit Application#20211963

Chairman, regarding Application #2022-29 for the premises located at 134 South Ocean Avenue, Freeport, the Applicant comes before this Board seeking a variance from Village Ordinances §210-6A, 210-48, 210-47A, 210-51A, 210-172A(2)(A), and 210-49C seeking approval for a new 24 unit 3 story 19,966 square foot multiple dwelling with underground parking and rooftop terrace.

I, Drew Scopelitis, move that this Board make the following findings of fact:

A public hearing was held on August 18, 2022 wherein applicant was represented by attorney Christian Browne. He explained that he was back on a project that the Board weighed in on about one year earlier. The prior application proposed 18 units when 17 were permitted, and 15 parking spaces were provided. The Board denied it in large part due to the parking deficiency. The new application seeks to provide more parking underground, so that 24 parking spaces are provided for the 24 units proposed. Additionally, all of the 2 bedroom units have been eliminated and the building will consist entirely of one bedroom units and studios.

The first variance is a density variance, where 17 units are permitted and 24 are proposed. The second is for building height where 2 ½ stories and 32 feet are permitted, where 3 stories and 39 feet 3 inches is proposed. Mr. Browne explains that the building itself is only 32 feet and the extra height comes from a pergola on the roof. The roof is being used as the open green space for recreation. The pergola adds to the attractiveness of that space, but can be removed if the Board objected to that height. The building does not comply with front yard setback due to the average setback, which is 62 feet whereas normally only 25 feet is required. Applicant meets the 25 foot setback. 24 parking spaces are provided, where 32 are required, but one space is provided per unit. Almost 10,000 square feet is required of open space, but just over 9,000 is provided.

Kennan Cody, the traffic engineer also presented on behalf of applicant. He explained that as compared with the prior application, the percentage variance is now lower. The site is considered a transit-oriented development. Typically those tenants don't necessarily use a vehicle in day to day life and may not have a car. They conducted a parking study and observed limited street parking during the hours under observation, however, based on the ITE information, the estimated parking demand for a 24 unit building is 15 vehicles during the week and 17 on the weekend. So the 24 parking spaces provided are sufficient.

The Board's main objection when the application was last heard was inadequate parking. The Board had suggested that the applicant come back with a project that better meets the parking demand. This project achieves those goals. The other variances of density, front

setback, building height, and open space are insubstantial when viewed in connection with the entire project.

1. On balance, the benefit to the applicant by the granting of this variance is not outweighed by the detriment to the health, safety and welfare of the neighborhood or community if such variance were to be granted. The Board has determined:
 - a. that an undesirable change will not be produced in the character of the neighborhood and a detriment to nearby properties will not be created by the granting of the area variance;
 - b. that the benefit sought by the applicant cannot be achieved by some method feasible for the applicant to pursue, other than an area variance;
 - c. that the requested area variance is insubstantial;
 - d. that the proposed variance will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district; and
 - e. that the alleged difficulty was not self-created.

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2. The Board, as lead agency, has determined that this action is an unlisted action under SEQRA. A short environmental assessment form has been completed by the applicant and this Board. The Board finds no environmental impact under SEQRA, issues a negative declaration, and no further review is required.

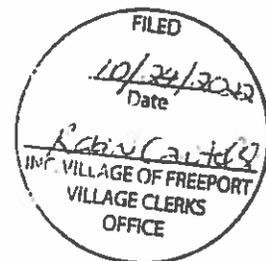
I further move that this application be granted subject to the following conditions:

1. Applicant/Owner must comply with all the Rules and Regulations of the Village of Freeport.
2. Applicant must obtain the required permits from the Building Department.
3. This application for variance(s) is being granted on the basis of the specific use proposed. If anything in this application is to change, the applicant must return to the Board for further review.
4. Green space on the roof must be maintained as open recreation space. Should this space stop being available to use by residents, these variances are revoked and applicant must return to the zoning board for further review in order to continue use as an apartment building.

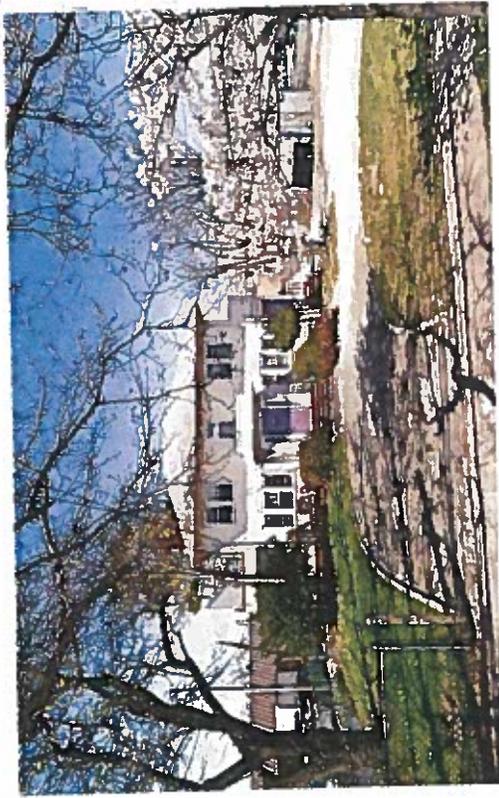
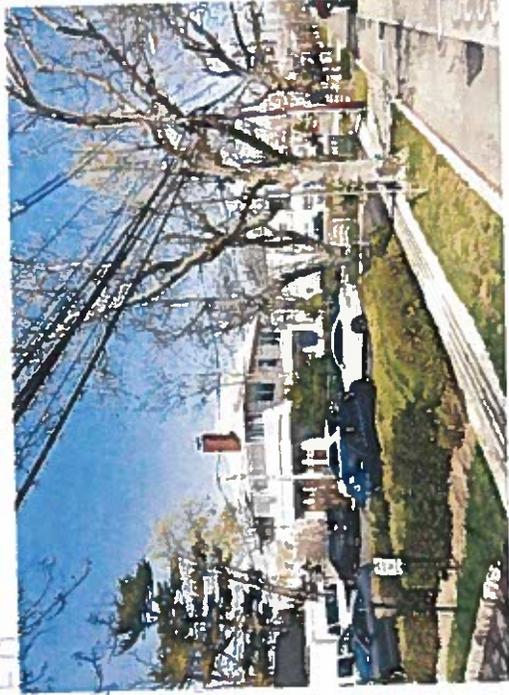
Second by: Charles Hawkins

The Clerk polled the Board:

Deputy Carey	In Favor
Member Mineo	Excused
Member Jackson	Excused
Member Hawkins	In Favor
Alternate Scopelitis	In Favor
Alternate Pinzon	In Favor
Chairperson Rhoden	In Favor



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South view

East View



Rear View

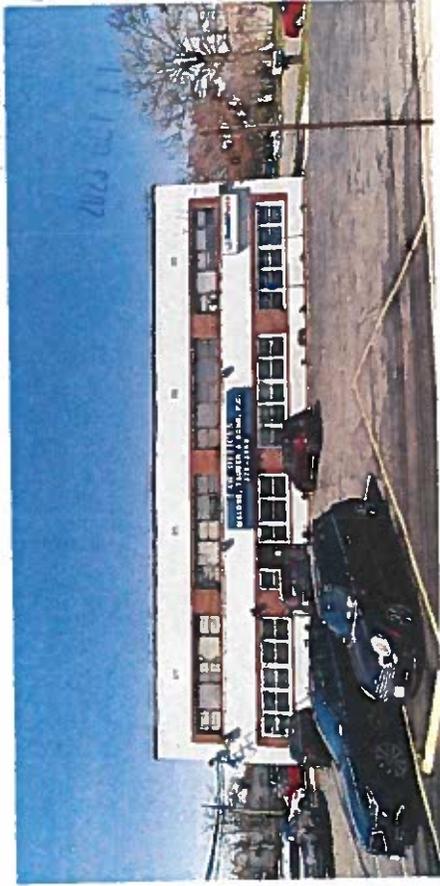
North View



130 South Ocean



140 South Ocean



121 South Ocean



155 South Ocean

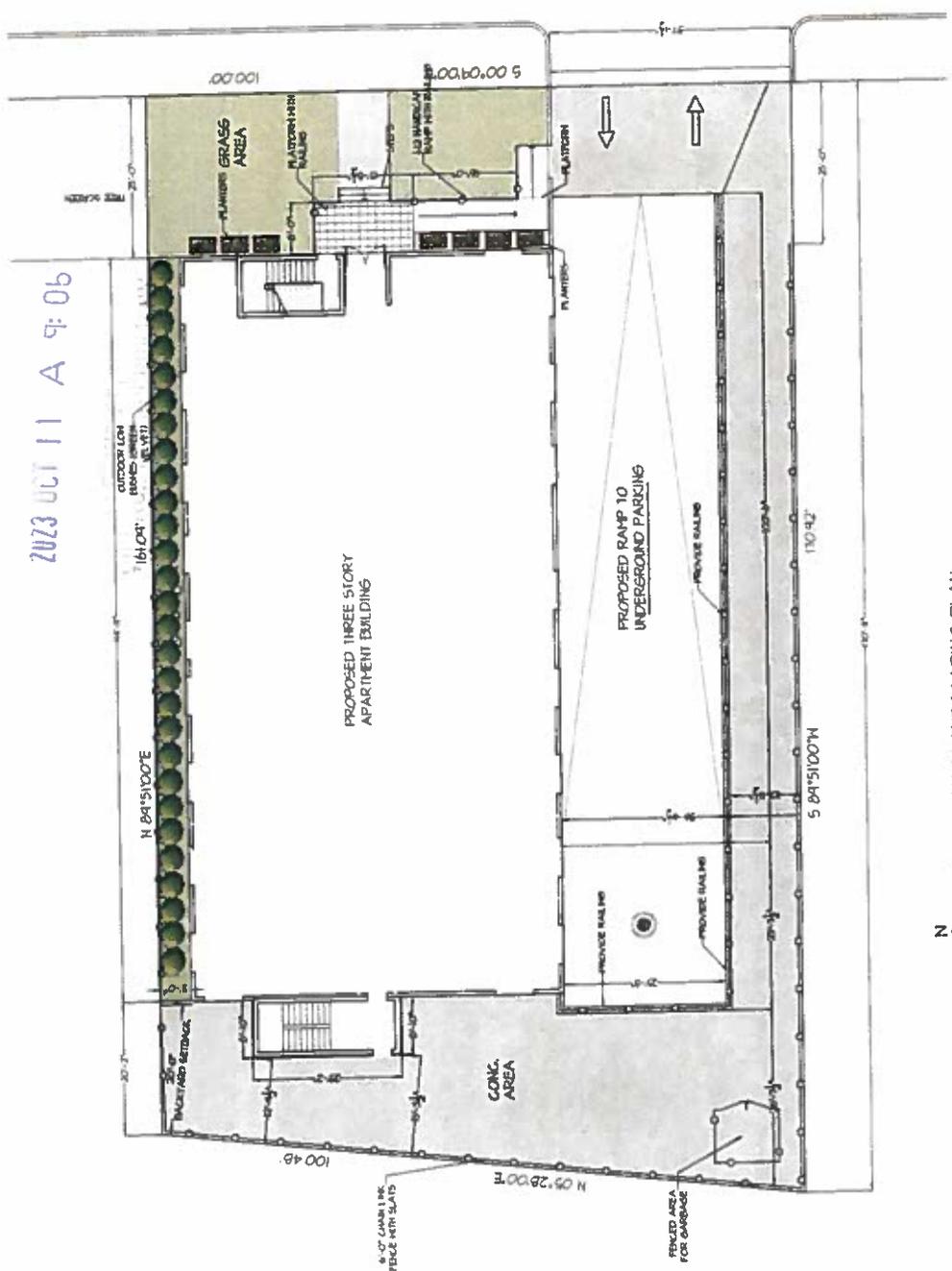
R. SHARAH
 ARCHITECT
 100 WEST 10TH STREET
 NEW YORK, NY 10011
 TEL: 212 279 1234
 FAX: 212 279 1235
 WWW.RSHARAH.COM

THREE STORY BUILDING
 154 SOUTH OCEAN AVENUE
 FREEPORT, NEW YORK 11520

SCOPE: THREE STORY BUILDING

NO.	DATE	DESCRIPTION
1	08/15/2023	ISSUED FOR PERMIT
2	09/01/2023	REVISED PER COMMENTS
3	09/15/2023	REVISED PER COMMENTS
4	09/25/2023	REVISED PER COMMENTS
5	10/01/2023	REVISED PER COMMENTS
6	10/05/2023	REVISED PER COMMENTS
7	10/10/2023	REVISED PER COMMENTS
8	10/15/2023	REVISED PER COMMENTS
9	10/20/2023	REVISED PER COMMENTS
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11	10/30/2023	REVISED PER COMMENTS
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13	11/10/2023	REVISED PER COMMENTS
14	11/15/2023	REVISED PER COMMENTS
15	11/20/2023	REVISED PER COMMENTS
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18	12/05/2023	REVISED PER COMMENTS
19	12/10/2023	REVISED PER COMMENTS
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21	12/20/2023	REVISED PER COMMENTS
22	12/25/2023	REVISED PER COMMENTS
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25	01/10/2024	REVISED PER COMMENTS
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SITE PLAN / LANDSCAPING PLAN



R SHATARAH

CONSULTING ENGINEERS, P.C.

6500 Jericho Turnpike, Suite 1W
Syosset, NY 11791

Telephone: (516)731-4687
Fax: (516)796-2744
Email: Rudolph@Rsce-PC.com

WINDOWS:

NEW WINDOWS
CASEMENT WINDOW
(NO KIND OF SIMULATED MULLIONS CONTAINED
INSIDE
LAYERS OF GLASS)
MANUFACTURED BY: ANDERSON (OR EQUAL)
BLACK: BLACK



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2013 OCT 11 A 9:07
Rudolph@Rsce-PC.com
6500 Jericho Turnpike, NY



Decorative and Protective Exterior Wall Finishes

Color swatches shown are for representational purposes only. Please request a sample from your local Dryvit distributor for a true color match.

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WILLIAMSON COUNTY, TN

Blacks & Grays

150 Flint



151 Cozy Black



152 Anthracite Coal



131 Gull Gray



132 Mountain Fog



133 Driftwood



453 Stainless



454 Stone Gray



523 Gray Mist



525 Gray Barn



526 Fern Ridge



527 Brushed Gray



528 Citation



529 Hurricane Gray



530 Metal Gray



531 Pearl Gray



602 Dawn Gray



603 Winter Gray



613 Overcast



614 Smoke Signal



615 Tattletale



616 King's Gray



617 Winter Eve



619 Foggy Day



620 Pewter



621 Whale Gray



622 Gray Flannel



623 Gray Steele



R. SHATARAH
 ARCHITECT
 100 WEST 11TH STREET
 NEW YORK, NY 10011
 TEL: 212 255 1111
 FAX: 212 255 1111
 WWW.RSHATARAH.COM

SCOPE: THREE STORY BUILDING
 334 SOUTH OCEAN AVENUE
 FREEPORT, NEW YORK 11520

DATE	DESCRIPTION
01/15/11	PRELIMINARY
02/15/11	REVISED FOR PERMIT
03/15/11	REVISED FOR PERMIT
04/15/11	REVISED FOR PERMIT
05/15/11	REVISED FOR PERMIT
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09/15/11	REVISED FOR PERMIT
10/15/11	REVISED FOR PERMIT
11/15/11	REVISED FOR PERMIT
12/15/11	REVISED FOR PERMIT

PROJECT: 334 SOUTH OCEAN AVENUE
 SHEET: 00001
 DRAWN BY: R.S.
 CHECKED BY: R.S.
 DATE AND LOCATION MAP
 7/1/11



LOCATION MAP

SCALE: NTS

AS PER 2020 BUILDING CODE OF NEW YORK STATE

CONSTRUCTION TYPE: NON-CONCRETE
 BUILDING IS LOCATED IN A SEISMIC ZONE. THE SEISMIC DETECTION SYSTEM SHALL BE PROVIDED TO MEET THE REQUIREMENTS OF THE 2020 BUILDING CODE OF NEW YORK STATE.

EXISTING FOUNDATION CONDITIONS PROVIDED BY: ANGELO
 100 WEST 11TH STREET
 NEW YORK, NY 10011

PROJECT DATA

PROJECT NAME: 334 SOUTH OCEAN AVENUE
 PROJECT LOCATION: FREEPORT, NEW YORK 11520
 DATE: 07/15/11

CONSTRUCTION TYPE: NON-CONCRETE
 BUILDING HEIGHT: 33 FT
 TOTAL AREA OF BUILDING: 8,000 SQ FT
 TOTAL AREA OF LOT: 10,000 SQ FT

OWNER: [REDACTED]
 ARCHITECT: R. SHATARAH

CONSTRUCTION TYPE: NON-CONCRETE
 BUILDING HEIGHT: 33 FT
 TOTAL AREA OF BUILDING: 8,000 SQ FT
 TOTAL AREA OF LOT: 10,000 SQ FT

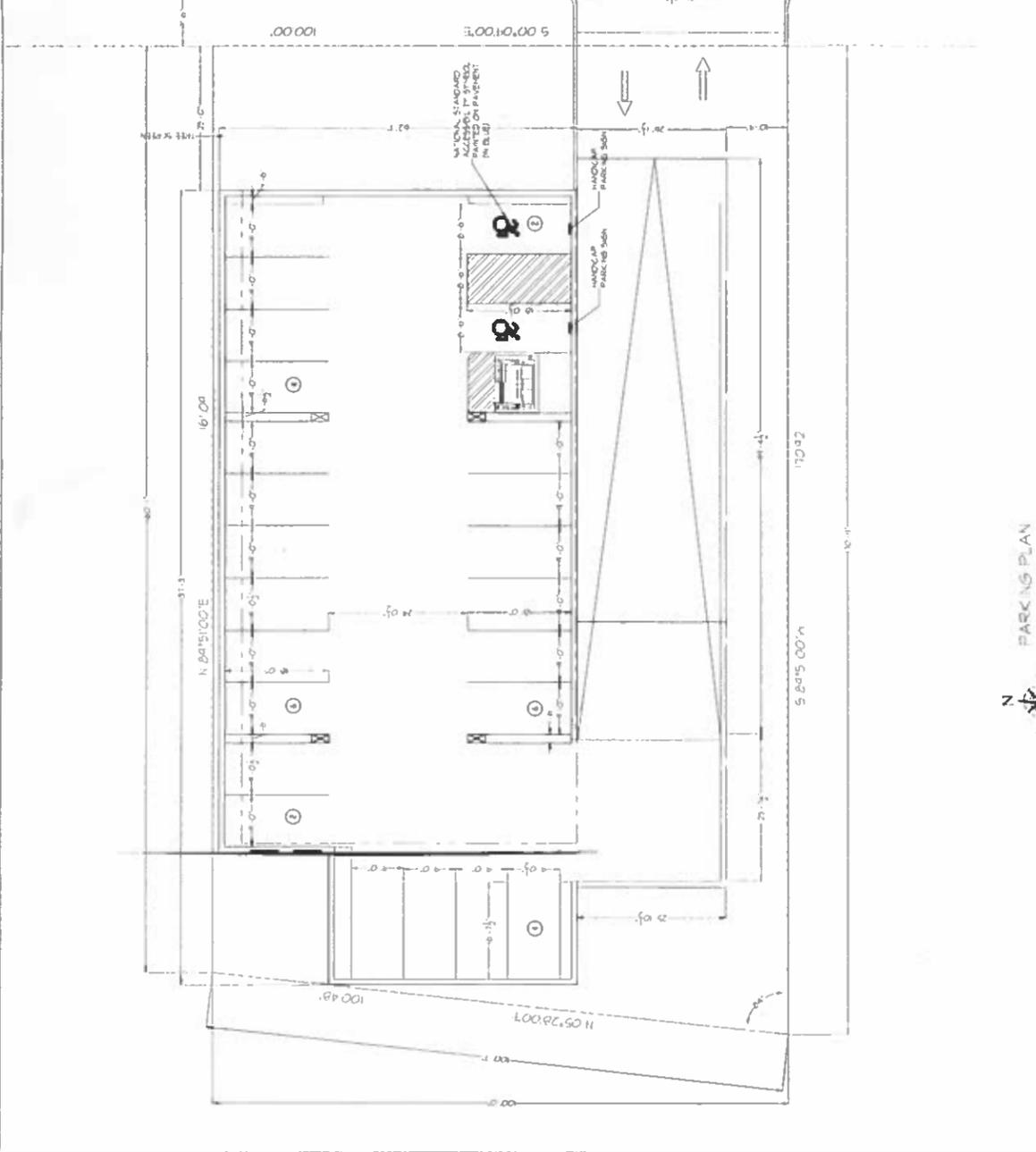
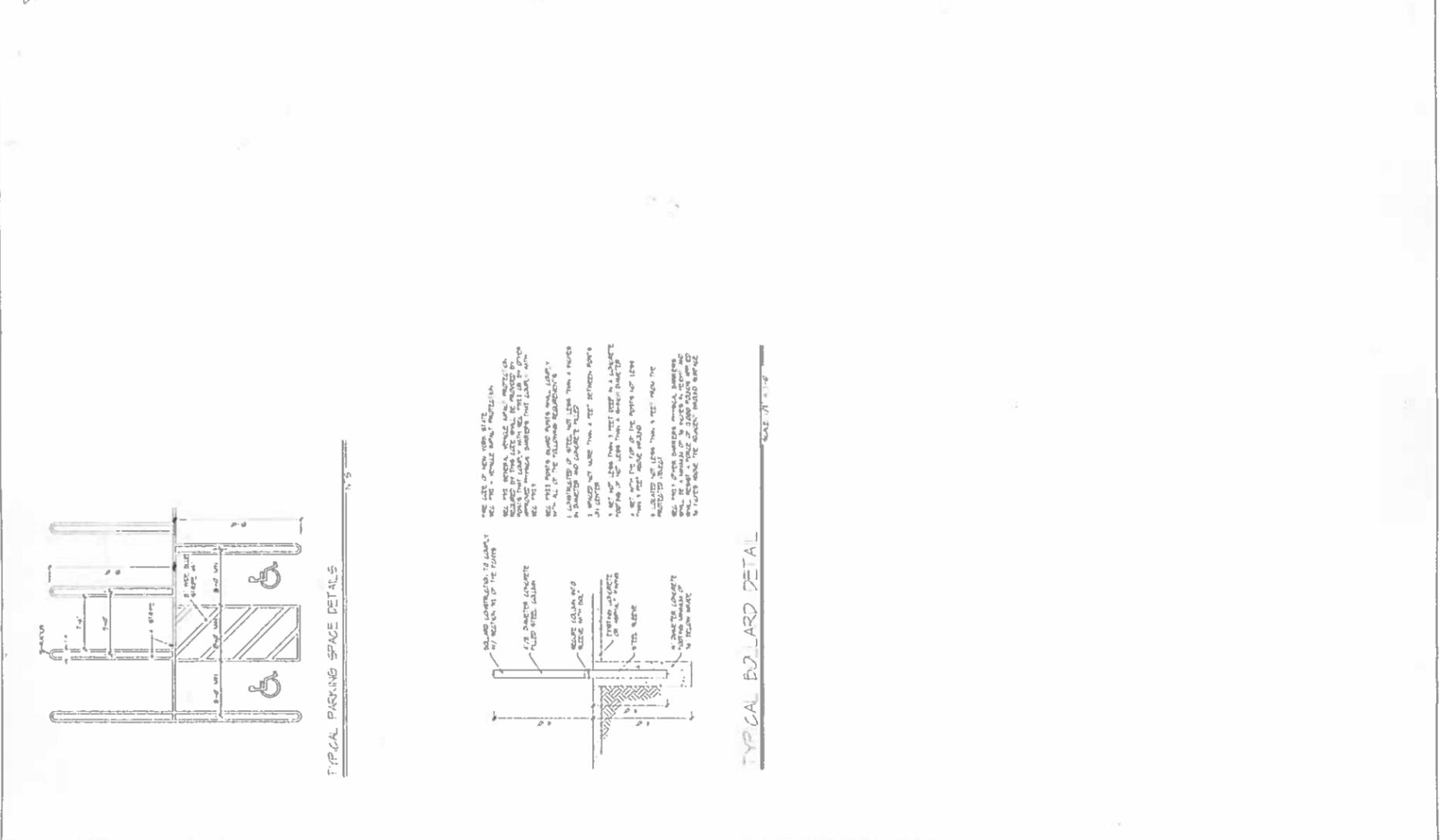
CONSTRUCTION TYPE: NON-CONCRETE
 BUILDING HEIGHT: 33 FT
 TOTAL AREA OF BUILDING: 8,000 SQ FT
 TOTAL AREA OF LOT: 10,000 SQ FT

CONSTRUCTION TYPE: NON-CONCRETE
 BUILDING HEIGHT: 33 FT
 TOTAL AREA OF BUILDING: 8,000 SQ FT
 TOTAL AREA OF LOT: 10,000 SQ FT

INDEX OF DRAWINGS

SHEET	TITLE	REVISIONS
0000	GENERAL NOTES	
0001	GENERAL NOTES	
0002	GENERAL NOTES	
0003	GENERAL NOTES	
0004	GENERAL NOTES	
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0099	GENERAL NOTES	
0100	GENERAL NOTES	

NO.	DATE	DESCRIPTION
1	04/20/20	CONCEPT
2	05/15/20	PRELIMINARY DESIGN
3	06/10/20	FINAL DESIGN
4	07/01/20	CONSTRUCTION PERMITS
5	08/01/20	CONSTRUCTION
6	09/01/20	COMPLETION



PARKING PLAN
 SCALE: 1/8\"/>

SCALE 1/10

PARKING REGULATIONS
 AREA OF BUILDING: 6,540 SF 24 UNITS
 VILLAGE REQUIRES ONE (1) PARKING SPOT FOR EACH APARTMENT
 PROVIDED (21) PARKING SPOTS INCLUDING ONE (1) UNOCCUPIED ACCESSIBLE SPOT.

NO.	DATE	DESCRIPTION
01	02/20/08	PREPARED FOR PERMITS
02	03/21/08	FIELD FOR SUBMISSION

DATE	SCALE
02/20/08	1" = 10'-0"
03/21/08	1" = 10'-0"
04/02/08	1" = 10'-0"
04/15/08	1" = 10'-0"
04/28/08	1" = 10'-0"
05/11/08	1" = 10'-0"
05/24/08	1" = 10'-0"
06/06/08	1" = 10'-0"
06/19/08	1" = 10'-0"
07/03/08	1" = 10'-0"
07/17/08	1" = 10'-0"
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02/23/21	1" = 10'-0"
03/09/21	1" = 10'-0"
03/23/21	1" = 10'-0"
04/06/21	

THREE STORY BUILDING

SCOPE: THREE STORY BUILDING

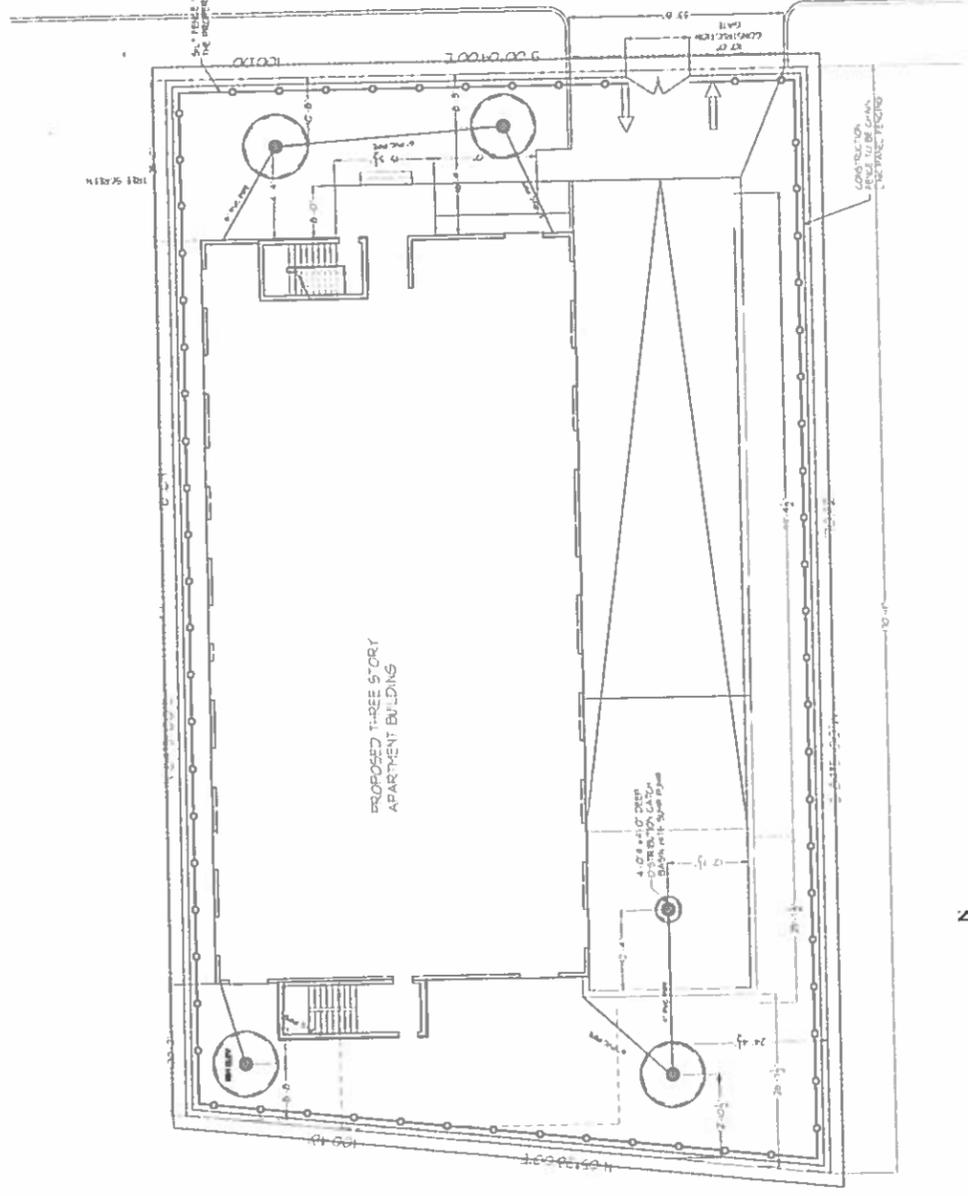
134 SOUTH OCEAN AVENUE
 FREEPORT, NEW YORK 11520

NO.	DATE	DESCRIPTION
1	4/27/2008	PRELIMINARY
2	5/15/2008	REVISED
3	6/10/2008	REVISED
4	6/10/2008	REVISED
5	6/10/2008	REVISED
6	6/10/2008	REVISED
7	6/10/2008	REVISED
8	6/10/2008	REVISED
9	6/10/2008	REVISED
10	6/10/2008	REVISED
11	6/10/2008	REVISED
12	6/10/2008	REVISED
13	6/10/2008	REVISED
14	6/10/2008	REVISED
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20	6/10/2008	REVISED

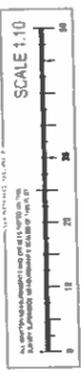
PROJECT NO.	00005
DATE	4/27/2008
SCALE	1" = 10'-0"
DRAWN BY	R.S.
CHECKED BY	R.S.
PROJECT NAME	THREE STORY BUILDING
PROJECT ADDRESS	134 SOUTH OCEAN AVENUE, FREEPORT, NY 11520
PROJECT PHONE	
PROJECT FAX	
PROJECT E-MAIL	
PROJECT WEBSITE	
PROJECT NOTES	

DESIGN NOTES:
 1. ALL DRAINAGE SHALL BE TO THE STREET.
 2. ALL DRAINAGE SHALL BE TO THE STREET.
 3. ALL DRAINAGE SHALL BE TO THE STREET.
 4. ALL DRAINAGE SHALL BE TO THE STREET.
 5. ALL DRAINAGE SHALL BE TO THE STREET.
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 7. ALL DRAINAGE SHALL BE TO THE STREET.
 8. ALL DRAINAGE SHALL BE TO THE STREET.
 9. ALL DRAINAGE SHALL BE TO THE STREET.
 10. ALL DRAINAGE SHALL BE TO THE STREET.

DESIGN NOTES:
 1. ALL DRAINAGE SHALL BE TO THE STREET.
 2. ALL DRAINAGE SHALL BE TO THE STREET.
 3. ALL DRAINAGE SHALL BE TO THE STREET.
 4. ALL DRAINAGE SHALL BE TO THE STREET.
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 9. ALL DRAINAGE SHALL BE TO THE STREET.
 10. ALL DRAINAGE SHALL BE TO THE STREET.



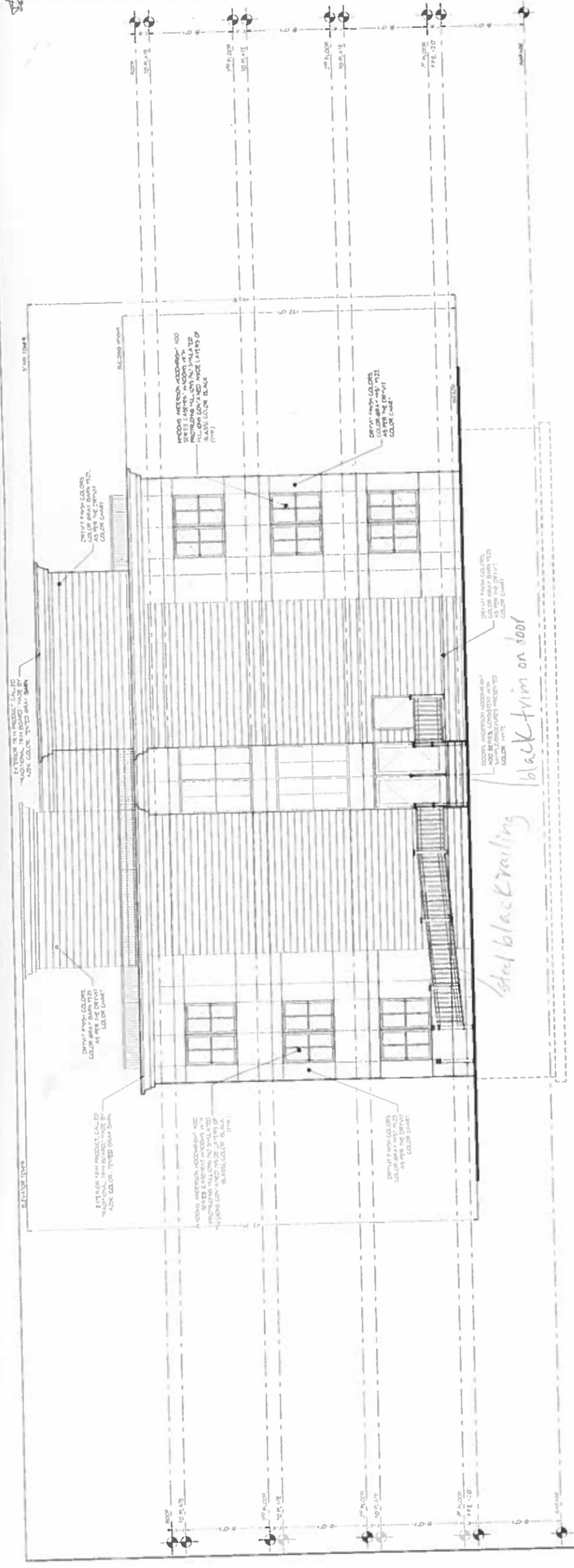
DRAINAGE PLAN
 SCALE 1" = 10'-0"



THREE STORY BUILDING

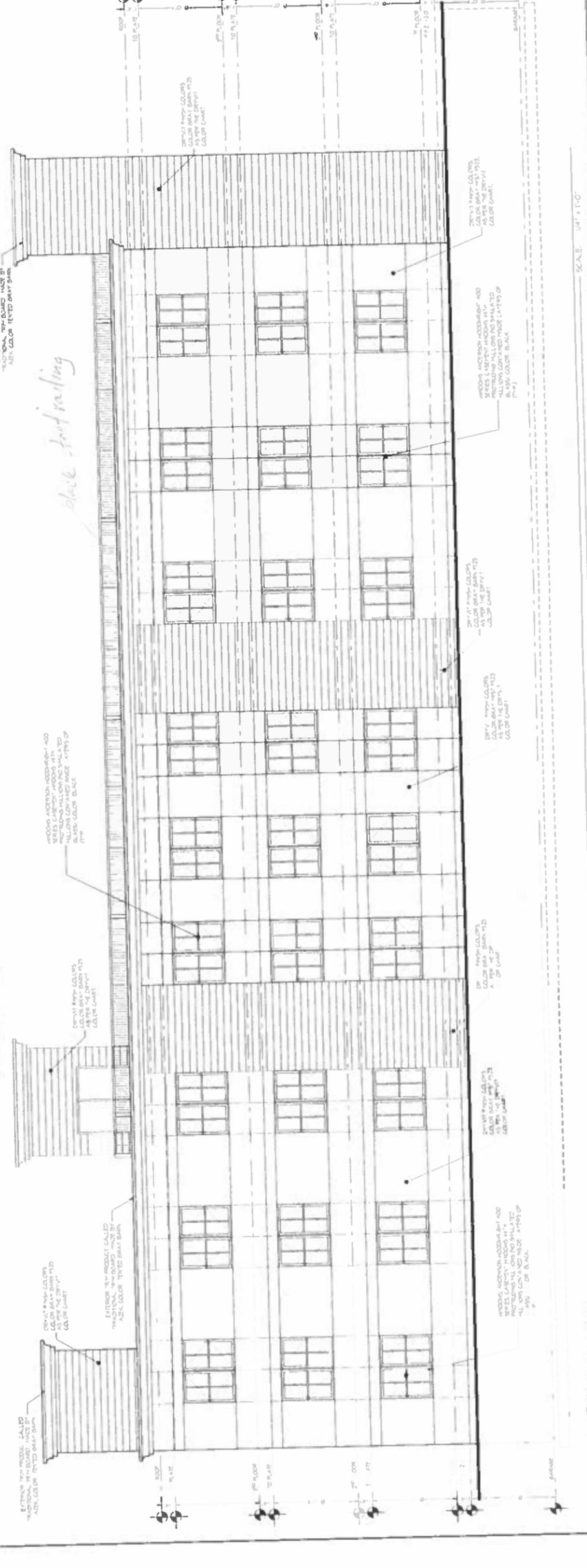
134 SOUTH OCEAN AVENUE
REEFORT NEW YORK 11520

SCALE: THREE STORY BUILDING



EAST ELEVATION

SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

DATE	10/11/11
BY	R. SHALAKATI
CHECKED BY	R. SHALAKATI
PROJECT #	00001
CLIENT	134 SOUTH OCEAN AVENUE
PROJECT NAME	THREE STORY BUILDING
PROJECT ADDRESS	134 SOUTH OCEAN AVENUE, REEFORT, NY 11520
PROJECT PHONE	516-432-1234
PROJECT FAX	516-432-1234
PROJECT EMAIL	RS@RSHALAKATI.COM
PROJECT WEBSITE	WWW.RSHALAKATI.COM
PROJECT DESCRIPTION	THREE STORY BUILDING
PROJECT STATUS	CONCEPT
PROJECT PHASE	CONCEPT
PROJECT BUDGET	
PROJECT RISK	
PROJECT SCHEDULE	
PROJECT TEAM	
PROJECT CONTACT	
PROJECT NOTES	

SCALE: 1/4" = 1'-0"

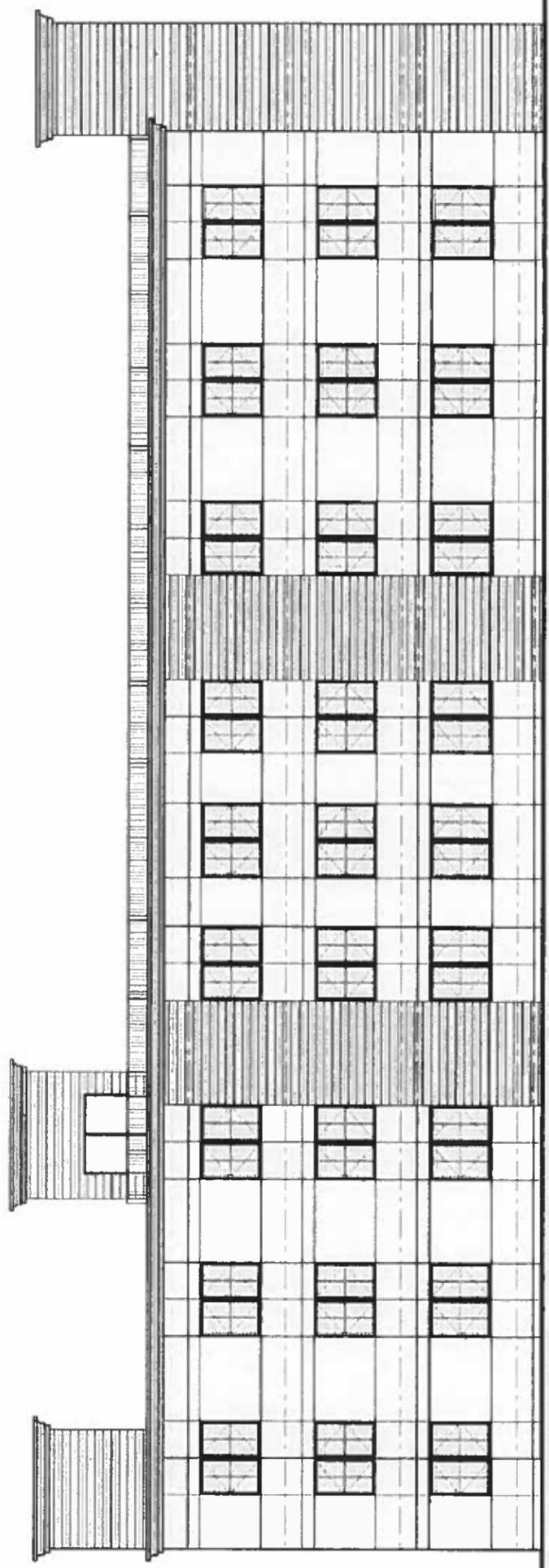
R. SHATARAH
 ARCHITECT
 134 SOUTH OCEAN AVENUE
 FREEPORT, NEW YORK 11520
 TEL: 516.431.1111
 FAX: 516.431.1111
 WWW.RSHATARAH.COM

SCOPE: THREE STORY BUILDING
 THREE STORY BUILDING
 134 SOUTH OCEAN AVENUE
 FREEPORT, NEW YORK 11520

NO.	DATE	DESCRIPTION
01	01/15/08	ISSUED FOR PERMITS
02	02/15/08	ISSUED FOR PERMITS
03	03/15/08	ISSUED FOR PERMITS
04	04/15/08	ISSUED FOR PERMITS
05	05/15/08	ISSUED FOR PERMITS

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DESIGNER: R. SHATARAH
 CHECKED BY: R. SHATARAH
 DATE: 01/15/08
 PROJECT: 0801001
 SHEET: 01
 SCALE: 1/8" = 1'-0"



NORTH ELEVATION

DATE: 10/1/00
SCALE: 1/8" = 1'-0"

PROJECT: ELEVATION

DATE: 10/1/00

SCALE: 1/8" = 1'-0"

PROJECT: ELEVATION

DATE: 10/1/00

SCALE: 1/8" = 1'-0"

PROJECT: ELEVATION

DATE: 10/1/00

SCALE: 1/8" = 1'-0"

PROJECT: ELEVATION

DATE: 10/1/00

SCALE: 1/8" = 1'-0"

PROJECT: ELEVATION

DATE: 10/1/00

SCALE: 1/8" = 1'-0"

PROJECT: ELEVATION

DATE: 10/1/00

SCALE: 1/8" = 1'-0"

PROJECT: ELEVATION

DATE: 10/1/00

SCALE: 1/8" = 1'-0"

PROJECT: ELEVATION

DATE: 10/1/00

SCALE: 1/8" = 1'-0"

PROJECT: ELEVATION

DATE: 10/1/00

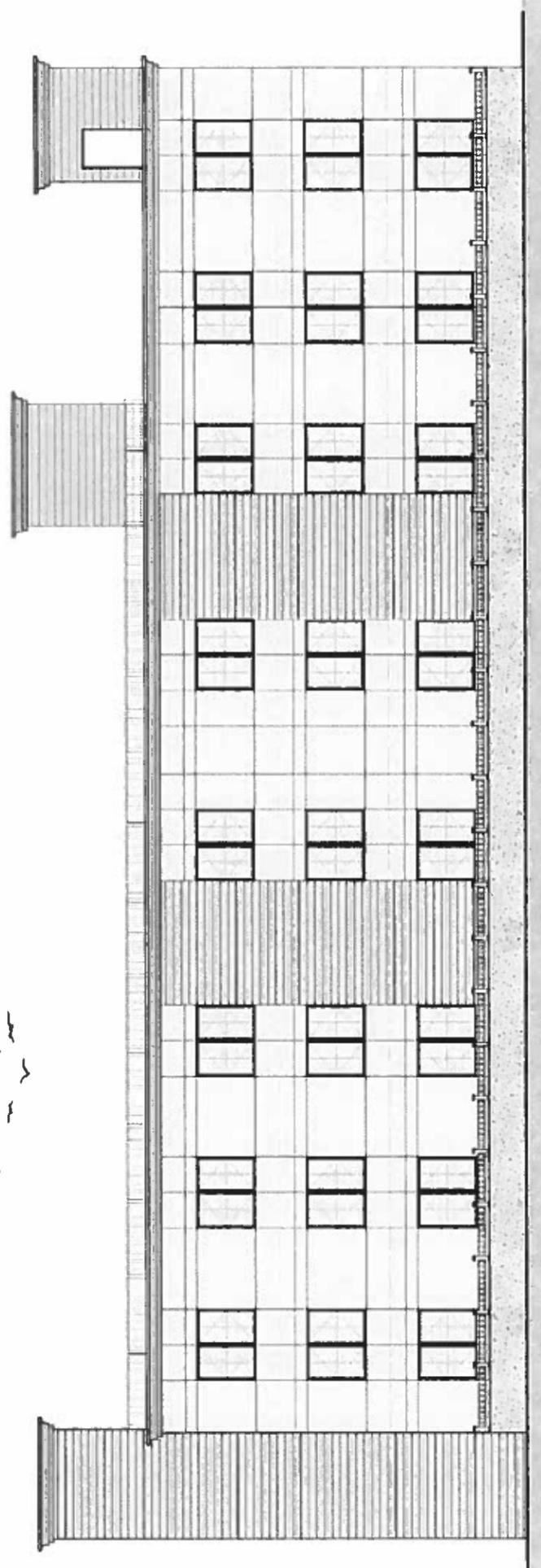
SCALE: 1/8" = 1'-0"

PROJECT: ELEVATION

DATE: 10/1/00

SCALE: 1/8" = 1'-0"

SOUTH ELEVATION



THREE STORY BUILDING

134 SOUTH OCEAN AVENUE
FREEPORT, NEW YORK 11520

SCOPE: THREE STORY BUILDING

R. SHATARAH
ARCHITECT

8000 JEROME ST. # 4
ROCKY HILL, CT 06154
TEL: 860-265-1111
FAX: 860-265-1112
WWW.SHATARAH.COM

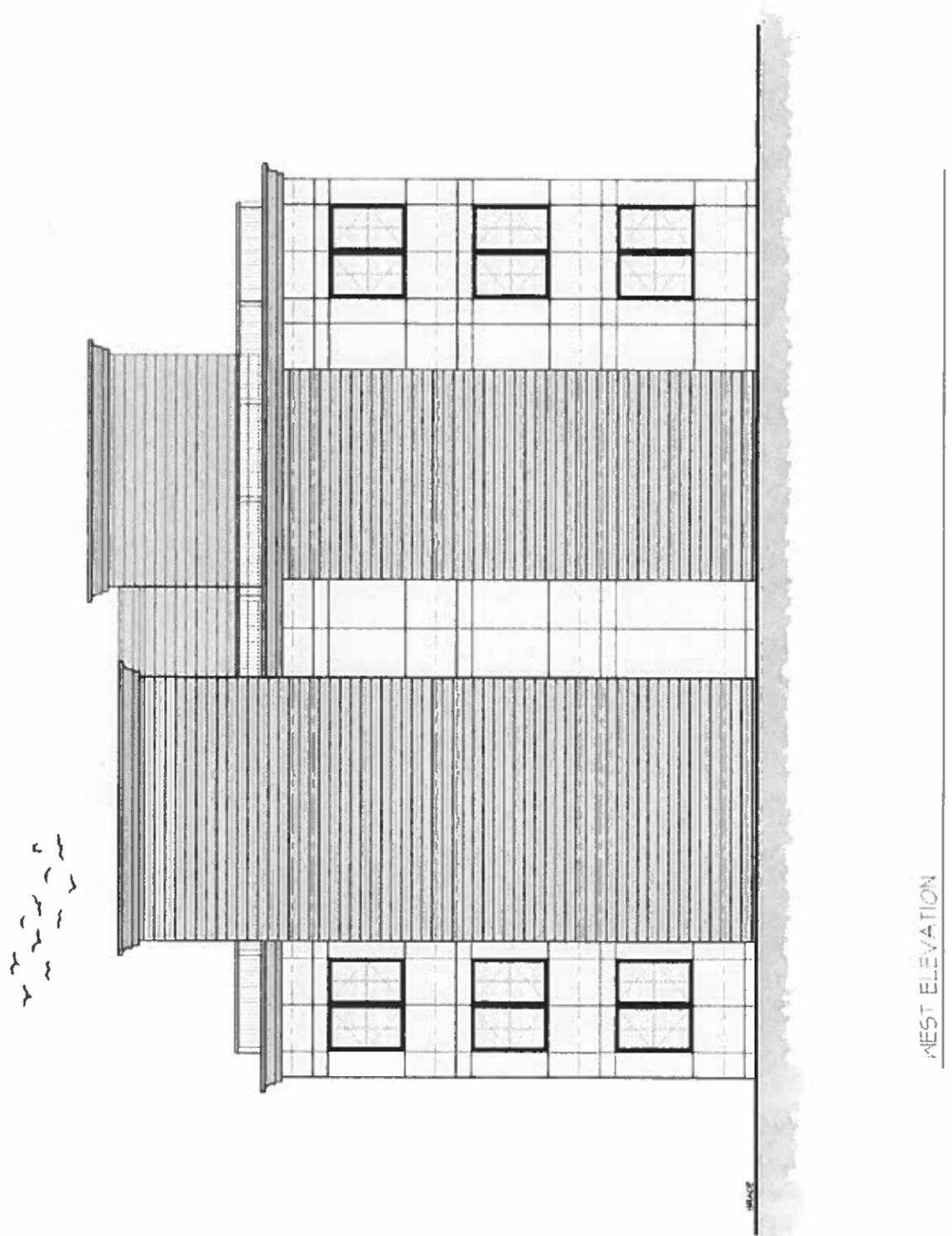
R SHATARAH
 ARCHITECTS
 1000 JEROME AVENUE
 NEW YORK, NY 10017
 TEL: 212-485-1111
 FAX: 212-485-1112
 WWW.RSHATARAH.COM

SCOPF THREE STORY BUILDING
 134 SOUTH OCEAN AVENUE
 FREEPORT NEW YORK 11520

DATE	DESCRIPTION
01/20/11	ISSUED FOR PERMITS
01/21/11	
01/22/11	
01/23/11	
01/24/11	
01/25/11	
01/26/11	
01/27/11	
01/28/11	
01/29/11	
01/30/11	
01/31/11	

DATE: 01/20/11
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 SCALE: 1/8" = 1'-0"

PROJECT: SCOPF THREE STORY BUILDING
 SHEET: 1 OF 1
 DRAWING NO: 11-0000



WEST ELEVATION

Application Date: 10/13/23
Fees Paid: 225.00

SP# 3677

INCORPORATED VILLAGE OF FREEPORT
SITE PLAN REVIEW APPLICATION
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 51 FRANKER AVE ZONING DISTRICT Residence A
SECTION 54 BLOCK 197 LOT 0326 LOT SIZE: _____

<input type="checkbox"/> TENANT APPLICANT	<input type="checkbox"/> LESSEE	<input checked="" type="checkbox"/> PROPERTY OWNER
Name: <u>Same as owner</u>	Name: <u>Kevin Issurdatt</u>	
Address: _____	Address: <u>51 FRANKER AVE</u>	
Telephone #: _____	Telephone #: <u>(516) 998-6872</u>	

Attorney Name: _____ Address: _____
(optional) Phone #: _____

Present Land Use: RESIDENTIAL Proposed Land Use: RESIDENTIAL

Description of Proposed Work: Replace Existing ASPHALT DRIVEWAY WITH PAVERS & EXTEND DRIVEWAY

I request a preliminary meeting: ___ YES ___ NO

I request a waiver of the public hearing and hereby certify the following:
A. The subject property is zoned Residence A or Residence AA.
B. The proposed construction is not a new building or dwelling.
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.

Kevin Issurdatt YES NO
APPLICANT'S SIGNATURE DATE 10/6/23

Sworn to before me this _____ day of _____, 20____

Notary Public

Property Owner's Consent: I, KEVIN ISSURDATT am (are) the owner(s) of the subject property and consent to the filing of this application.

Kevin Issurdatt 10/6/23
PROPERTY OWNER'S SIGNATURE MESHESSNA C LITTLEDATE

Sworn to before me this 10/6/23 day of October, 2023
Mesheena C. Little
NOTARY PUBLIC-STATE OF NEW YORK
No. 01LI6066956
Qualified in Nassau County
My Commission Expires 11-26-25

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: ___ YES ___ NO	Date of Hearing: _____
Village Clerk's Signature: _____	Date of Decision: _____
Planning Board Signature: _____	Date: _____
	Approved _____ Denied _____



INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520

(516) 377-2242

FAX (516) 377-2493

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

ROBERT T. KENNEDY
MAYOR

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

SITE PLAN LETTER
September 7, 2023

Kevin Issurdatt
51 Frankel Ave
Freeport, NY 11520

RE: 51 Frankel Avenue, Freeport, NY 11520
Zoning District: Residence A. Sec 54, Blk 197, Lot 326
Building Permit Application #20233441

Description: Legalize existing driveway and replace asphalt driveway with pavers (1,158 sq.ft)

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the VILLAGE CLERK'S OFFICE at 377-2300.

Very truly yours,

Sergio A. Mauras
Superintendent of Buildings
/Daniela Hernandez

c: Village Clerk

ZBA Approval Needed: Yes__ No_X_

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SEP 11 9:09 AM
VILLAGE OF FREEPORT, NY

VILLAGE OF FREEPORT

Department of Buildings

Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement. (See reasons below)

Project :

Building Permit App. 20233441

Location: 51 Frankel Ave, Freeport NY 11520

Applicant: Kevin Issurdatt

Description : Legalize existing driveway and replace asphalt driveway with pavers (1,158 sq.ft)

Lead Agency: Department of Buildings for the Board of Trustees Village of Freeport 46 North Ocean Avenue, Freeport, NY

Agency Contact Person: Superintendent of Buildings (516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A)

B) Possible environment effects identified: (only if positive determination)

Dated: Sept 7, 2023

Sergio A. Mauras Superintendent of Buildings

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IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

617.20
 Appendix B
 Short Environmental Assessment Form

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 AUG 30 2023
 FREEPORT BUILDING DEPT.

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
DRIVEWAY Replacement			
Name of Action or Project:			
Project Location (describe, and attach a location map):			
51 FRANKEL AVE			
Brief Description of Proposed Action:			
Replace existing driveway with pavers 1,168 sq ft.			
Name of Applicant or Sponsor:		Telephone: 516 998-6872	
KEVIN ISSURDATT		E-Mail: KISSURDATT@HOTMAIL.COM	
Address:			
51 FRANKEL AVE			
City/PO:		State:	Zip Code:
FREEPORT		NY	11520
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?			NO YES
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES
2. Does the proposed action require a permit, approval or funding from any other governmental Agency?			NO YES
If Yes, list agency(s) name and permit or approval:			<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES
3.a. Total acreage of the site of the proposed action? _____ acres			
b. Total acreage to be physically disturbed? _____ acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres			
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

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 AUG 30 2023
 FREEPORT BUILDING DEPT.

	NO	YES	N/A
5. Is the proposed action: a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Are public transportation service(s) available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing potable water: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100 year flood plain?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ <input type="checkbox"/> NO <input type="checkbox"/> YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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FREEPORT BUILDING DEPT.

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)?
 If Yes, explain purpose and size: _____

19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?
 If Yes, describe: _____

20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?
 If Yes, describe: _____

I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

Applicant/sponsor name: Kevin Issordatt Date: 8-30-23
 Signature: [Signature]

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

	RECEIVED AUG 30 2023 <small>PLANNING & BUILDING DEPT.</small>	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?		<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?		<input checked="" type="checkbox"/>	<input type="checkbox"/>

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

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PLANNING & BUILDING DEPT.

<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input checked="" type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
_____ Name of Lead Agency	_____ Date
_____ Print or Type Name of Responsible Officer in Lead Agency	_____ Title of Responsible Officer
_____ Signature of Responsible Officer in Lead Agency	_____ Signature of Preparer (if different from Responsible Officer)

FRONT OF SIDEWALK VIEW



RIGHT FRONT ANGLE TO SHOW STRAIGHT WITH STEPS

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PATIO BEHIND FENCE 18 X 30



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SUNSHINE FENCE & RAILROAD, INC.
SUNSHINE FENCE & RAILROAD, INC.
SUNSHINE FENCE & RAILROAD, INC.

34 FRANKEL AVE



33 FRANKEL AVE



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263 PARK AVE

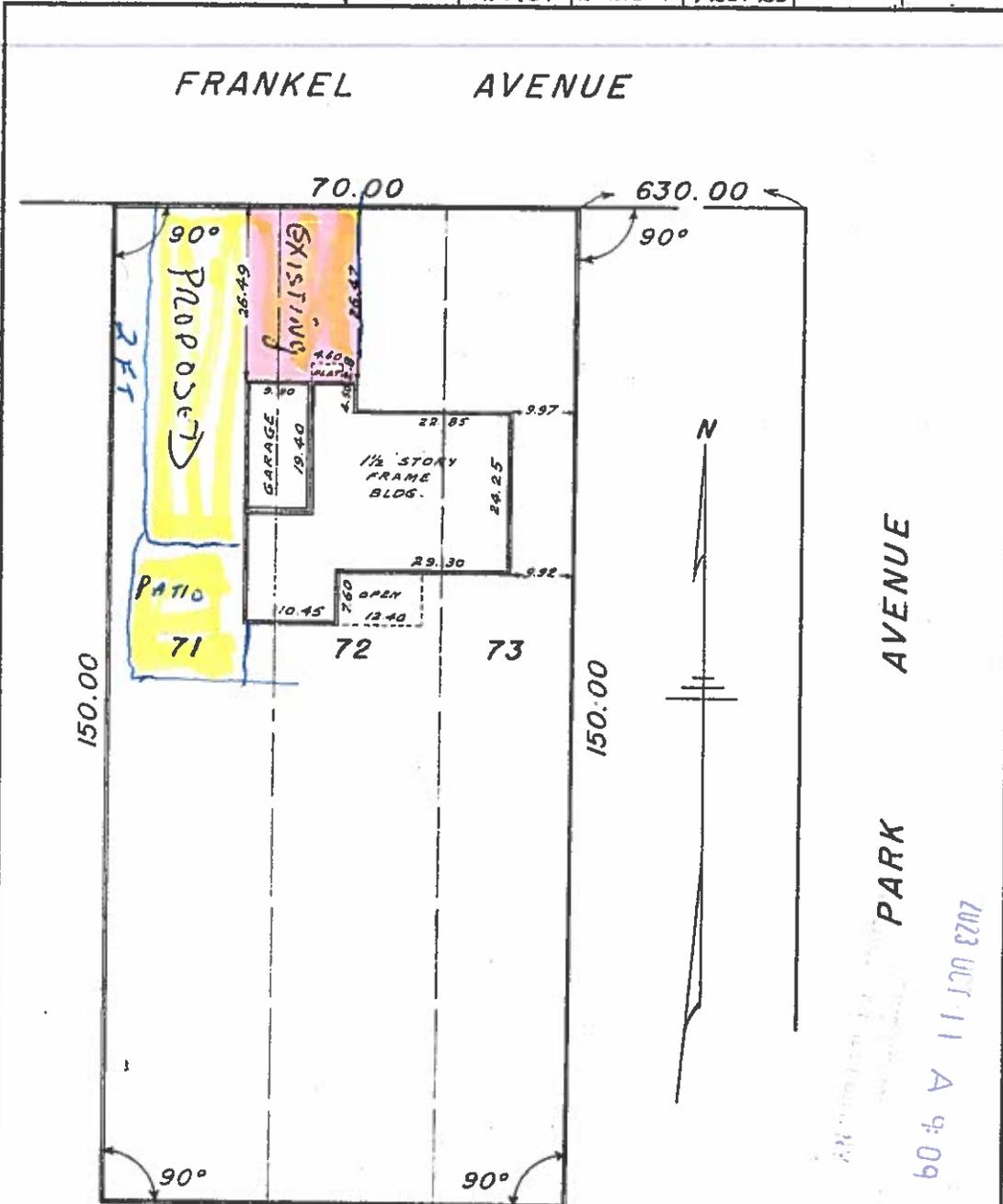


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MILWAUKEE, WI

276 S. BROOKSIDE AVE



DRAWN	CHECKED	JOB NO.	FILE NO.	SEC.	BLK.
S.A.E.	A.J.S.	22210-4	F251-25		



Guaranteed to
 Baldwin Federal Savings &
 Loan Association
Baldwin & Cornelius Co. Inc.
Per JACC

**LOTS NO 71 AND 72
 AND PART OF 73
 MAP OF**

**MORTON DEVELOPMENT COMPANY INC.
 FREEPORT, N.Y.**

SURVEYED SEPT. 20, 1948

BALDWIN & CORNELIUS CO. INC.

CIVIL ENGINEERS & SURVEYORS
 LICENSE NO. 793 & 527

FREEPORT, L.I. N. Y.

SCALE 1" = 20' N. Y. STATE STANDARD

Application Date: 10/18/23
Fees Paid: \$225.00

SP# 3678

INCORPORATED VILLAGE OF FREEPORT
SITE PLAN REVIEW APPLICATION
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 277 NASSAU AVE FREEPORT ZONING DISTRICT RESIDENCE A
SECTION 62 BLOCK 181 LOT 179 LOT SIZE: _____

<input type="checkbox"/> TENANT <u>APPLICANT</u> <input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>MARIA GARROTE</u>	Name: <u>MARIA ANDREA GARROTE</u>
Address: <u>277 NASSAU AVE FREEPORT NY 11520</u>	Address: <u>277 NASSAU AVENUE FREEPORT NY 11520</u>
Telephone #: <u>914-310-8874</u>	Telephone #: <u>914-310-0804</u>

Attorney Name: _____ Address: _____
(optional) Phone #: _____

Present Land Use: RESIDENTIAL Proposed Land Use: RESIDENTIAL

Description of Proposed Work: WORK COMPLETED. REMOVED OLD CONCRETE CRACKED DRIVEWAY 11'2" X 26' AND REPLACE WITH NEW CONCRETE DRIVEWAY 18' X 28' (504 SQ FT)

I request a preliminary meeting: _____ YES NO

I request a waiver of the public hearing and hereby certify the following:
A. The subject property is zoned Residence A or Residence AA.
B. The proposed construction is not a new building or dwelling.
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied. YES _____ NO

[Signature]
APPLICANT'S SIGNATURE
Sworn to before me this 17TH
day of OCTOBER, 2023
Peggy M. Lester
Notary Public

10/17/2023
DATE
VILLAGE CLERK'S OFFICE
FREEPORT, NY
2023 OCT 18 A 3:59
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Property Owner's Consent:
I, MARIA ANDREA GARROTE am (are) the owner(s) of the subject property and consent to the filing of this application.

[Signature]
PROPERTY OWNER'S SIGNATURE
Sworn to before me this 17TH
day of OCTOBER, 2023
Peggy M. Lester
Notary Public

10/17/2023
DATE

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: _____ YES _____ NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	Approved _____ Denied _____ Date: _____
Planning Board Signature: _____	Date: _____



INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520

(516) 377-2242

FAX (516) 377-2493

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

ROBERT T. KENNEDY
MAYOR

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

SITE PLAN LETTER
October 4, 2023

Maria Garrote
277 Nassau Ave
Freeport, NY 11520

RE: 277 Nassau Ave, Freeport, NY 11520

Zoning District: Residence A Sec 62, Blk 181, Lot 179

Building Permit Application #20233444

Description: Removed old concrete cracked driveway 11'2"x 28' and replace with new concrete driveway 18'x28' totaling (504 sq.ft)

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the VILLAGE CLERK'S OFFICE at 377-2300.

Very truly yours,

Sergio A. Mauras
Superintendent of Buildings
/Daniela Hernandez

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2023 OCT 18 A 3:59
VILLAGE CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

c: Village Clerk

ZBA Approval Needed: Yes__ No_x_

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

 The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project :

Building Permit App. 20233444

Location: 277 Nassau Ave, Freeport NY 11520

Applicant: Maria Garrote

Description : Removed old concrete cracked driveway 11'2"x 28' and replace with new concrete driveway 18'x28' totaling (504 sq.ft)

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) _____

B) Possible environment effects identified:
(only if positive determination)

Dated: October 4, 2023

Sergio A. Mauras
Sergio A. Mauras
Superintendent of Buildings

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CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
DRAWING EXPANSION			
Name of Action or Project: EXPANSION FROM 11'2" X 28' TO 18' X 28'			
Project Location (describe, and attach a location map): 277 NASSAN AVE. FREEPORT, NY 11520			
Brief Description of Proposed Action: REMOVAL OF OLD CONCRETE 11'2" X 28' + PUTTING A NEW CONCRETE 18' X 28'			
Name of Applicant or Sponsor: MARIA ANDREA GARROTE		Telephone: 914-310-0804	
Address: 277 NASSAN AVE FRI		E-Mail: samgny@gmail.com	
City/PO: FREEPORT, NY		State: NY	Zip Code: 11520
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO YES
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO YES
DEPT OF BUILDINGS, FREEPORT NY 11520			YES
3.a. Total acreage of the site of the proposed action?		18' X 28' acres	RECEIVED A 3:59
b. Total acreage to be physically disturbed?		18' X 28' acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

		NO	YES	N/A
5. Is the proposed action,				<input checked="" type="checkbox"/>
a. A permitted use under the zoning regulations?				
b. Consistent with the adopted comprehensive plan?				
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?		NO	YES	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?		NO	YES	
If Yes, identify: _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?		NO	YES	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?		NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?		NO	YES	
[If Yes, does the existing system have capacity to provide service? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES]		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If No, describe method for providing potable water: _____				
11. Will the proposed action connect to existing wastewater utilities?		NO	YES	
[If Yes, does the existing system have capacity to provide service? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES]		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If No, describe method for providing wastewater treatment: _____				
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?		NO	YES	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the proposed action located in an archeological sensitive area?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?		NO	YES	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____				
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:				
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional				
<input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Suburban				
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?		NO	YES	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?		NO	YES	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources?		NO	YES	
If Yes,		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?				
If Yes, briefly describe: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES				

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>

I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

Applicant/sponsor name: MARIA ANDREA GARRITO Date: 8/31/2023
 Signature: [Signature]

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

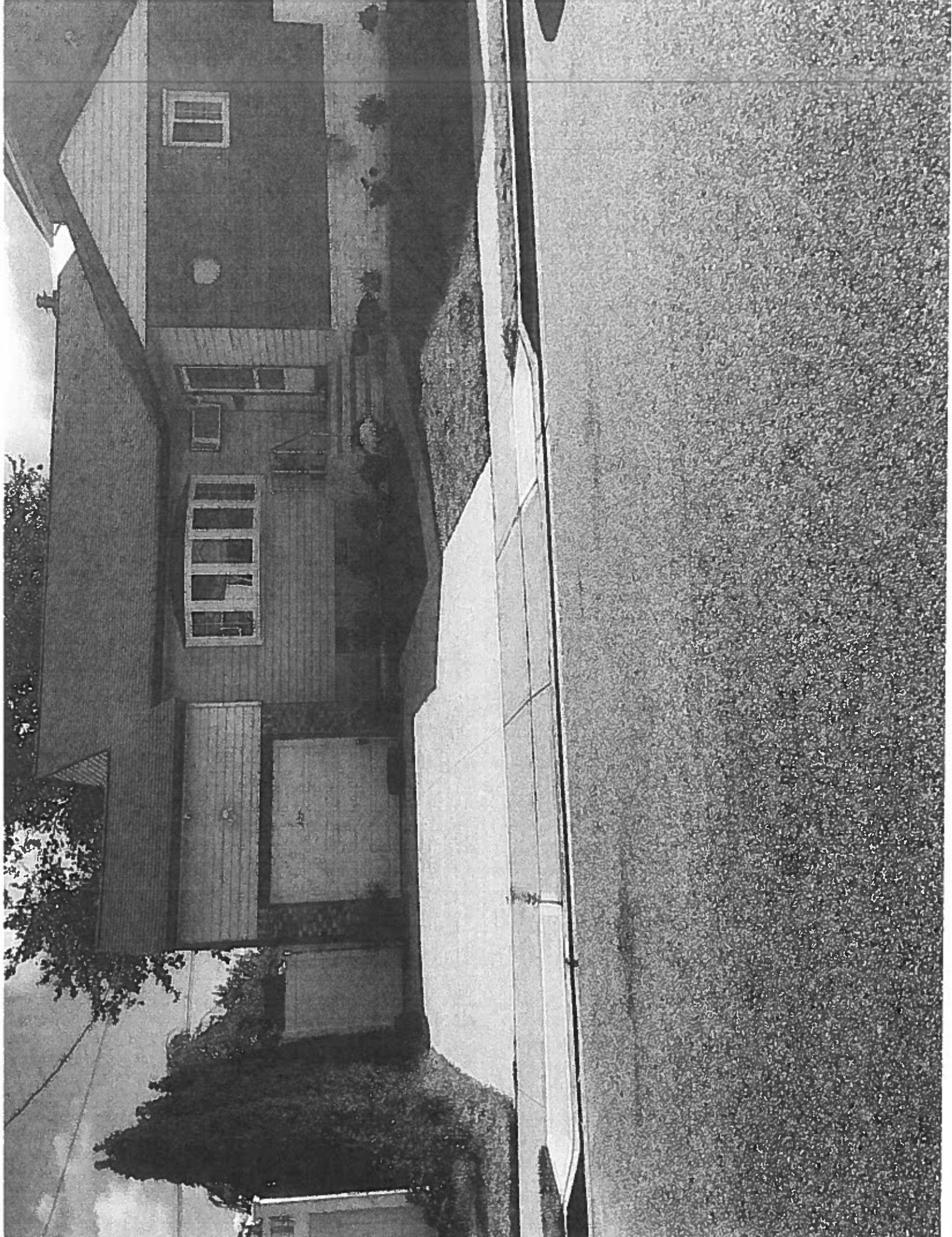
	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

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 VILLAGE OF FALLPORT, NY

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)



DRAWN	CHECKED	DATE	SEC.
C.M.R.	J.D.C.	8-4-55	BLK.
A.D.	J.D.C.	6-21-55	FILE NO.
A.D.	J.D.C.	6-21-55	JOB NO.

GUARANTEED TO:
 THE GUARANTEE & TRUST CO.
 HOUSING CAPITAL CORP
 VETERANS ADMINISTRATION
 FEDERAL HOUSING ADMINISTRATION
 Of a Column & Cornerlain &
 Via: ABC

NOTE:
 GAS, WATER, ELEC. IN ST.
 NO HOUSE NO.
 SEWER IN ST.

RE-DATED: JUNE 20, 1955

MAP OF
 PROPERTY
 SITUATED AT
 FREEPORT

NASSAU COUNTY, N.Y.

SURVEYED FEB. 4, 1955

BALDWIN & CORNELIUS CO.

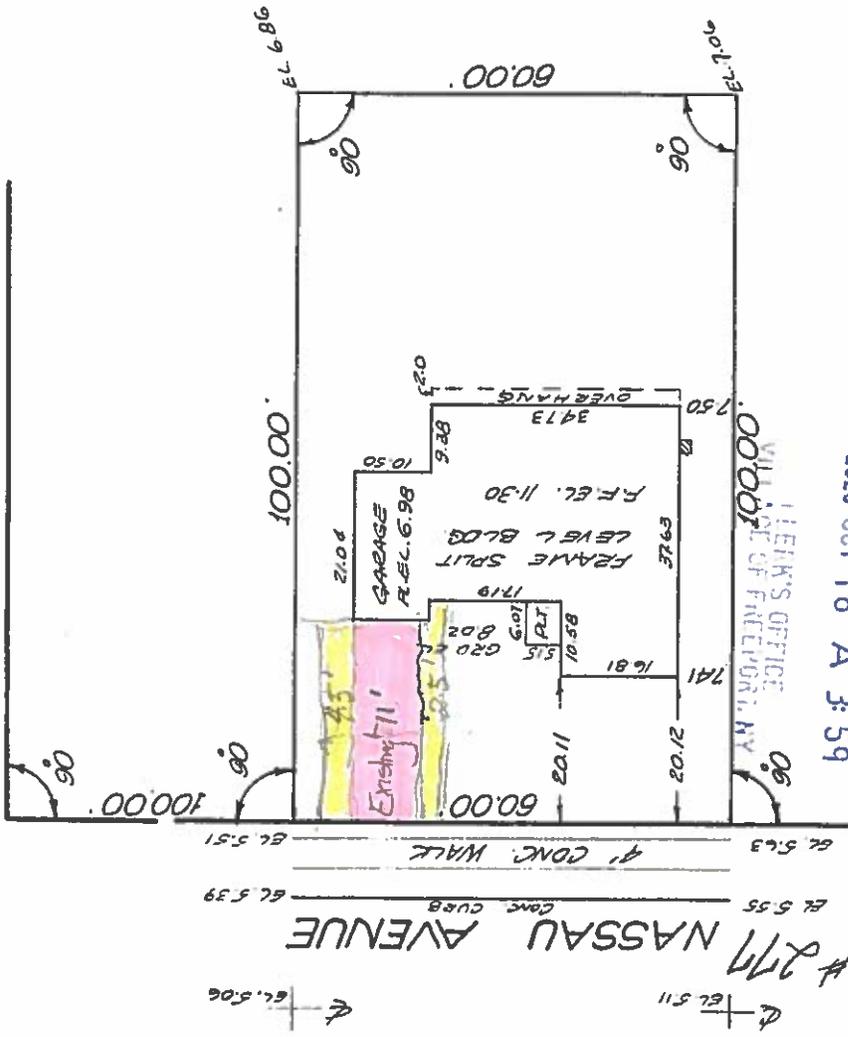
CIVIL ENGINEERS & SURVEYORS

LICENSE NO. 793 & 527

FREEPORT, L.I., N.Y.

SCALE 1"=20' N.Y. STATE STANDARD

ADAMS STREET
 (KINGS ST.)



Proposed

Existing

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FREEPORT BLUE PRINT CO. N.Y. 2000 10-34

Application Date: 10/24/23
Fees Paid: \$225.00

SP# 3679

INCORPORATED VILLAGE OF FREEPORT
SITE PLAN REVIEW APPLICATION
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 662 Miller Ave ZONING DISTRICT Residence A
SECTION 62 BLOCK 183 LOT 368 LOT SIZE: 50 X 100

<input type="checkbox"/> TENANT	<input checked="" type="checkbox"/> APPLICANT	<input type="checkbox"/> LESSEE	PROPERTY OWNER	
Name: <u>Matthew Ranaldo</u>			Name: <u>Matthew Ranaldo</u>	
Address: <u>662 Miller Ave Freeport NY 11520</u>			Address: <u>662 Miller Ave Freeport 11520</u>	
Telephone #: <u>516 965 3565</u>			Telephone #: <u>516 965 3565</u>	

Attorney Name: _____ Address: _____
(optional) Phone #: _____

Present Land Use: Deck Proposed Land Use: Deck

Description of Proposed Work: 2 ^{rear} story Decks due to flood event and home being raised. 7 Front balcony

I request a preliminary meeting: YES NO

I request a waiver of the public hearing and hereby certify the following:
A. The subject property is zoned Residence A or Residence AA.
B. The proposed construction is not a new building or dwelling.
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied. YES NO

[Signature]
APPLICANT'S SIGNATURE
Sworn to before me this 21st
day of August, 2023
[Signature]
Notary Public

9/21/23
DATE
ANN KROLIKOWSKI
Notary Public, State of New York
Reg. No. 01KR6323053
Qualified in Nassau County
Commission Expires April 13, 2027

Property Owner's Consent:
I, Matthew Ranaldo am (are) the owner(s) of the subject property and consent to the filing of this application.

[Signature]
PROPERTY OWNER'S SIGNATURE
Sworn to before me this 21st
day of August, 2023
[Signature]
Notary Public

9/21/23
DATE
ANN KROLIKOWSKI
Notary Public, State of New York
Reg. No. 01KR6323053
Qualified in Nassau County
Commission Expires April 13, 2027

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: <input type="checkbox"/> YES <input type="checkbox"/> NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	Approved <input type="checkbox"/> Denied <input type="checkbox"/> Date: _____
Planning Board Signature: _____	Date: _____



INC. VILLAGE OF FREEPORT

Department of Buildings
46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

ROBERT T. KENNEDY
MAYOR

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

AMENDED SITE PLAN LETTER
August 23, 2023

Matthew Ranaldo
662 Miller Ave
Freeport, NY 11520

RE: 662 Miller Avenue, Freeport, NY 11520

Zoning District: Residence A Sec 62, Blk 183, Lot 368

Building Permit Application #20233390

Description: Install rear deck 1st floor (414.3 sq.ft) & install rear deck 2nd floor (91.8 sq.ft) and install front balcony at 1st floor (104 sq.ft)

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only ONE complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. Only after this initial appointment should the additional copies be made.

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the VILLAGE CLERK'S OFFICE at 377-2300.

Very truly yours,

Sergio A. Mauras
Superintendent of Buildings
/Daniela Hernandez

VILLAGE OF FREEPORT, NY
CLERK'S OFFICE

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c: Village Clerk

ZBA Approval Needed: Yes_x_ No_

VILLAGE OF FREEPORT

Department of Buildings
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project :

Building Permit App. 20233390

Location: 662 Miller Ave, Freeport NY 11520

Applicant: Matthew Ranaldo

Description : Install rear deck 1st floor (414.3 sq.ft) & install rear deck 2nd floor (91.8 sq.ft) and install front balcony at 1st floor (104 sq.ft)

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) _____

B) Possible environment effects identified:
(only if positive determination)

VILLAGE OF FREEPORT, NY
CLERK'S OFFICE

Dated: August 23, 2023

23 AUG 24 10:24 AM
Sergio A. Mauras

Sergio A. Mauras

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Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

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FREEPORT BUILDING DEPT.

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer us thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: Decks			
Project Location (describe, and attach a location map): 662 Miller Ave Freeport NY 11520			
Brief Description of Proposed Action: 3 Decks			
Name of Applicant or Sponsor: Matthew Ronaldo		Telephone: 516 965 3565	
		E-Mail: mronaldo99@gmail.com	
Address: 662 Miller Ave			
City/PO: Freeport	State: NY	Zip Code: 11520	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ acres			
b. Total acreage to be physically disturbed? _____ acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (Specify):			
<input type="checkbox"/> Parkland			

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		NO	YES	N/A
5. Is the proposed action,				
a. A permitted use under the zoning regulations?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>	

FREEPORT BUILDING DEPT

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 FREEPORT BUILDING DEPT.

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If Yes, briefly describe: _____ _____		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>

I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

Applicant/sponsor/name: Matthew Ronaldo Date: 7/17/23

Signature:  Title: owner

PRINT FORM

VILLAGE OF FREEPORT, NY
 CLERK'S OFFICE
 2023 OCT 24 A 10: 24
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 Page 3 of 3

INCORPORATED VILLAGE OF FREEPORT
ZONING BOARD OF APPEALS DECISION

DATE: October 19, 2023

APPROVAL

Building Department Permit Application #20233390

Chairman, regarding Application #2023-21 for the premises located at 662 Miller Avenue, Freeport, the Applicant comes before this Board seeking a variance from Village Ordinances §210-6A, 210-43C(2) seeking approval to install a rear deck 1st floor, 414.3 square feet, rear deck 2nd floor, 91.8 square feet, and front balcony at the first floor, 104 square feet.

I, Anthony Mineo, move that this Board make the following findings of fact:

A public hearing was held on September 21, 2023 wherein applicant spoke on his own behalf. He explained that their home was flooded in December 2022. Their foundation was compromised, so they have decided to raise their home. The deck had to be removed for the elevation, but they have saved the wood and are using it to reconstruct the same deck that was previously in existence. According to the plans, the rear setback from the deck to the bulkhead is 14.65 feet. The original deck was elevated 8 feet. The proposed replacement deck will be elevated 9 feet.

1. On balance, the benefit to the applicant by the granting of this variance is not outweighed by the detriment to the health, safety and welfare of the neighborhood or community if such variance were to be granted. The Board has determined:
 - a. that an undesirable change will not be produced in the character of the neighborhood and a detriment to nearby properties will not be created by the granting of the area variance;
 - b. that the benefit sought by the applicant cannot be achieved by some method, feasible for the applicant to pursue, other than an area variance;
 - c. that the requested area variance is insubstantial;
 - d. that the proposed variance will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district; and
 - e. that the alleged difficulty was not self-created.
2. The Board, as lead agency has determined that this action is a Type II action and under SEQRA and no further review is required.

I further move that this application be granted subject to the following conditions:

1. Applicant/Owner must comply with all the Rules and Regulations of the Village of Freeport.
2. Applicant must obtain the required permits from the Building Department.

Second by: Ben Jackson

The Clerk polled the Board:

Member Mineo	In Favor
Member Jackson	In Favor
Member Hawkins	In Favor
Chairperson Rhoden	In Favor



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SITE PLAN: 662 Miller Ave., Freeport, NY 11520

FRONT OF HOUSE

- Board and Batton in IRONSTONE color (Dark grey)
- Existing roof- light grey
- Ground floor
 - Double door
 - Off White/beige composite with glass
 - White trim
 - Black hardware
 - Existing single car garage door with windows
 - White
 - White trim
- Second floor
 - 2 patio doors
 - white composite with glass
 - white trim
 - black hardware
 - Balcony- grey trek deck
 - railing- white vinyl railing with black balusters
 - All white trim for decking/balcony.
- Third floor
 - Existing vinyl windows
 - white trim
 - 2 sets of windows that are 3 attached (middle one does not open)

South side of house

- Regular horizontal vinyl siding floors 2-3 IRONSTONE
 - No siding on ground floor- concrete FEMA compliant foundation
- Ground floor-
 - 1 double hung window
 - Staircase base leading to second floor
 - Staircase is grey trek deck
 - Staircase railing- white vinyl railing with black balusters
- Second floor
 - 1 double hung window
 - White trim
 - 1 Circular glass window
 - White trim
 - Staircase entrance to second floor
 - Staircase is grey trek deck
 - Staircase railing- white vinyl railing with black balusters
 - 1 Patio Door

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VILLAGE OF FREEPORT, NY

- White composite with glass
 - White trim
 - Black hardware
- Electric Meter
- Third floor
 - 4 Existing windows
 - White trim
 - 2 single windows and 1 double window

Back of house

- Regular horizontal vinyl siding floors 2-3 IRONSTONE
 - No siding on ground floor- concrete FEMA compliant foundation
- Ground floor-
 - Sliding door
 - White sliding patio door
 - White trim
 - Black hardware
 - Staircase entrance to second floor
 - Staircase is grey trek deck
 - Staircase railing- white vinyl railing with black balusters
- Second Floor
 - Deck
 - grey trek deck
 - railing- white vinyl railing with black balusters
 - All white trim for decking
 - Staircase to third floor
 - Staircase is grey trek deck
 - Staircase railing- white vinyl railing with black balusters
 - 2 Sliding doors
 - White sliding patio door
 - White trim
 - Black hardware
- Third floor
 - Balcony- grey trek deck
 - railing- white vinyl railing with black balusters
 - All white trim for decking/balcony.
 - Existing Patio door
 - White door
 - Small glass window
 - White trim
 - Existing 2 double hung windows
 - White trim

North side of house

- Regular horizontal vinyl siding floors 2-3 IRONSTONE

-
- No siding on ground floor- concrete FEMA compliant foundation
 - First floor
 - 2 double hung windows
 - White trim
 - Second Floor
 - 3 Double hung windows
 - White trim
 - Third floor
 - 5 existing double hung windows
 - White trim

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VILLAGE OF FINE POINT, NY

2023 OCT 24 A 10:24

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662 Miller Ave, Freeport, NY 11520

VILLAGE OF FREEPORT, NY
CLERK'S OFFICE

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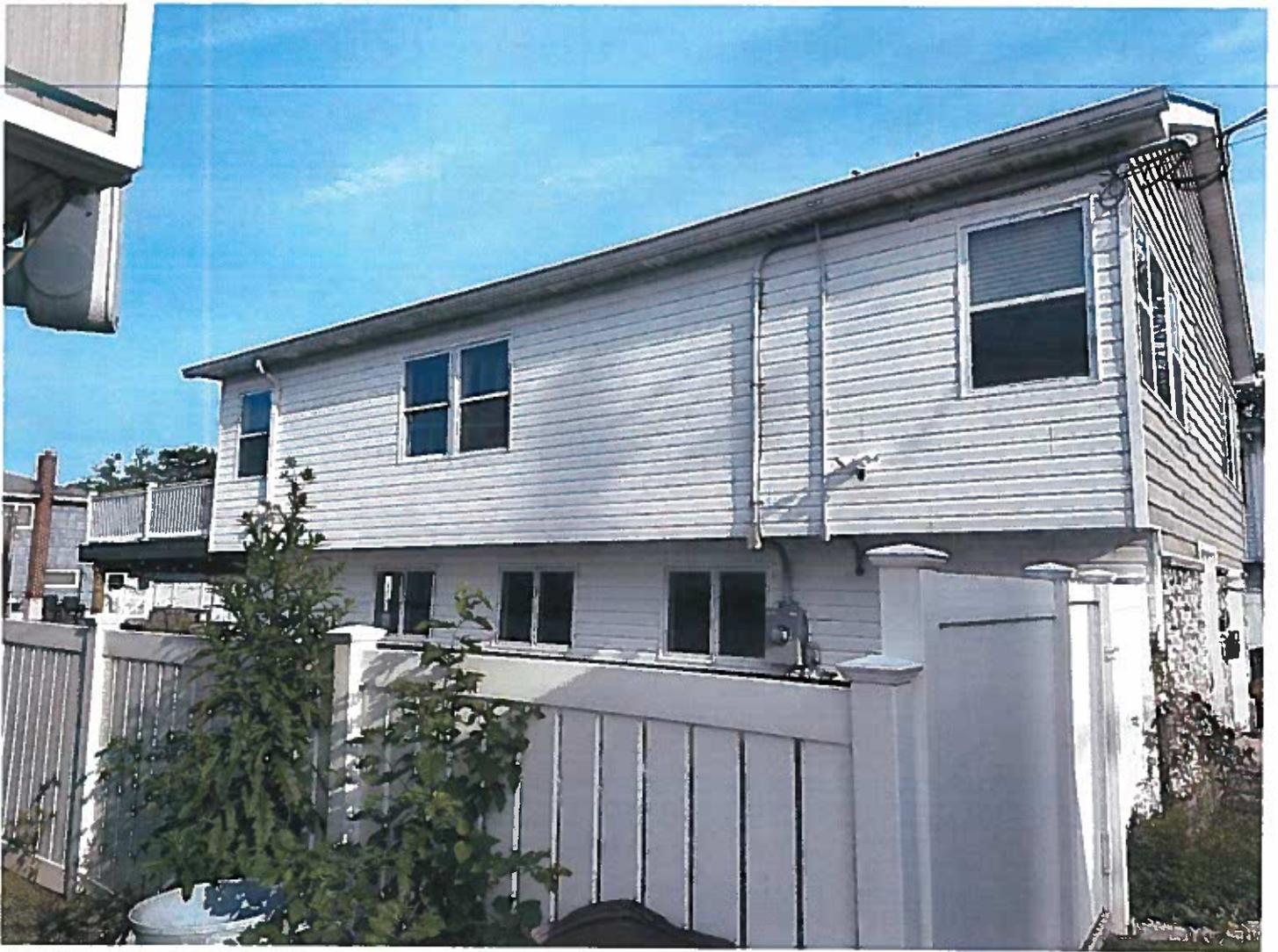
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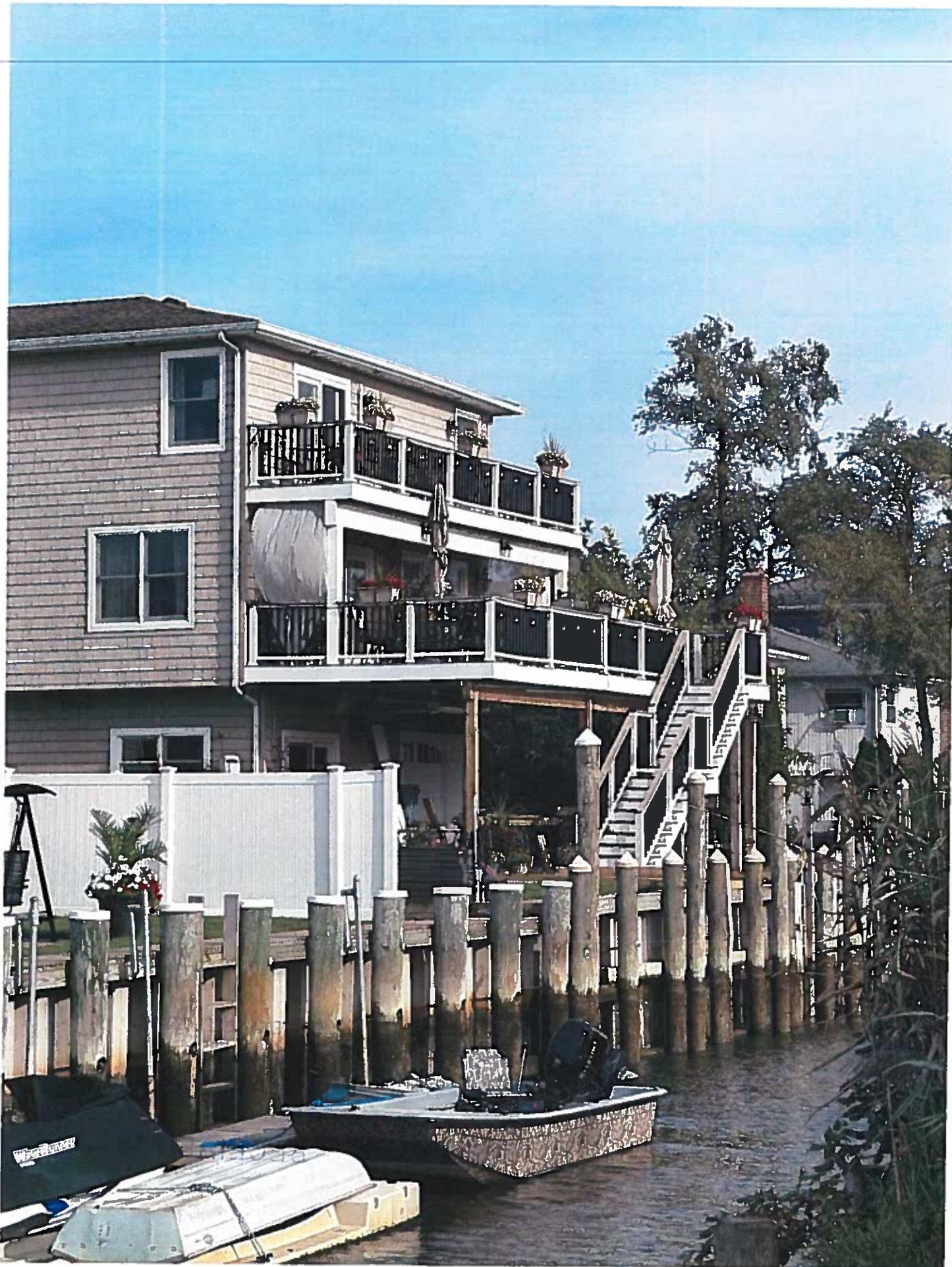
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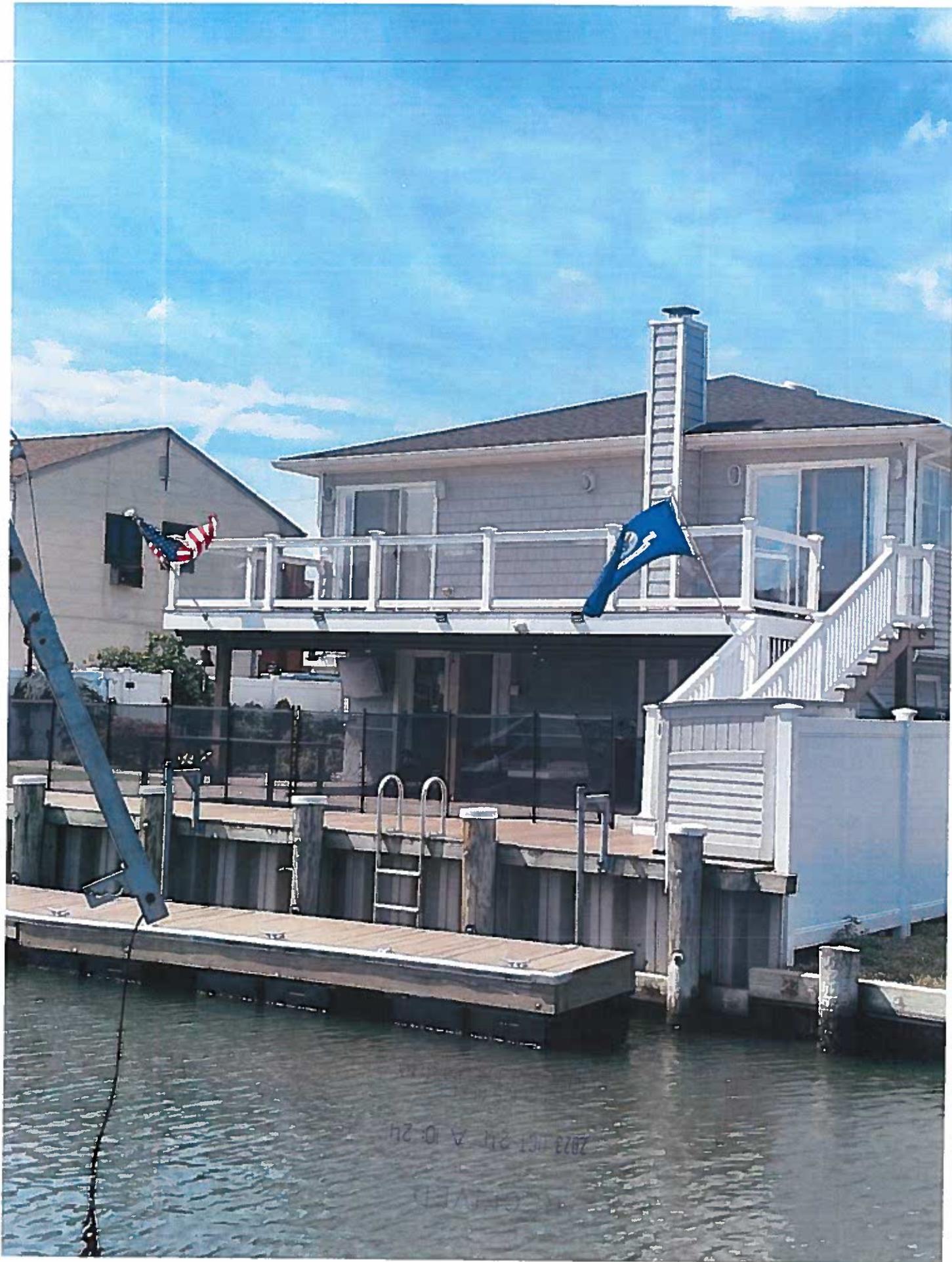


VILLAGE OF FALLS CHURCH, VA
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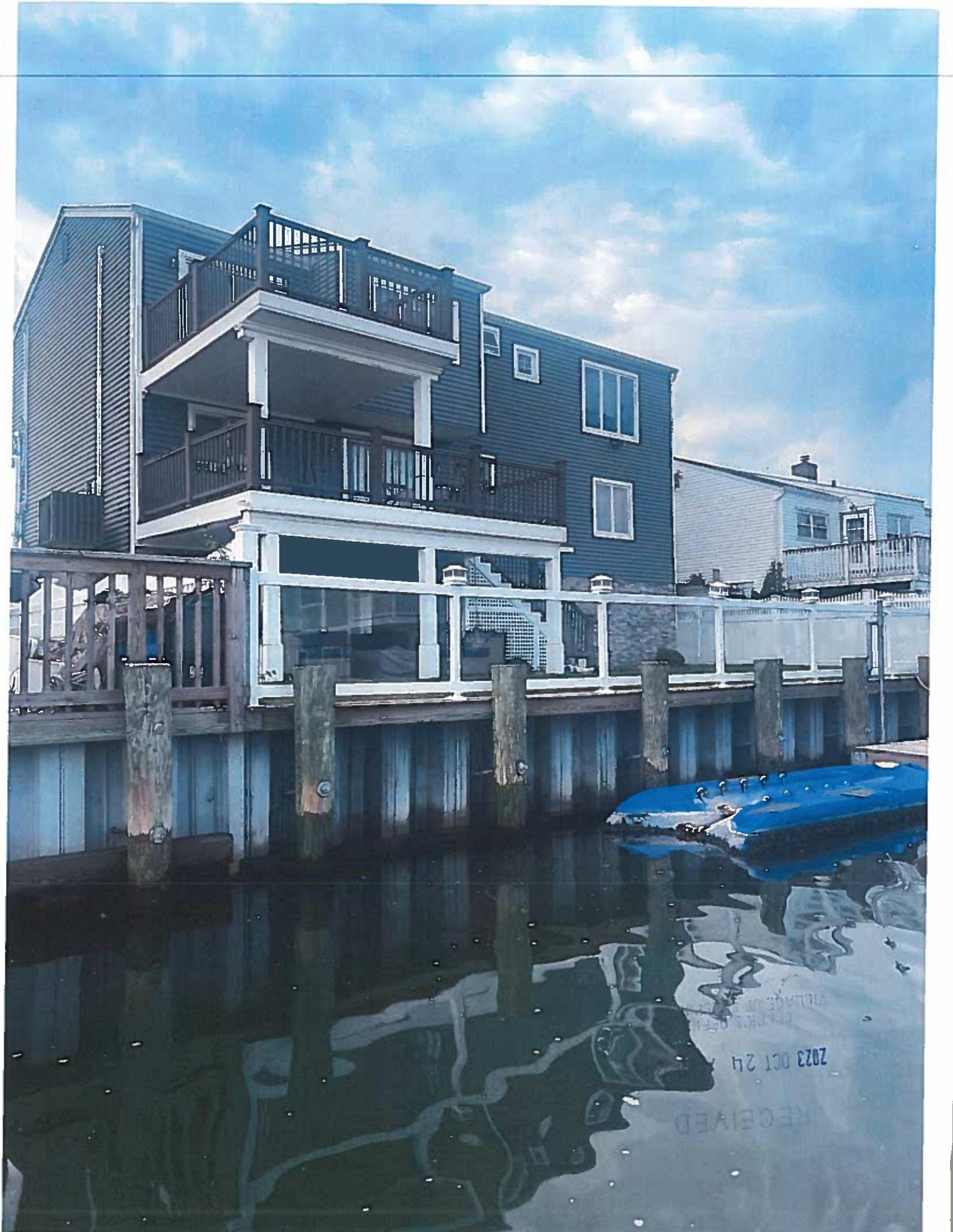
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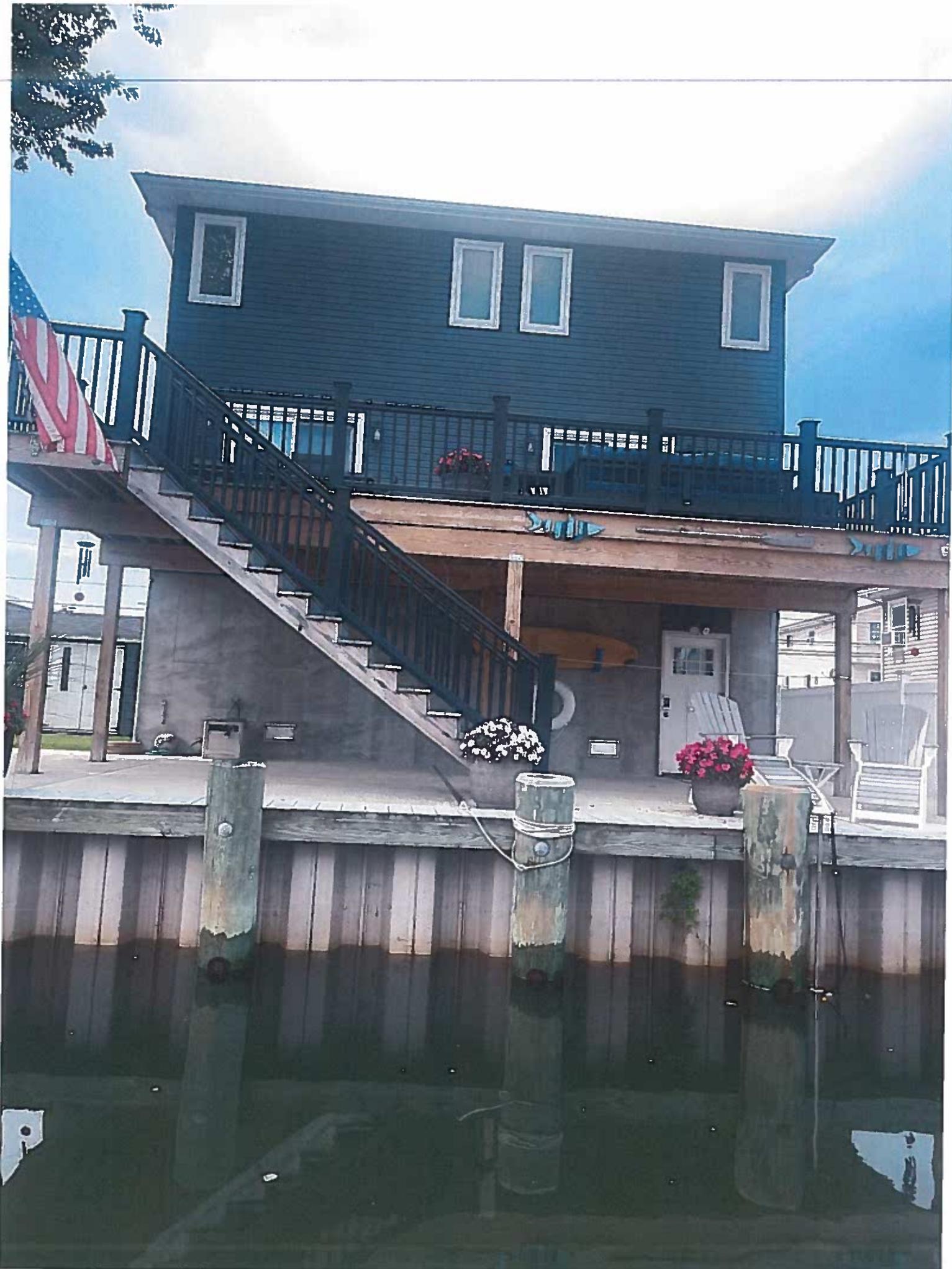


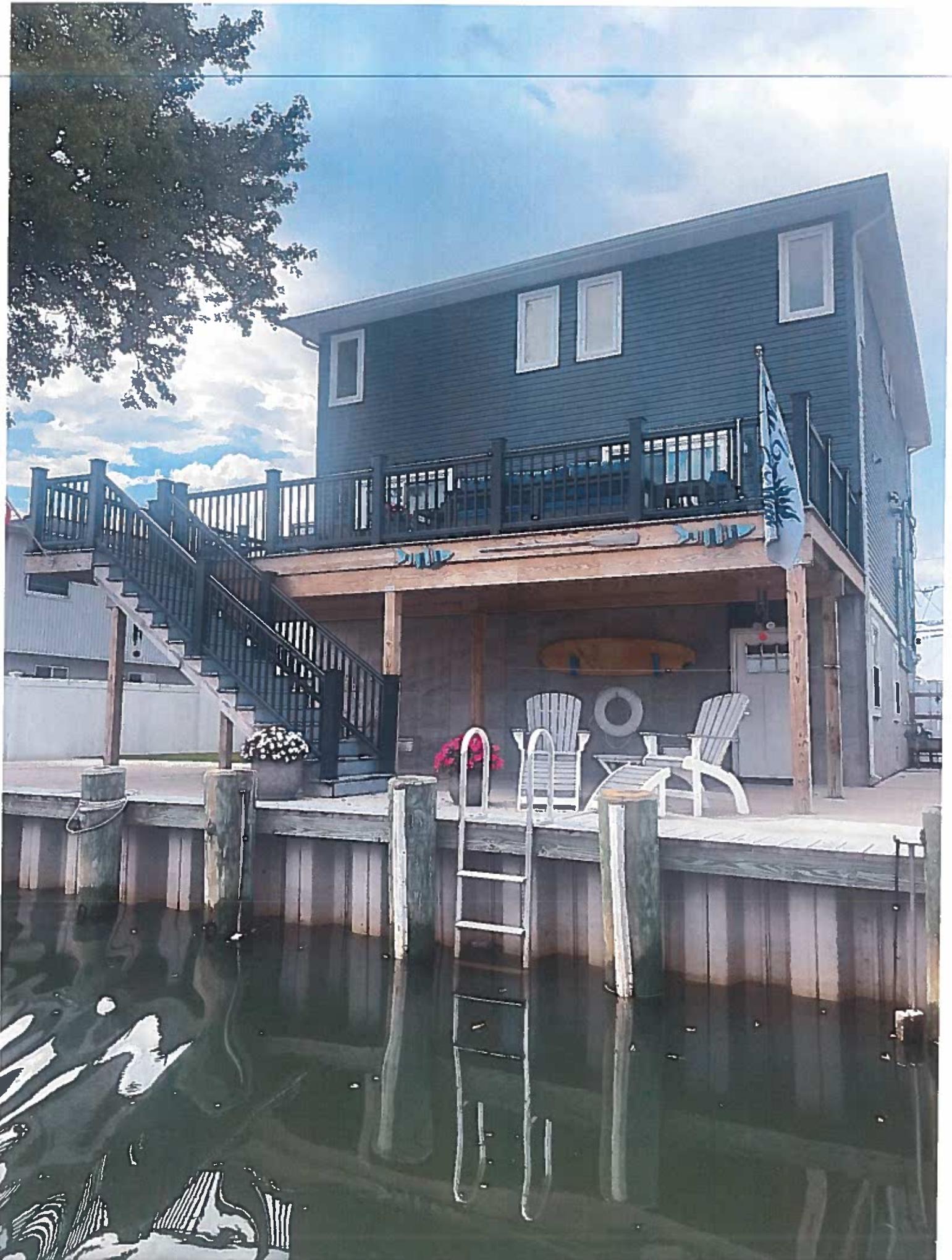
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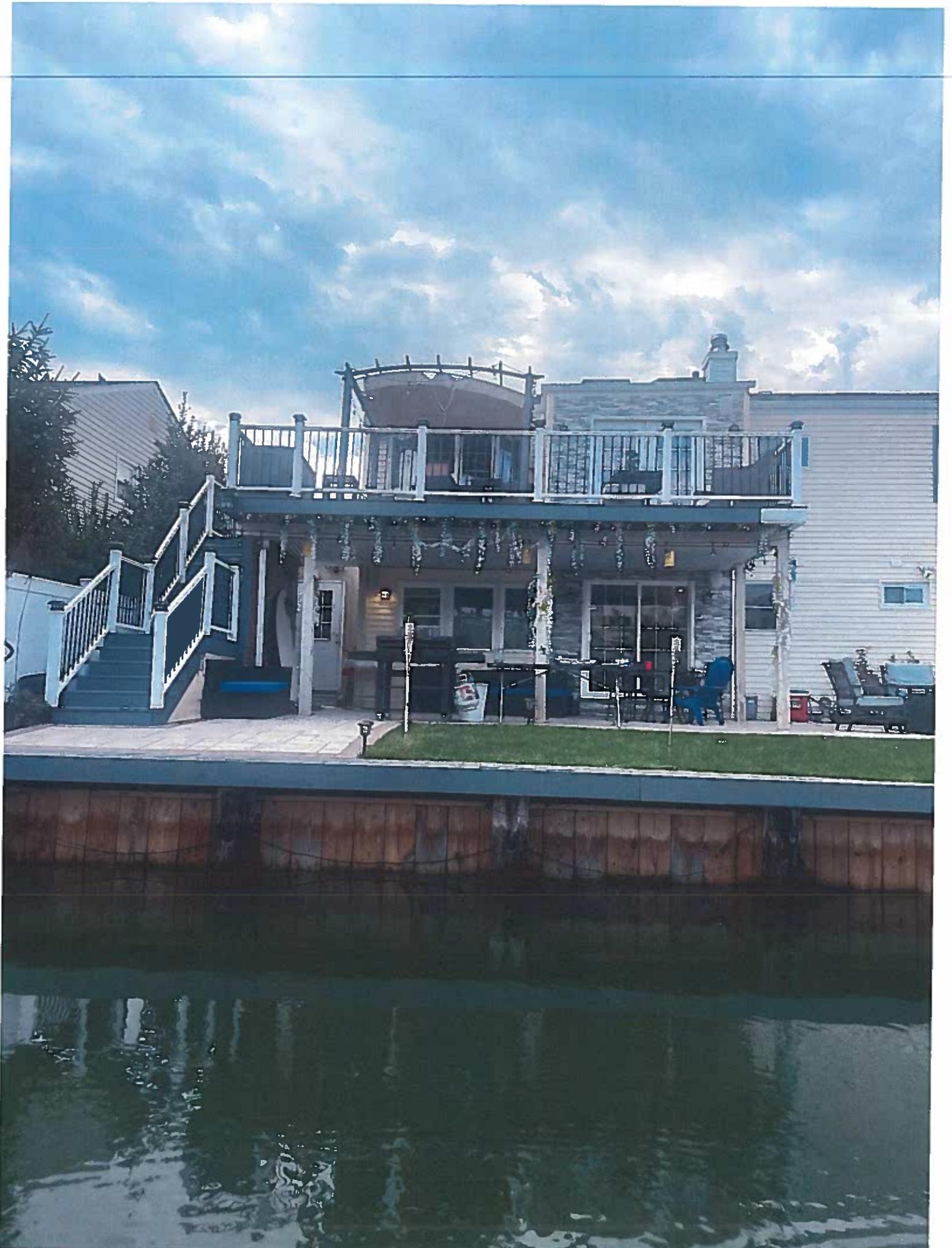
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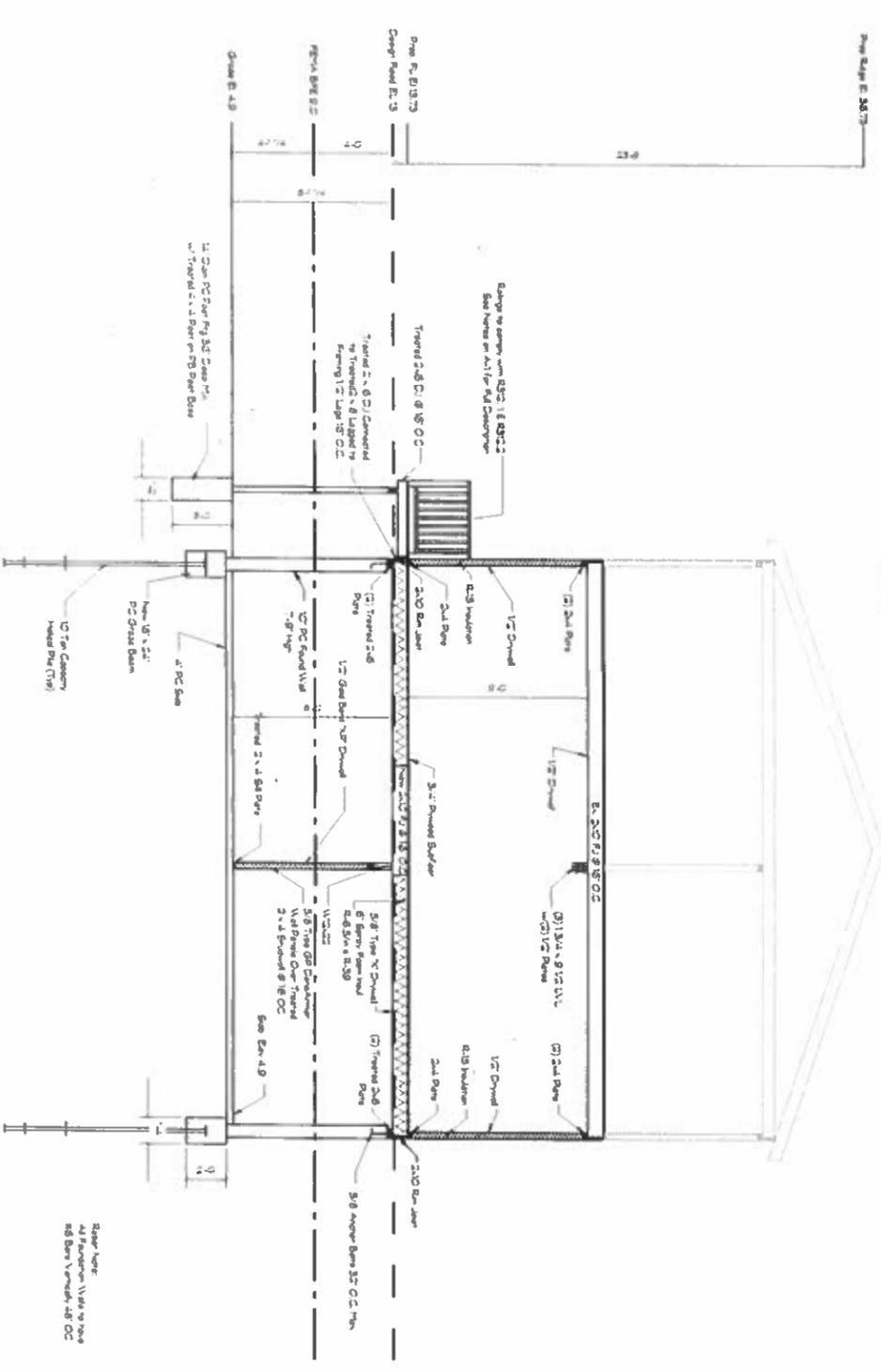
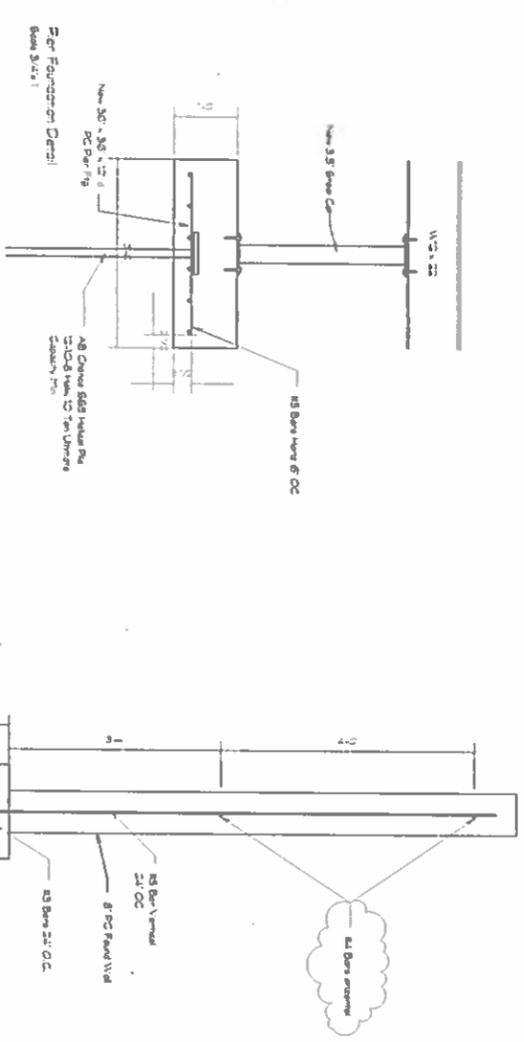
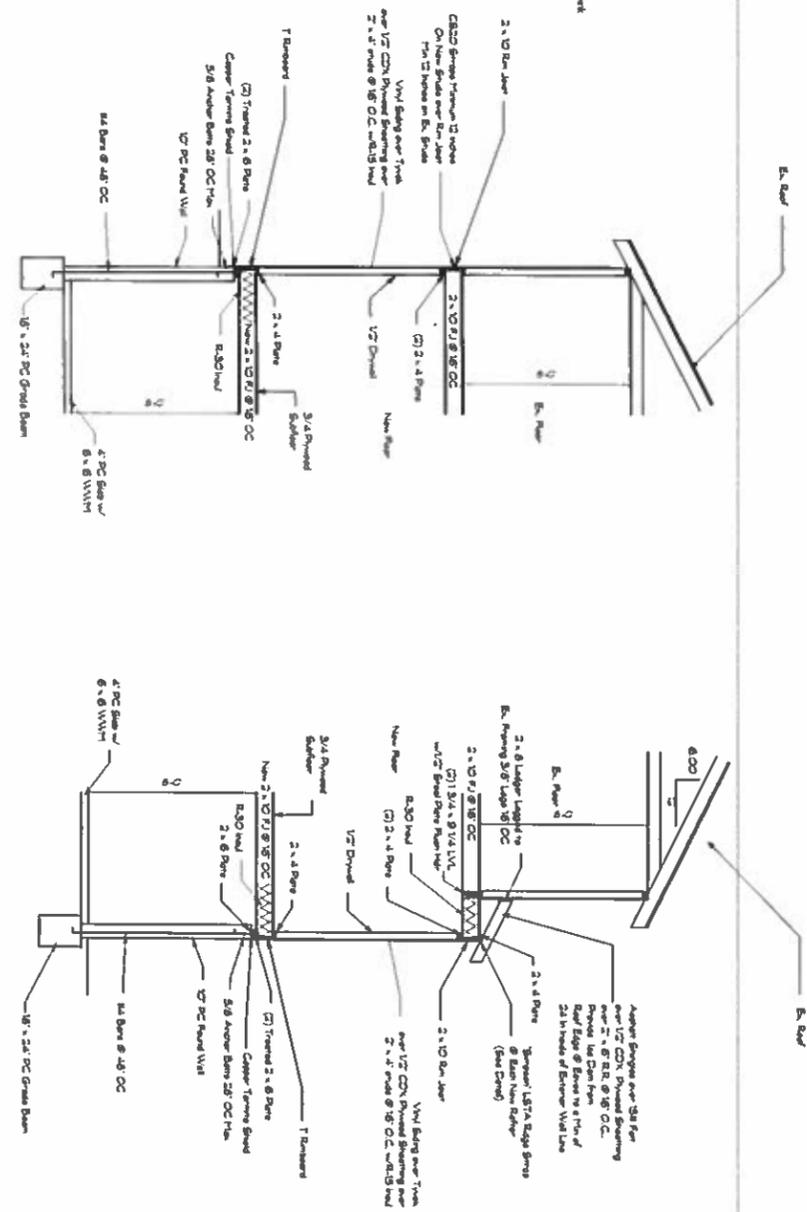
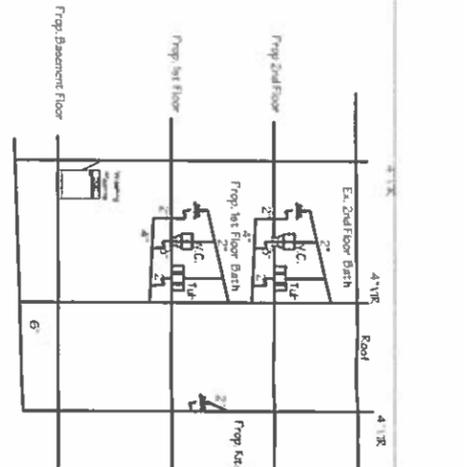
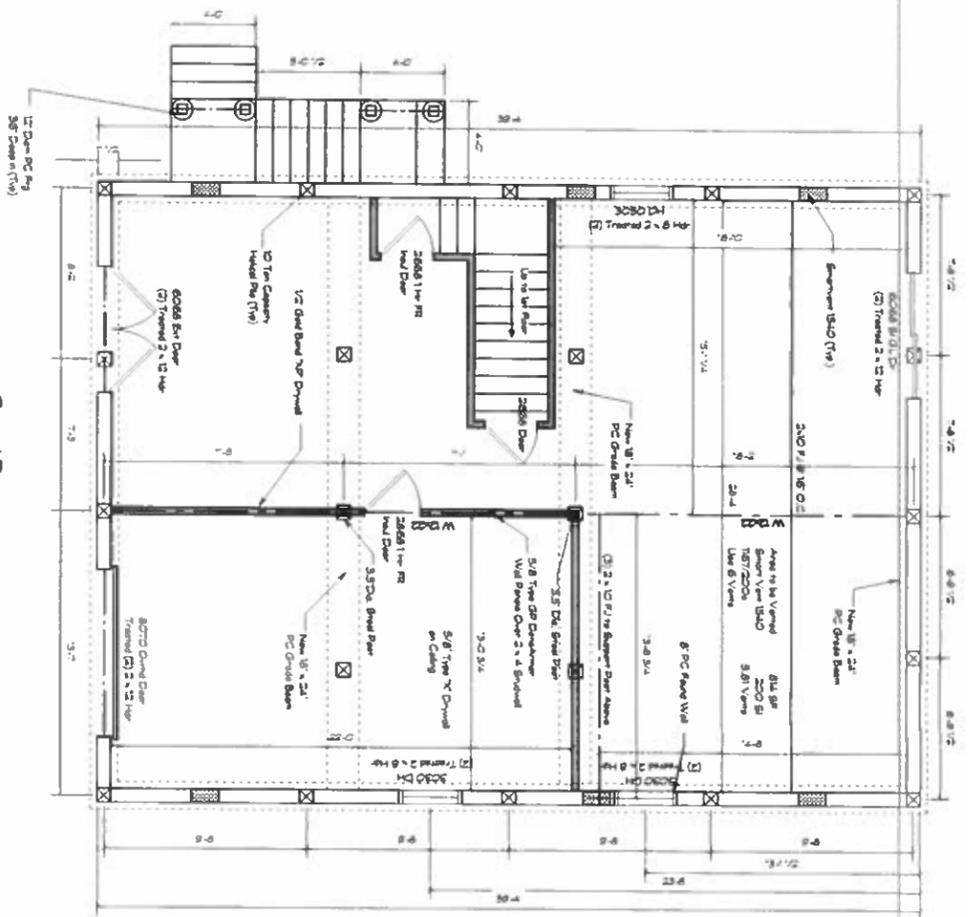


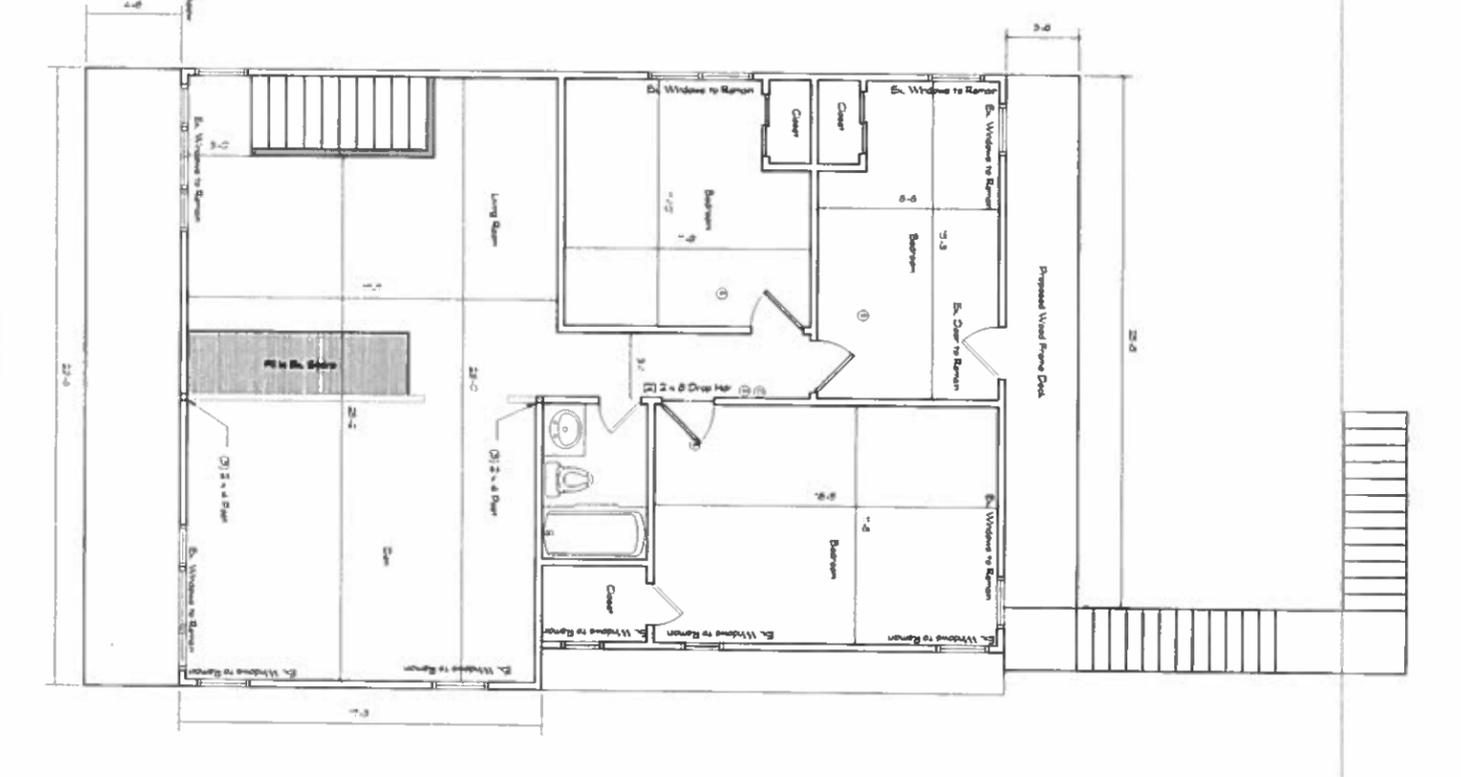
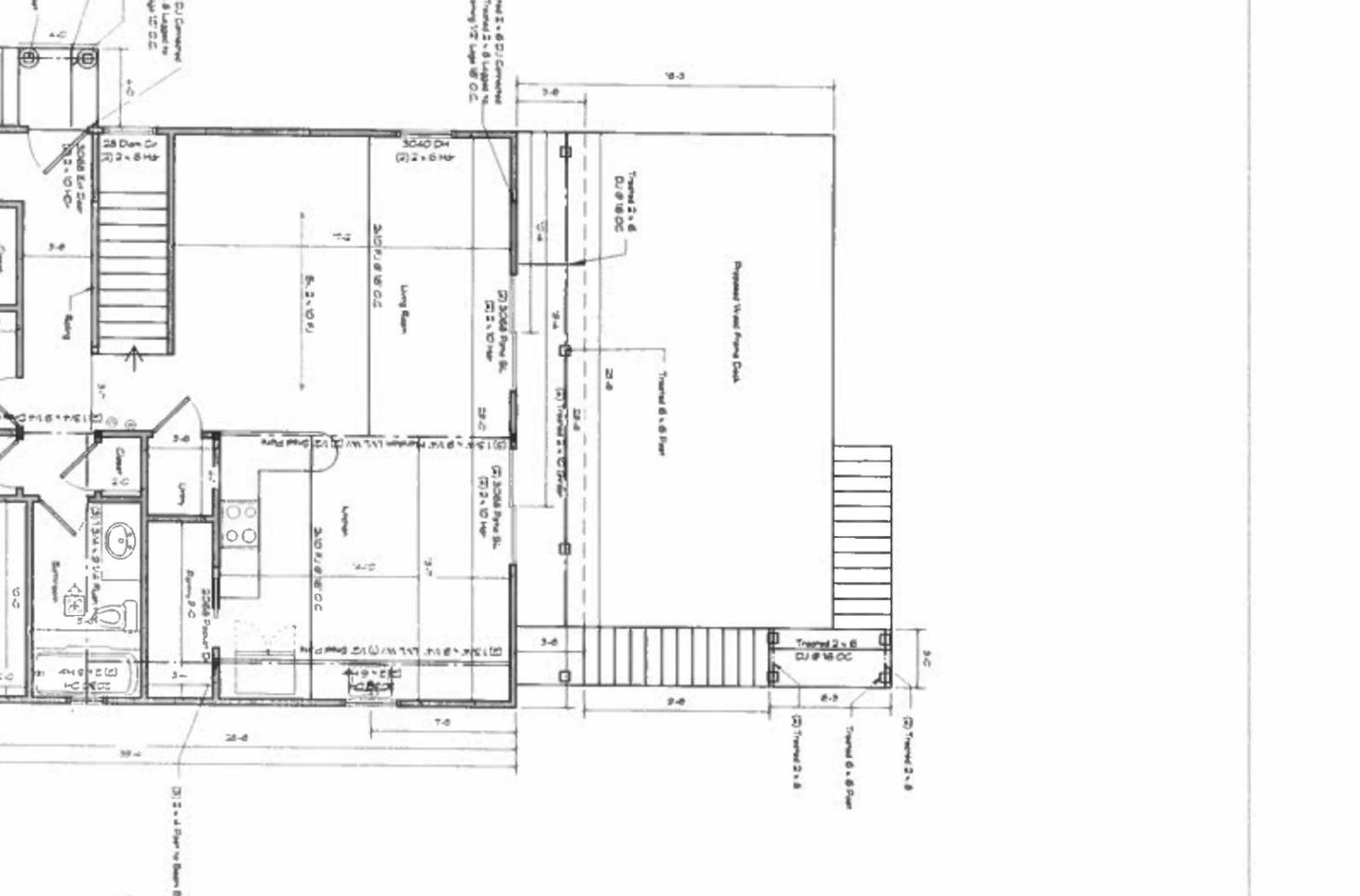
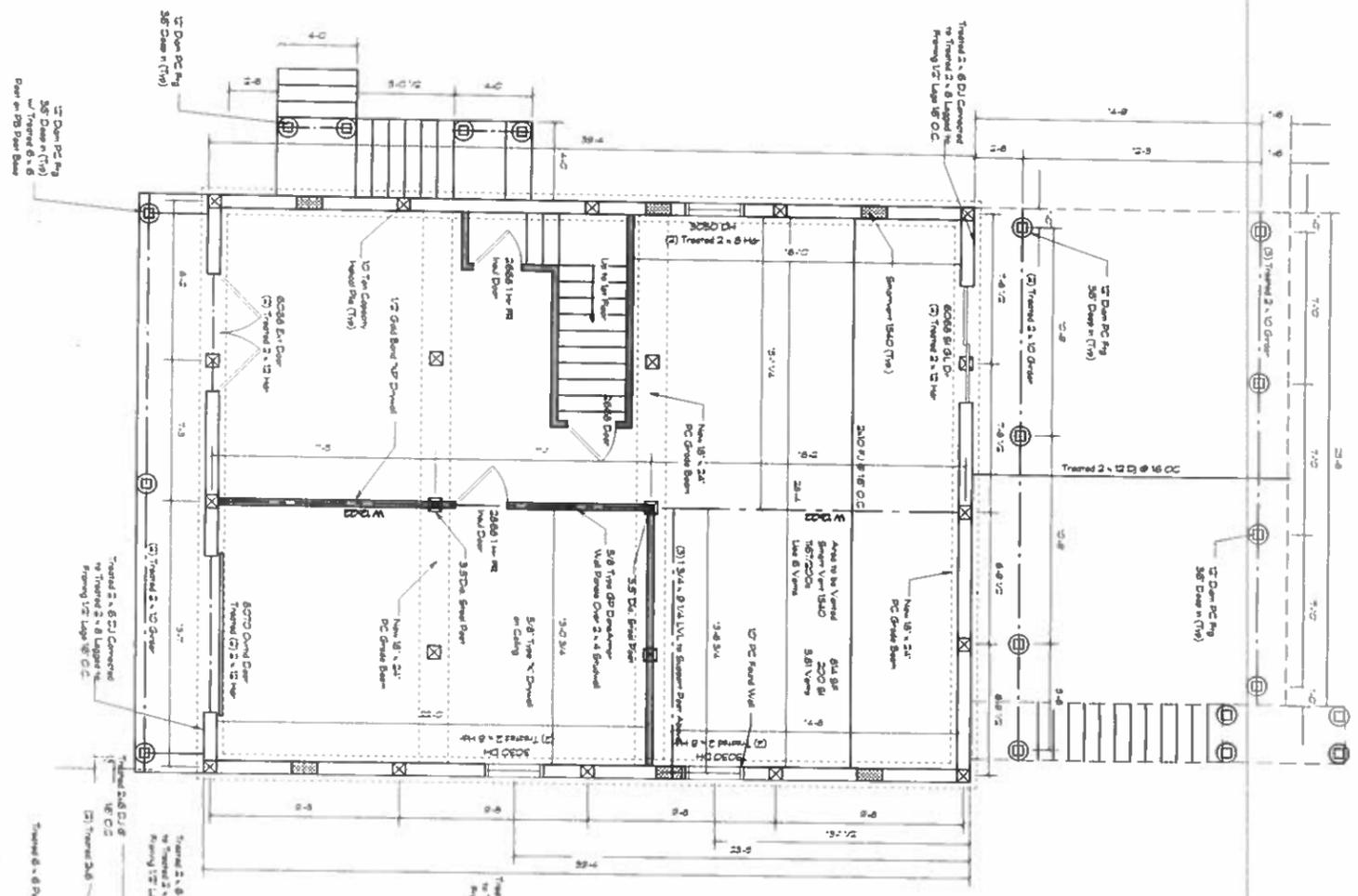
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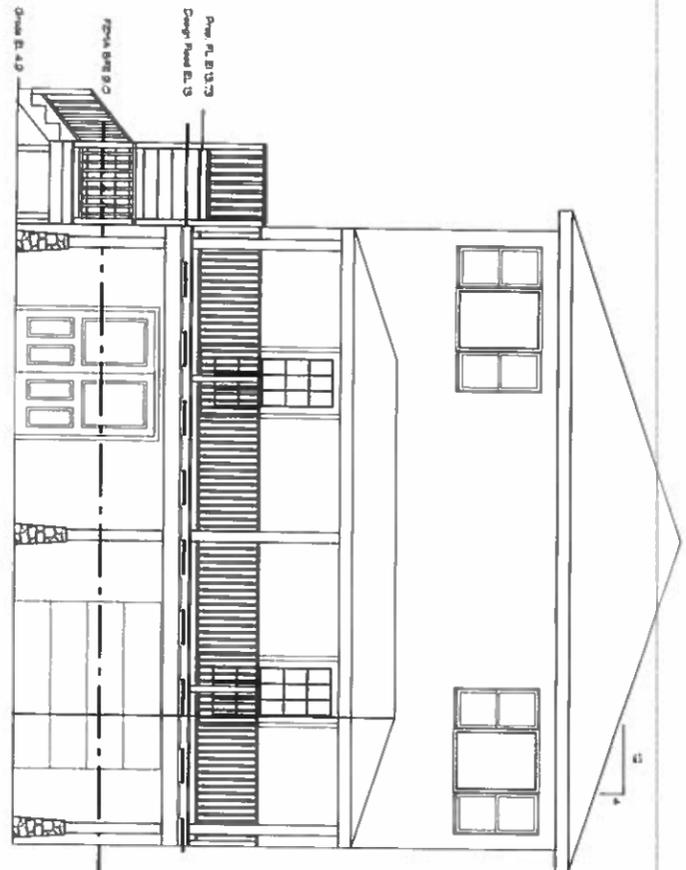




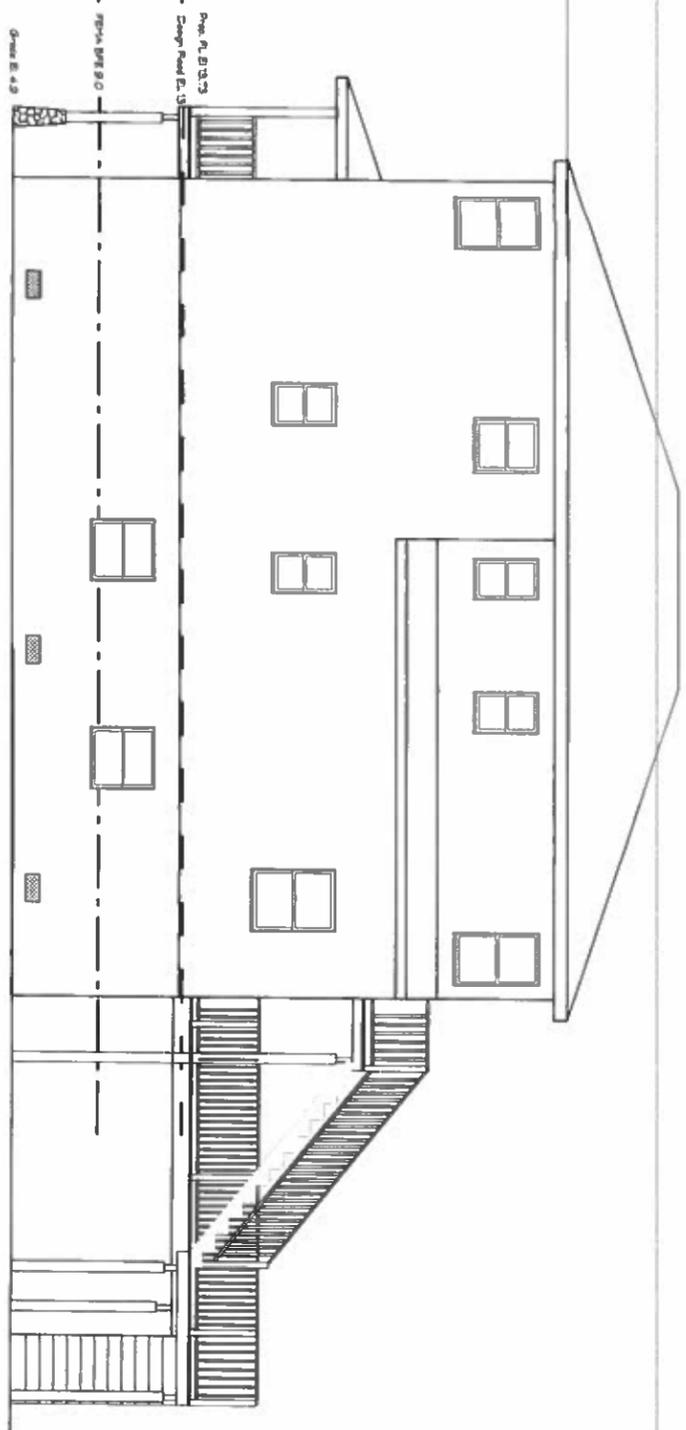




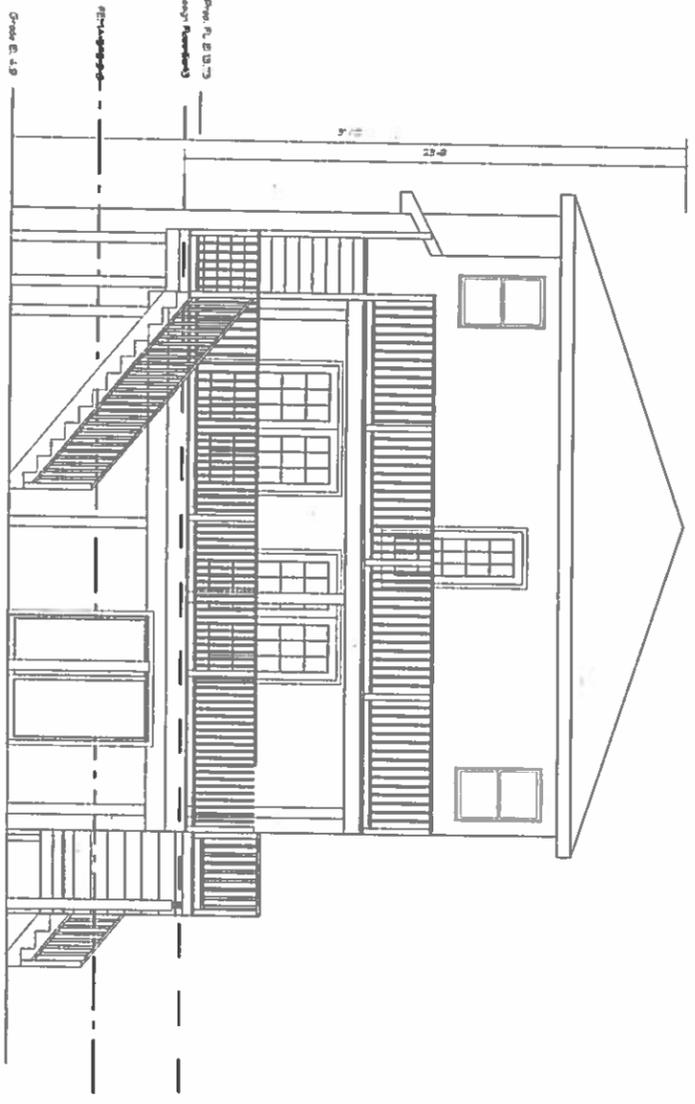
A-3 FLOOR PLANS DWG. NO.		FILE NO: 23-17 CAD DWG FILE: P:\a3\17 DWG DATE: 3/4/23 DRAWN BY: LGS CHECKED BY: LGS	REVISIONS: 1. Change of 1 report Comments 2. Change of 1 report Comments 9, 6, 23 3. Change of 1 report Comments 10, 12, 23	DESCRIPTION: HOUSE RAISING & ADDITION RANALDO RESIDENCE 662 MILLER AVE VILLAGE OF FREEPORT	CONSULTANTS: 7 RIDGEWOOD ST BAY SHORE, NY 11706 (631) 839-1824
		SCALE: 1/4" = 1' DATE: 3/4/23		PROJECT NO:	SHEET NO:
		DRAWING NO:		TOTAL SHEETS:	SHEET NO:
		PAGE 4 OF 9		TOTAL SHEETS:	SHEET NO:



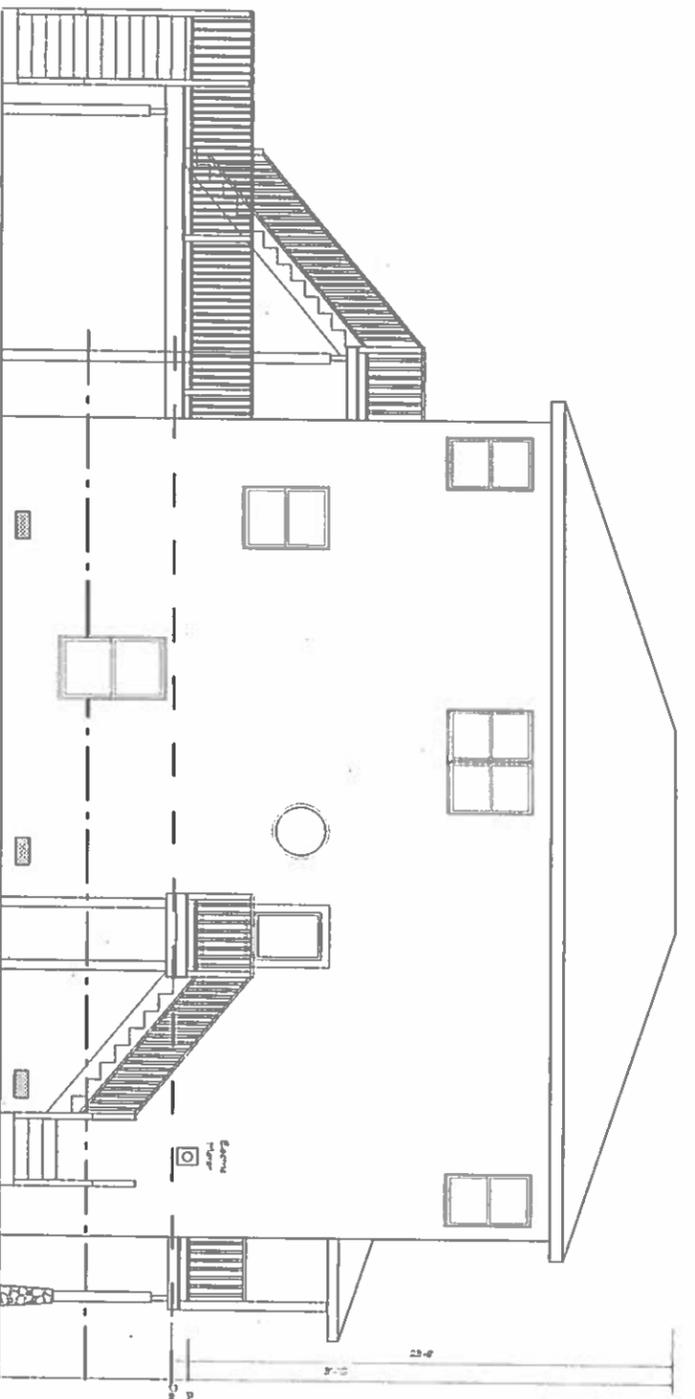
Front Elevation



Right Elevation

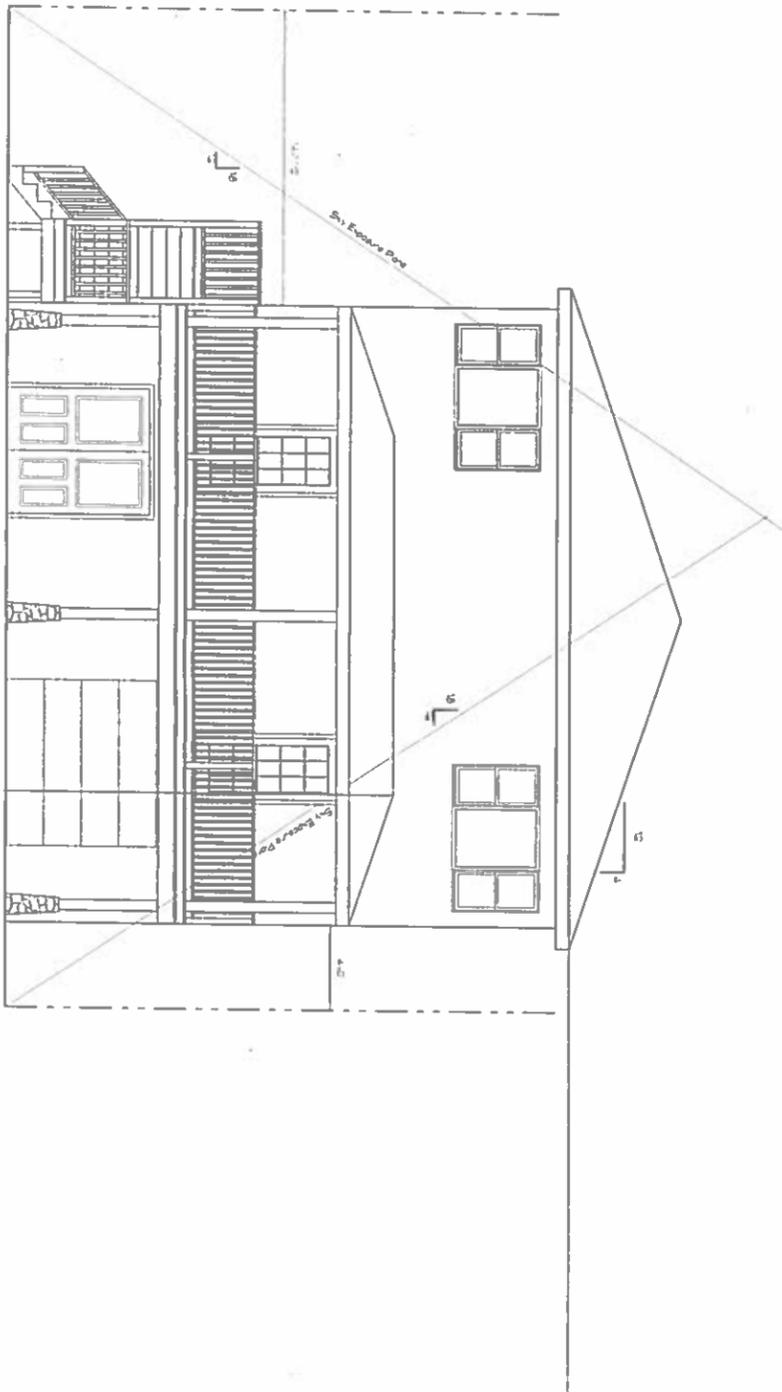


Rear Elevation

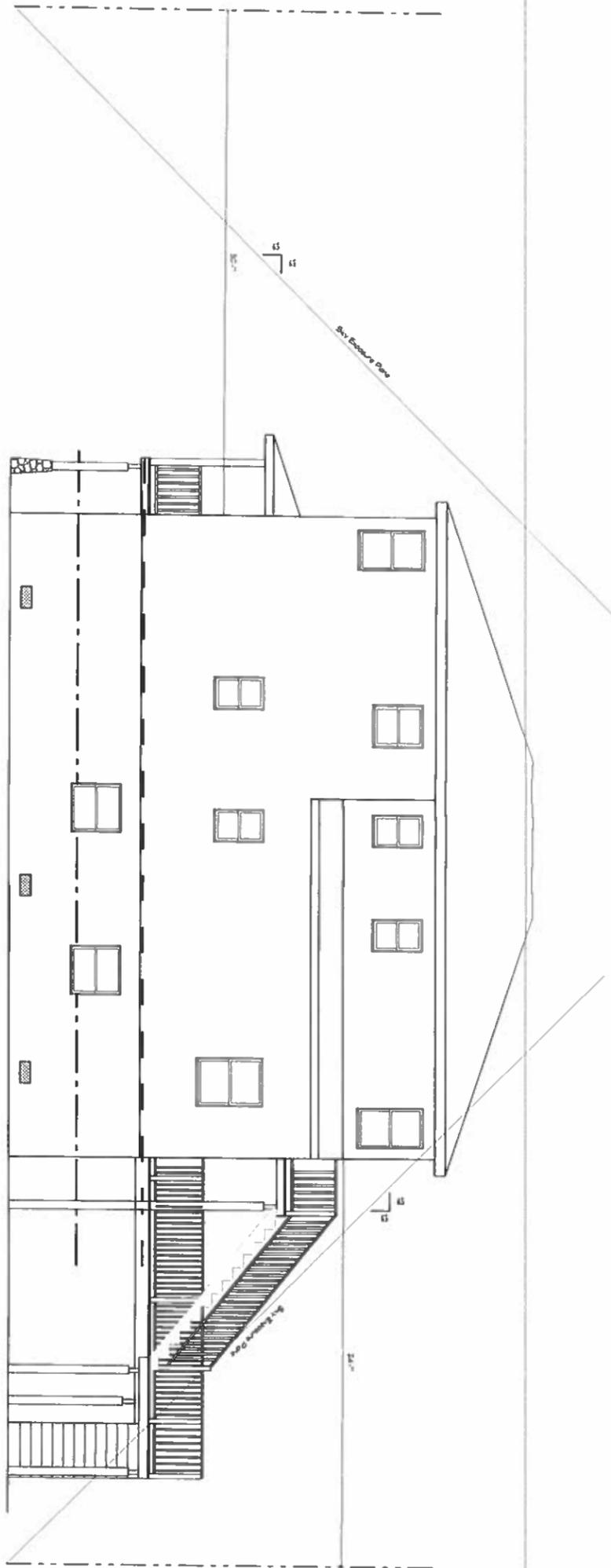


Left Elevation

	FILE NO 23 17	REVISIONS	DESCRIPTION HOUSE RAISING & ADDITION RANALDO RESIDENCE 662 MILLER AVE VILLAGE OF FREEPORT	CONSULTANTS 7 RIDGEWOOD ST BAY SHORE, NY 11706 (631) 839-4824
	CAD DWG FILE Panaldo.rvt	1. (Ray of Report Comments)		
	DWG DATE 3/4/23	2. (Ray of Report Comments) 0 6 23		
	DRAWN BY LGS	3. (Ray of Report Comments) 10 12 23		
SCALE 1/4" = 1'	CHK'D BY LGS			

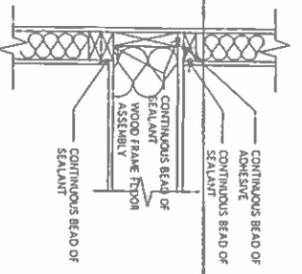


Side Yards
Sky Elevation Analysis

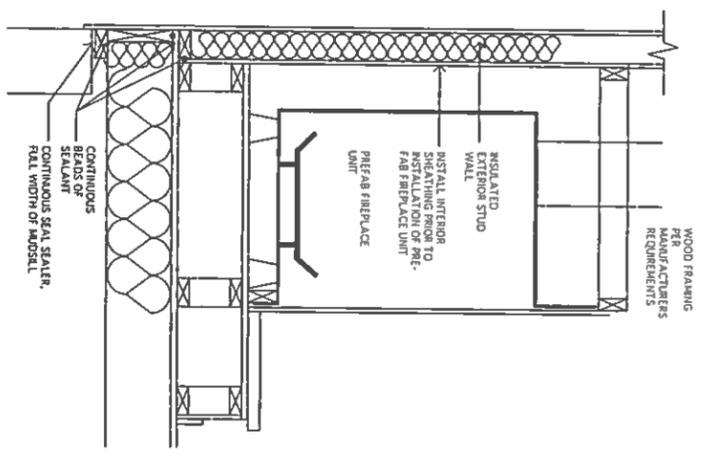


Right Elevation

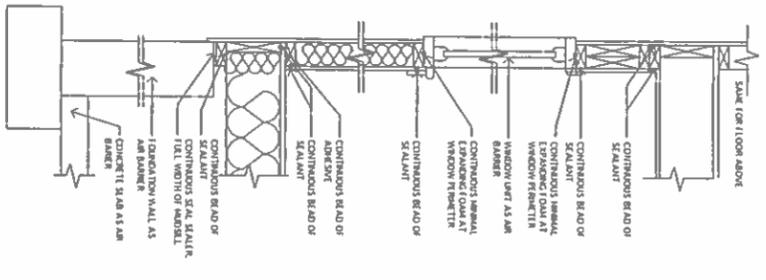
DWG. NO. A-5 SKY PLANE DWG. NAME:	FILE NO: 23-17 CAD DWG FILE: Paraleto.rvt DWG DATE: 3/4/23 DRAWN BY: LGS CHK'D BY: LGS	REVISIONS: Village of Freeport Comments Village of Freeport Comments 9, 6, 23 Village of Freeport Comments 10, 12, 23	DESCRIPTION: HOUSE RAISING & ADDITION RANALDO RESIDENCE 662 MILLER AVE VILLAGE OF FREEPORT	CONSULTANTS:  7 RIDGEWOOD ST BAY SHORE, NY 11706 (631) 839-4824
		SCALE: 1/4" = 1'		



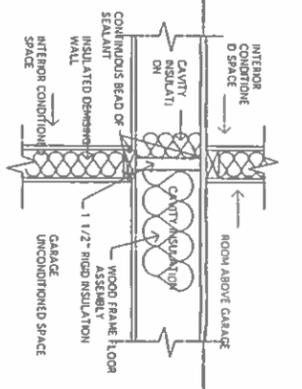
AIR SEALING @ UPPER FLOOR RIM JOIST



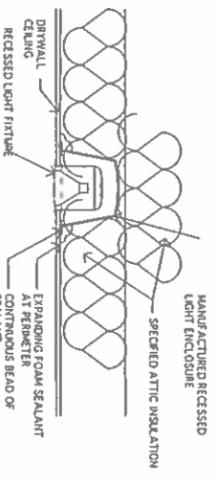
AIR SEALING @ PRE-FAB FIREPLACE PLATFORM



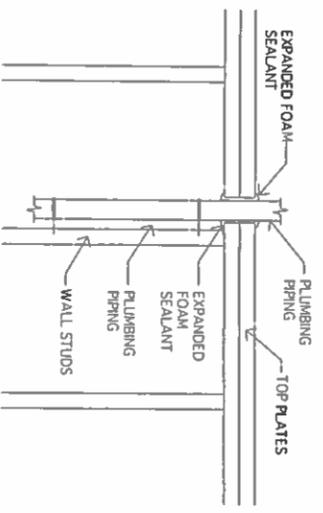
AIR SEALING @ EXTERIOR WALL



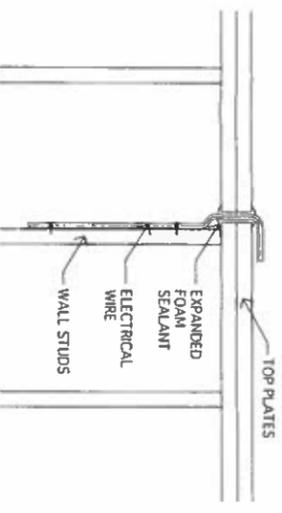
AIR SEALING @ UPPER FLOOR RIM JOIST



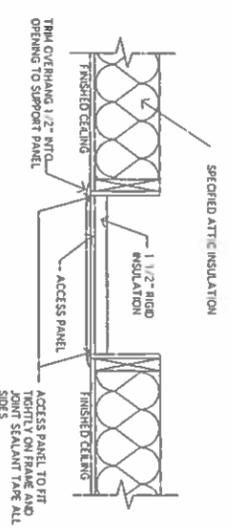
AIR SEALING @ ATTIC RECESSED LIGHTING



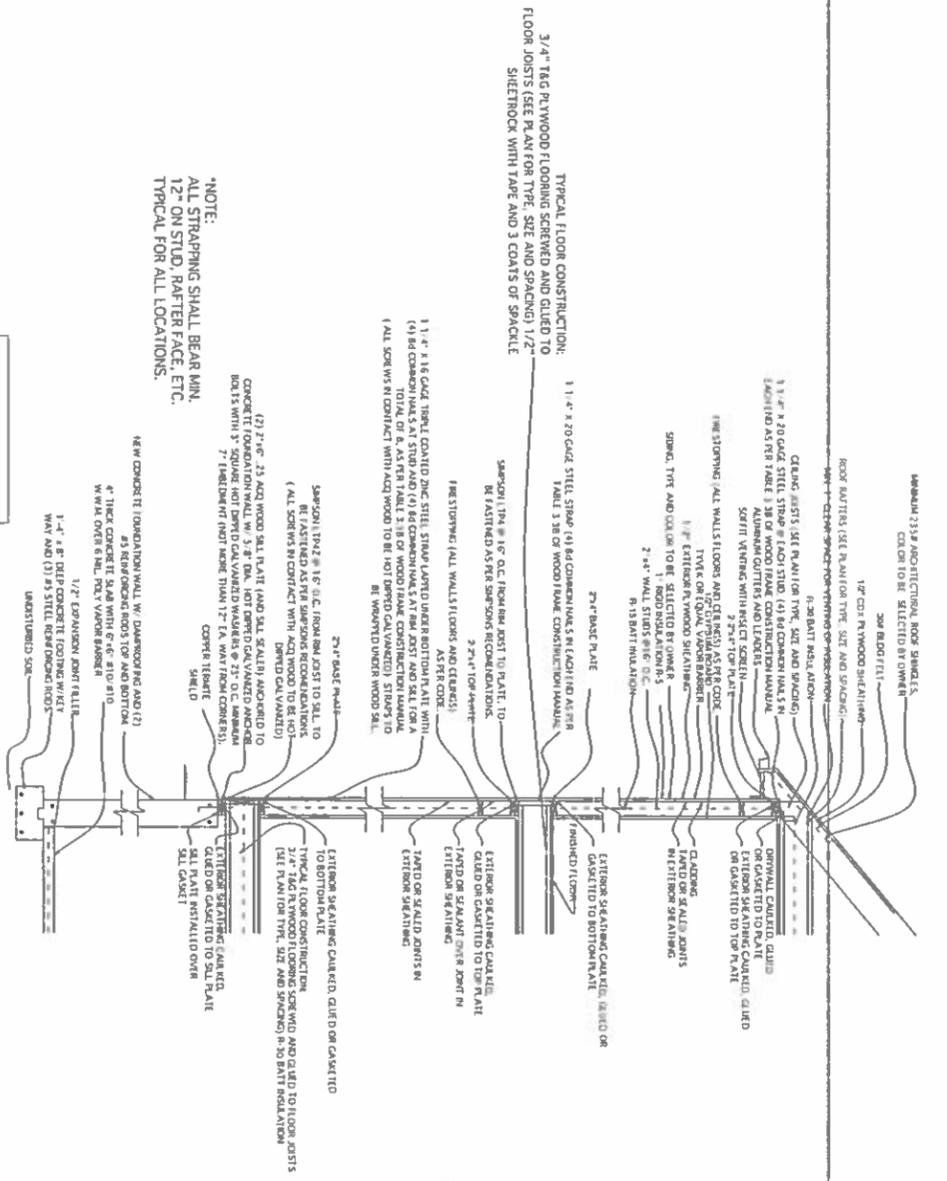
AIR SEALING @ TOP PLATE PLUMBING PENETRATION



AIR SEALING @ PLATE ELECTRICAL PENETRATION



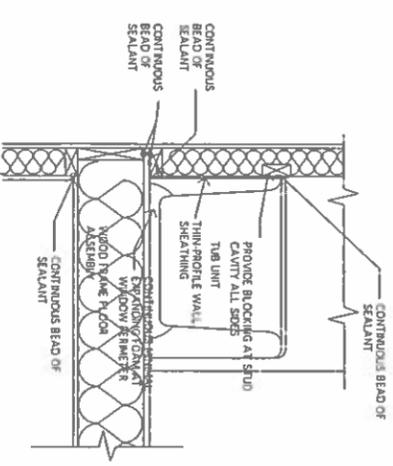
AIR SEALING @ ATTIC HATCH



TYPICAL WALL SECTION AND FLOW RETARDER DETAIL

NOTE:
SHADE COMPONENTS DESIGNATED AIR FLOW RETARDER SYSTEM.

SCALE: 3/8"=1'-0"



AIR SEALING BEHIND TUB

Application Date: 11/9/2023
Fees Paid: \$325.00

SP# 3681

INCORPORATED VILLAGE OF FREEPORT
SITE PLAN REVIEW APPLICATION
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 122 Westside Ave ZONING DISTRICT Res A
SECTION 62 BLOCK 139 LOT 10 LOT SIZE: _____

<input type="checkbox"/> TENANT <u>APPLICANT</u> <input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>Carlos Pichardo</u>	Name: <u>Gilda Camacho</u>
Address: <u>1538 Plimpton Ave</u> <u>Brox NY 10452</u>	Address: <u>122 Westside Ave</u> <u>Freeport NY 11520</u>
Telephone #: <u>(646) 804-3663</u>	Telephone #: <u>347 543 1332</u>

Attorney Name: _____ Address: _____
(optional) Phone #: _____

Present Land Use: Residential Proposed Land Use: Residential

Description of Proposed Work: Rebuilt garage at it Exist'g
Location; Garage was damage due to Fire

I request a preliminary meeting: _____ YES NO

I request a waiver of the public hearing and hereby certify the following:
A. The subject property is zoned Residence A or Residence AA.
B. The proposed construction is not a new building or dwelling.
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.

_____ YES NO
11/9/23 DATE

Sworn to before me this 9 day of NOV, 2023
[Signature]
Notary Public

DAVID PUCA
Notary Public, State of New York
No. 01PU6434970
Qualified in Nassau County
Commission Expires on 6/21/26

Property Owner's Consent: I, _____ am (are) the owner(s) of the subject property and consent to the filing of this application.

[Signature] _____
PROPERTY OWNER'S SIGNATURE 11/9/2023 DATE

Sworn to before me this 7 day of November, 2023.
[Signature]
Notary Public
Mirna Araujo
Notary Public, State of New York
No. 01AR6107534
Qualified in Nassau County
Commission Expires on April 5, 2024

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: _____ YES _____ NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	Approved _____ Denied _____ Date: _____
Planning Board Signature: _____	Date: _____

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CLERK'S OFFICE



INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE

FREEPORT, NEW YORK 11520

(516) 377-2242

FAX (516) 377-2493

ROBERT T. KENNEDY
MAYOR

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

AMENDED SITE PLAN LETTER

October 13, 2023

Gilda Camacho
122 Westside Ave
Freeport, NY 11520

RE: 122 Westside Avenue, Freeport, NY 11520
Zoning District: Res A Sec 62, Blk 139, Lot 10
Building Permit Application #20233231
Description: Rebuild existing garage due to a fire damage.

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the **Village Clerk's Office at 516-377-3632** to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the **VILLAGE CLERK'S OFFICE** at 377-2300.

Very truly yours,

Sergio A. Mauras
Superintendent of Buildings
/Daniela Hernandez

c: Village Clerk

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VILLAGE OF FREEPORT, NY

ZBA Approval Needed: Yes__ No_X_

617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project:			
Project Location (describe, and attach a location map): 122 Westside Ave			
Brief Description of Proposed Action: Rebuild existing garage due to fire damage		<div style="border: 1px solid black; padding: 5px; width: fit-content; margin: auto;"> <p style="margin: 0;">RECEIVED</p> <p style="margin: 0;">APR 12 2023</p> <p style="margin: 0;">FREEPORT BUILDING DEPT.</p> </div>	
Name of Applicant or Sponsor:		Telephone:	
		E-Mail:	
Address:			
City/PO:		State:	Zip Code:
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO	YES
		P	Y
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:		NO	YES
3.a. Total acreage of the site of the proposed action?		_____ acres	
b. Total acreage to be physically disturbed?		_____ acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			

<p>5. Is the proposed action,</p> <p>a. A permitted use under the zoning regulations?</p> <p>b. Consistent with the adopted comprehensive plan?</p>	<p>NO</p> <p><input type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>	<p>N/A</p> <p><input type="checkbox"/></p>
<p>6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?</p>	<p>NO</p> <p><input type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>	
<p>7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____</p>	<p>NO</p> <p><input type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>	
<p>8. a. Will the proposed action result in a substantial increase in traffic above present levels?</p> <p>b. Are public transportation service(s) available at or near the site of the proposed action?</p> <p>c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?</p>	<p>NO</p> <p><input type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>	
<p>9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____</p>	<p>NO</p> <p><input type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>	
<p>10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing potable water: _____</p>	<p>NO</p> <p><input type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>	
<p>11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____</p>	<p>NO</p> <p><input type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>	
<p>12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places? b. Is the proposed action located in an archeological sensitive area?</p>	<p>NO</p> <p><input type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>	
<p>13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____</p>	<p>NO</p> <p><input type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>	
<p>14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban</p>			
<p>15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?</p>	<p>NO</p> <p><input type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>	
<p>16. Is the project site located in the 100 year flood plain?</p>	<p>NO</p> <p><input type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>	
<p>17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ <input type="checkbox"/> NO <input type="checkbox"/> YES</p>	<p>NO</p> <p><input type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>	

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18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	<input type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	<input type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	<input type="checkbox"/>	<input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>210 Jimmie Mejia</u>	Date: <u>04/12/2023</u>	
Signature: <u>[Signature]</u>		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

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	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

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APR 12 2023
FREEPORT BUILDING DEPT.

2023 NOV - 9 P 2:51
PLANNING'S OFFICE
VILLAGE OF FREEPORT, NY
RECEIVED

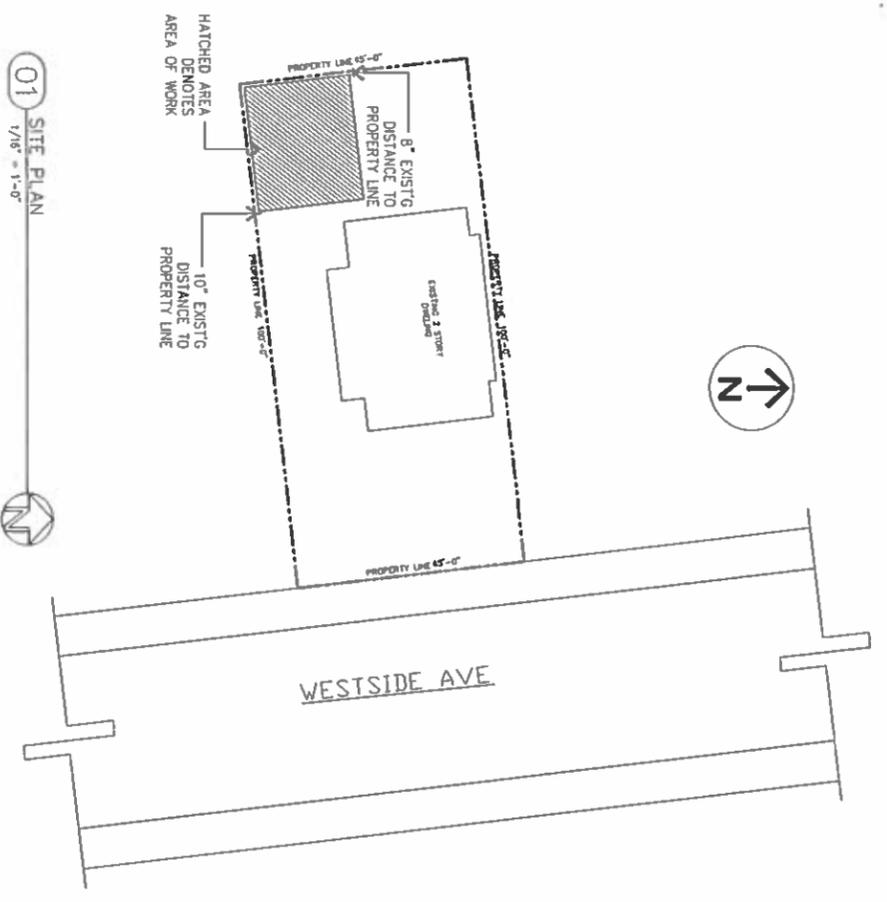
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)











01 SITE PLAN
1/8" = 1'-0"

LOCATION: 122 WESTSIDE AVE. FREEPORT 11520
STORIES: 2 STY
BLOCK: 4145.1
LOT: 74
ZONING: R2-1
LOT AREA: 4500 SQ. FT.
CONSTRUCTION CLASS: 4-A
OCCUPANCY USE: MULTIPLE FAMILY WALK UP
USE GROUP(S): R-3-1

PROJECT SCOPE

REPLACE EXISTING GARAGE DAMAGE BY FIRE.
NEW GARAGE OF NON COMBUSTIBLE CONSTRUCTION TO BE BUILT ON EXISTING FOUNDATION

LEGEND & SYMBOLS

- EXIST. WALL OR INT. PARTITION
- EXIST. WALL TO BE REMOVED
- NEW WALL OR INTERIOR PARTITION
- FIRE RATED ASSEMBLY
- PLASTIC LAMINATE COUNTERTOP/CABINETS
- DOOR
- DOOR WIDTH (E.L. 28)
- DOOR HEIGHT (E.L. 69)
- PROPERTY LINE
- DOOR IDENTIFIER
- WINDOW IDENTIFIER
- WALL TYPE IDENTIFIER
- CARBON MONOXIDE ALARM TO BE INSTALLED IN ACCORDANCE W/ BC 907.2.11 (1-3) & BC 908.7.1.1 (1-3)
- LED NYC APPROVED EXIT SIGNAGE (ARROWS DENOTE DIRECTIONAL SIGNAGE)

GENERAL NOTES:

1. ALL WORK SHALL CONFORM WITH THE VILLAGE OF FREEPORT BLDG CODE AND DEPARTMENTS SHALL BE PROMPT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THAT PORTION OF THE WORK.
2. CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS, METHODS, AND SAFETY OF WORK.
3. CONTRACTOR SHALL VERIFY ALL DIMENSION AND JOB CONDITIONS PRIOR TO SUBMITTING BIDS AND SHALL REPORT THE ENGINEER ANY DISCREPANCIES OR VIOLATIONS WHICH WOULD INTERFERE WITH THE SATISFACTORY COMPLETION OF THE WORK.
4. CONTRACTOR SHALL VERIFY ALL UTILITY CLEARANCES AND SHALL BE RESPONSIBLE FOR STAKING AND COMPONENTS OF HIS WORK, AS NECESSARY, TO ACCOMMODATE DELIVERY.
5. ALL DIMENSIONS ARE FINISH UNLESS NOTED OTHERWISE.
6. ALL HOOD EXHAUSTION WILL BE MAINTAINED.
7. CONTRACTOR SHALL PROVIDE AND INSTALL ALL NEW EQUIPMENT, FIXTURES, AND MATERIAL NECESSARY TO SATISFACTORY COMPLETE WORK.
8. CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL UTILITY TRACES TO ADEQUATELY THAT ALL WORK SHOWN ON THESE DRAWINGS ARE COMPLETED EACH TRADE SHALL BE RESPONSIBLE FOR REVIEW OF ALL DRAWING INCLUDED WITHIN.
9. CONTRACTOR SHALL SUBMIT SPECIFICATIONS AND DETAILS OF ALL NEW EQUIPMENT, FIXTURES AND MATERIALS TO THE ENGINEER BEFORE PROCEEDING WITH ANY PORTION OF WORK.
10. THE CONTRACTOR SHALL NOTE THAT THESE SHALL BE NO SUBSTITUTIONS OF ANY MATERIAL WHERE SPECIFIC BRAND NAMES ARE SPECIFIED.
11. THE CONTRACTOR SHALL CONSULT WITH THE BUILDING SUPERINTENDENT AND ADHERE TO ALL REGULATIONS OF THE BUILDING AS TO THE AND METHOD OF MATERIAL, DELIVERY, ORDER REMOVAL, USE OF BUILDING ELEVATORS, HOURS OF WORKING, AND PROTECTIVE MEASURES NECESSARY FOR CONSTRUCTION PERSONNEL TO ENTER THE BUILDING WHEN NECESSARY.
12. CONTRACTOR SHALL PREPARE SHOP DRAWINGS AS REQUIRED AND SHALL SUBMIT SAME IN REPLY TO THE ENGINEER FOR APPROVAL. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES. ALL SHOP DRAWINGS SHALL BE DIMENSIONED IN FEET AND INCHES AND SHALL INDICATE ALL TOLERANCES AND CLEARANCES REQUIRED. ALL INSTALLATIONS SHALL CONFORM TO CODE TRADE PRACTICES, BUILDING STANDARDS AND ALL GOVERNMENTAL CODES ALL DIMS NOT INDICATED SHALL BE NOTED.
13. THE CONTRACTOR SHALL CONTINUOUSLY MAINTAIN ADEQUATE PROTECTION OF ALL REMAINING EXISTING CONDITIONS AND NEW YORK FROM DAMAGE. HE SHALL PROTECT THE TENANT AND THE BUILDING'S PROPERTY FROM INJURY OR LOSS ARISING IN CONNECTION WITH HIS WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES, BUT NOT LIMITED TO, BOSS, JAMES, AND PASSENGER. THE CONTRACTOR SHALL WITHOUT EXTRA COMPENSATION, REPAIR ALL SURFACES IN SUCH SPACES.
14. THE CONTRACTOR SHALL CARRY PROPERTY DAMAGE INSURANCE AND PUBLIC LIABILITY INSURANCE AS REQUIRED.
15. CONTRACTOR TO GUARANTEE ALL WORK FOR A PERIOD OF ONE YEAR. ALL DOCUMENTS INDICATING SUCH GUARANTEE SHALL BE SUBMITTED TO THE ENGINEER.
16. GENERAL CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY ERRORS, OMISSIONS, CONFLICT, OR AMBIGUITIES AND BETWEEN THE PLANS, DRAWINGS, AND SPECIFICATIONS PRIOR TO PROCEEDING WITH THAT PORTION OF THE WORK. IF SUCH NOTICE IS NOT GIVEN TO THE ENGINEER, THE CONTRACTOR SHALL BE DEEMED TO HAVE ACCEPTED THE ACCURACY OF THE PLANS, DRAWINGS, AND SPECIFICATIONS AND HAS FORNED THEM IN FULL KNOWLEDGE AND DECISION.
17. CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISTRIBUTION OF ADEQUATE COPIES OF HIS DRAWING TO ALL APPLICATION TRADE. AT ALL THE DURING THE PROGRESS OF HIS JOB SITE AT ALL TIMES. THERE WILL BE ONE COMPLETE SET OF 10-10-10 SET AT THE JOB SITE AT ALL TIMES.
18. CONTRACTOR SHALL SUBMIT NOTICE TO THE CLIENT AND THE ENGINEER IF ANY REVISIONS TO DRAWING WORK EXTRA UNDER THIS CONTRACT. SUCH NOTICES SHALL BE SUBMITTED TO THE ENGINEER AND THE CLIENT BEFORE PROCEEDING TO EXECUTE THE WORK. NO CLAIMS SHALL BE VALID UNLESS SO MADE. ALL CLAIMS FOR EXTRA WORK WILL BE SUBMITTED THROUGH THE ENGINEER FOR APPROVAL BY THE CLIENT. THE ENGINEER WILL NOT BE RESPONSIBLE FOR ASSUMPTIONS MADE BY THE CONTRACTOR.
19. CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADE AND SHALL COOPERATE WITH ALL TRADE NOT SPECIFICALLY PART OF THIS CONTRACT.
20. CONTRACTOR SHALL PROTECT PUBLIC CONDITIONS AS REQUIRED IN AREA OF WORK. THE SITE SHALL BE MAINTAINED AND LEFT CLEAN DURING CONSTRUCTION.
21. THE CONTRACTOR SHALL PROVIDE A BROOD CLEAN AND VAPOR DOWN SPACE. ALL RUBBER GAZE SHALL BE FREE OF CONSTRUCTION DUST AND ALL WINDOWS AND GLASS SHALL BE PROFESSIONALLY CLEANED. ALL CONCRETE EXCESSES SHALL BE CLEANED IMMEDIATELY FROM THE WORK AREA. ALL EXCESS CONCRETE SHALL BE CLEANED AND ALL LIGHT FIXTURES AND LENSES SHALL BE CLEANED AND FREE FROM DUST ON COMPLETION.
22. CONTRACTOR SHALL PROTECT ANY ADJACENT PROPERTY OR WORK. ANY DAMAGE TO ADJACENT PROPERTY OR WORK SHALL BE REPAIRED OR REPLACED. ALL PATIO, WALKWAYS, DRIVEWAYS, AND DRIVEWAYS OF DAMAGED WORK SHALL BE DONE BY GENERAL CONTRACTOR. CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION FOR THE WORK UNTIL SAME IS TURNED OVER TO THE CLIENT.

GENERAL NOTES:

1. THE ENGINEER HAS NOT BEEN RETAIN FOR FULL PROJECT.
2. THE N.Y.C. DEPT. OF BUILDING.
3. DRAWING SHOULD NOT BE SCALE OFF. CONTRACTOR SHOULD VISIT THE SITE & VERIFY ALL FIELD DIMENSIONS.
4. ALL MATERIAL, ASSEMBLIES & FIXTURES TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.
5. CONTRACTOR/ELECTRICIAN TO COORDINATE ELECTRIC.
6. SPECIAL INSTRUCTION - NONE.

ZONING / BULK ANALYSIS

RESIDENCE DISTRICT REGULATIONS
CHAPTER 3
BULK REGULATIONS
LOT DIMENSIONS = 45'-0" X 100'-0"
= 4,500 SQ.FT.
GARAGE DIMENSIONS = 18'-10" X 22'-9"
= 428 SQ.FT.
SPACE MAX. RECD = 10% (ZR 210-320) 4,500 X .10 = 450 SQ.FT.
TOTAL GARAGE AREA = 428 SQ.FT. OK

MULTIPLE DWELLING A BUILDING IS DEFINED IN ARTICLE III OF THE BUILDING CODE OF THE VILLAGE. [1].

210-48 APARTMENTS.
NO ONE-FAMILY DWELLING SHALL BE ERRECTED UNLESS IT CONFORMS TO ALL OF THE REGULATIONS CONTAINED IN ARTICLE V, RESIDENCE 2, DISTRICTS, AND NO APARTMENT HOUSE SHALL BE ERRECTED ON A LOT WHOSE AREA IS LESS THAN 15,000 SQUARE FEET OR WHICH PROVIDES LESS THAN 980 SQUARE FEET OF LOT AREA PER APARTMENT UNIT.

210-48 LOT COVERAGE.
A. ONE-FAMILY DWELLING SHALL NOT OCCUPY MORE THAN 50% OF THE LOT AREA. THE REMAINING 50% OF THE LOT SHALL BE AVAILABLE FOR THE ERECTION OF A GARAGE AS PROVIDED IN THE RESIDENCE A DISTRICT.

210-48 APARTMENTS.
AN APARTMENT HOUSE SHALL NOT OCCUPY MORE THAN 40% OF THE LOT AREA. THE REMAINING 60% OF THE LOT SHALL BE AVAILABLE FOR THE ERECTION OF AN OPEN SPACE RECREATION SPAC, OPEN RECREATION SPAC, OR OPEN SPACE RECREATION SPAC. THE OPEN SPACE RECREATION SPAC SHALL BE PROVIDED AT THE RATIO OF AT LEAST ONE SQUARE FOOT OF OPEN SPACE TO EACH TWO SQUARE FEET OF RESIDENTIAL FLOOR AREA WHICH EXCLUDES THE BASEMENT OR CELLAR.

210-50 UNUSUAL FLOOR AREA.
UNUSUAL FLOOR AREA.
HERE SHALL BE A MINIMUM FLOOR AREA OF 600 SQUARE FEET PER APARTMENT UNIT IN APARTMENT HOUSES.

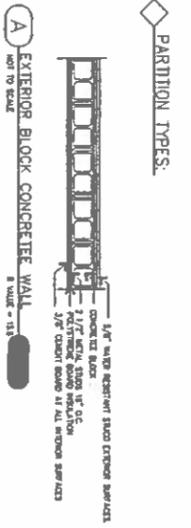
210-51 REQUIRED YARDS.
YARDS OF THE FOLLOWING MINIMUM DEPTH OR WIDTH SHALL BE PROVIDED:
A. FRONT YARD: THE FRONT YARD SHALL BE AT LEAST 10 FEET DEEP FROM THE STREET TO THE FRONT YARD LINE OF THE LOT. IF THERE ARE NO EXISTING BUILDINGS AS ADJACENT TO THE AVERAGE FRONT YARD DEPTH OF EXISTING BUILDINGS ON THE OPPOSITE SIDE OF THE STREET IN THE SAME BLOCK AND WITHIN 200 FEET OF THE LOTS PROJECTED FROM EACH SIDE OF THE LOT, IN NO EVENT, LESS THAN 20 FEET.

C. REAR YARD DEPTH: 20 FEET.
PROVIDED, HOWEVER, THAT THE WIDTH OF EACH SIDE YARD FOR ANY ONE-FAMILY DWELLING IN THIS DISTRICT SHALL BE THE SAME AS HEREBY PROVIDED IN THE RESIDENCE A DISTRICT.

R302.6 DWELLING - GARAGE FIRE SEPARATION

THE GARAGE SHALL BE SEPARATED AS REQUIRED BY TABLE 602.6. OPENINGS IN GARAGE WALLS SHALL COMPLY WITH SECTION R302.6. ATTACHMENT OF OPSUM BOARD SHALL COMPLY WITH TABLE R302.6. THE WALL SEPARATION PROVISIONS OF TABLE R302.6 SHALL NOT APPLY TO GARAGE WALLS THAT ARE PERPENDICULAR TO THE ADJACENT DWELLING UNIT WALL.

SEPARATION FROM THE RESIDENCE AND ATTICS	MATERIAL
FROM HABITABLE ROOMS ABOVE THE GARAGE	NOT LESS THAN 1/2-INCH OPSUM BOARD OR EQUIVALENT APPLIED TO THE GARAGE SIDE
STRUCTURE(S) FLOOR/CEILING ASSEMBLIES USED FOR SEPARATION REQUIRED BY THIS SECTION	NOT LESS THAN 5/8-INCH TYPE X OR EQUIVALENT
GARAGES LOCATED LESS THAN 3 FEET OR EQUIVALENT APPLIED TO THE INTERIOR SIDE OF EXTERIOR WALLS THAT ARE WITHIN THIS AREA	NOT LESS THAN 1/2-INCH OPSUM BOARD OR EQUIVALENT APPLIED TO THE INTERIOR SIDE OF EXTERIOR WALLS THAT ARE WITHIN THIS AREA



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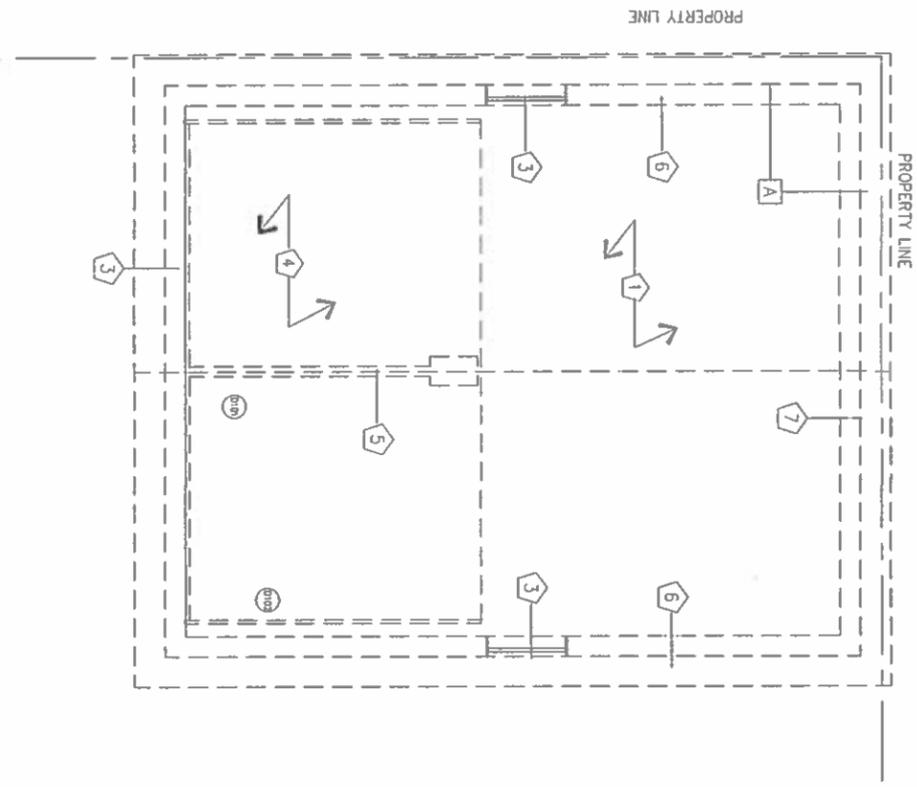
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NO. 2	DATE:	BY:
NO. 3	DATE:	BY:

DRAWN BY: [Signature]
DATE: 04/11/2023
CHECKED BY: [Signature]
ISSUE DATE:

GARAGE
122 WESTSIDE AVE, FREEPORT
10033
SITE PLAN / GENERAL NOTES

PROJECT # FB 0923
SHEET: G.001.00
SHEET 1 OF 8

01 DEMOLITION PLAN - FIRST FLOOR
 3/8" = 1'-0"



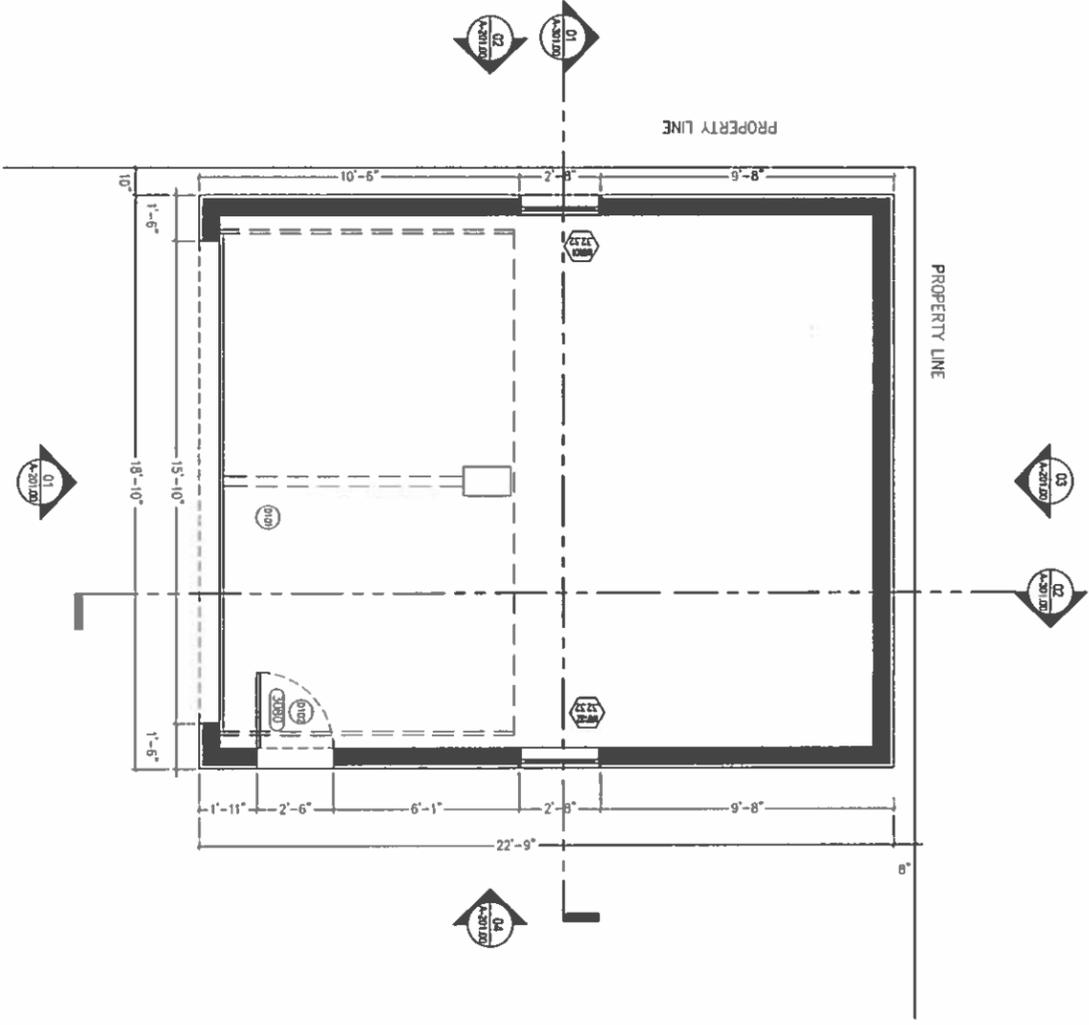
GENERAL NOTES PLAN:

- A. COORDINATE ALL DEC. DEMOLITION AND/OR REUSE W/OWNER, REGULATIONS TO DISPOSE ALL DEMOLITION ITEMS AS PER LOCAL CODES & REGULATIONS
- B. UNKNOWN CONDITIONS MAY EXIST. DEMOLITION SHALL BE DONE W/ CARE TO ENSURE THAT THERE IS NO DAMAGE TO UNDERLYING COMPONENTS OR MATERIALS THAT MAY NEED TO BE REPAIRED OR RELOCATED.
- C. ANY DEMOLITION SHALL BE APPROVED BY THE STRUCTURAL ENGINEER OR RECORD FOR THE BUILDING, PRIOR TO COMMENCING WORK.
- D. PROVIDE BIDDING, WHERE APPLICABLE, IN NEW AND EXISTING WALLS AS NOTED FOR NEW WALLWORK (COORDINATE WITH MECHANICAL CONTRACTORS).
- E. READ VERIFY ALL CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- F. ALL EXISTING WALL, FLOOR, AND CEILING FINISHES TO BE REMOVED DURING DEMOLITION UNLESS NOTED OTHERWISE.

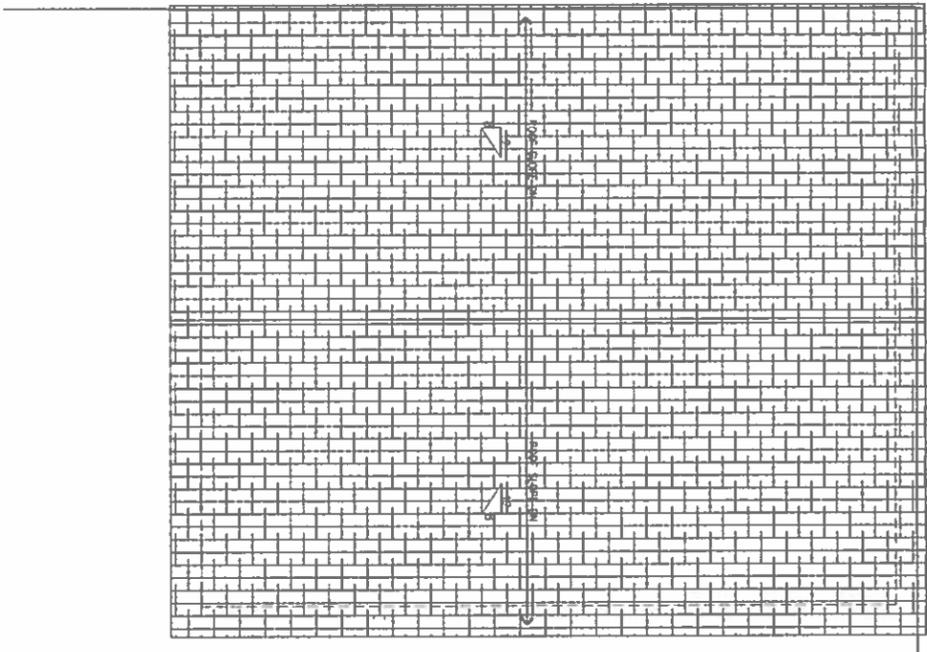
DEMOLITION NOTES

- 1. EXISTING CONCRETE SLAB TO BE REMOVED.
- 2. ALL EXISTING ROOMS TO BE REMOVED.
- 3. ALL EXISTING DOORS, HANGING WINDOWS TO REMOVE.
- 4. ALL EXISTING DOOR AND WINDOW.
- 5. ALL EXISTING MECHANICAL, ELECTRICAL SYSTEMS AND DISTRIBUTION LINES TO REMOVE.

<p style="text-align: center;">GARAGE 122 WESTSIDE AVE, FREEPORT 10033</p>	<p>DRAWN BY: JW DATE: 01/11/2023 CHECKED BY: FB ISSUE DATE: --</p>	<p>REVISIONS:</p> <table style="width: 100%; border-collapse: collapse;"> <tr><td style="width: 10px;">▲</td><td style="width: 10px;"> </td><td style="width: 10px;"> </td><td style="width: 10px;"> </td></tr> <tr><td style="width: 10px;">▲</td><td style="width: 10px;"> </td><td style="width: 10px;"> </td><td style="width: 10px;"> </td></tr> <tr><td style="width: 10px;">▲</td><td style="width: 10px;"> </td><td style="width: 10px;"> </td><td style="width: 10px;"> </td></tr> <tr><td style="width: 10px;">▲</td><td style="width: 10px;"> </td><td style="width: 10px;"> </td><td style="width: 10px;"> </td></tr> </table>	▲				▲				▲				▲					<p style="text-align: center;">THEODORE L. STRAUSS THEODORE LAURENCE STRAUSS & ASSOCIATES 63 MOORE AVENUE MT. KISCO, NY 10549 (914) 241-3354 E-MAIL ZSTRAUSS510@YAHOO.COM</p>
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<p>PROJECT # FB 0923 SHEET: DM.101.00 SHEET: 2 OF 9</p>	<p style="text-align: center;">FIRST FLOOR GARAGE - DEMO PLANS</p>																			



01 CONSTRUCTION PLAN - FIRST FLOOR
3/8" = 1'-0"



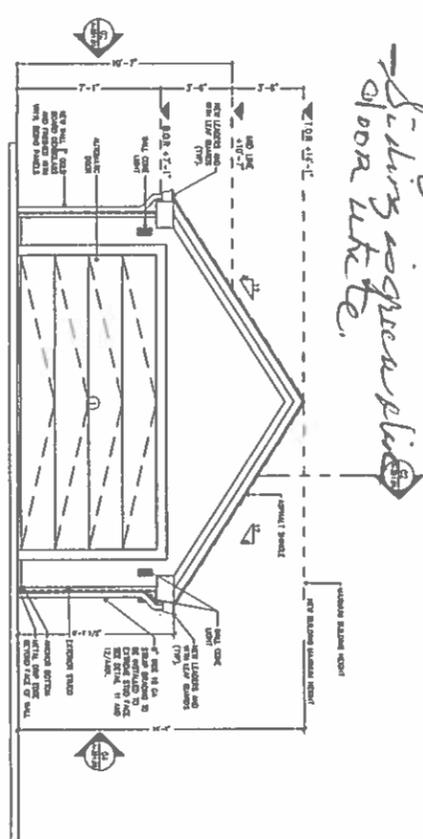
02 CONSTRUCTION PLAN - ROOF TOP
3/8" = 1'-0"

- GENERAL NOTES PLAN:**
- COORDINATE ALL P.L.E. DEMOLITION AND/OR BRISE WORKER.
 - CONTRACTOR TO OBTAIN ALL DEMOLITION PERMITS AS PER LOCAL CODES & REGULATIONS.
 - UNKNOWN CONDITIONS MAY EXIST. DEMOLITION SHALL BE DONE W/ CARE TO ENSURE THAT THERE IS NO DAMAGE TO UNSEEN COMPONENTS OR UTILITIES THAT MAY PENETRATE THROUGH CONCRETE FLOOR SLABS, CONCRETE WALLS OR CONCRETE COLUMNS WILL NEED TO BE APPROVED BY THE STRUCTURAL ENGINEER OF RECORD FOR THE BUILDING PRIOR TO COMMENCING WORK.
 - PROTECT EXISTING UTILITIES, NEW AND EXISTING WALLS AS NEEDED FOR DEMOLITION WORK.
 - FIELD VERIFY ALL DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.
 - ALL DIMENSIONS FROM NEW WALLS ARE MEASURED TO EDGE OF STUD.
 - ALL EXISTING WALL, FLOOR AND CEILING FINISHES TO BE REMOVED DURING DEMOLITION UNLESS NOTED OTHERWISE.

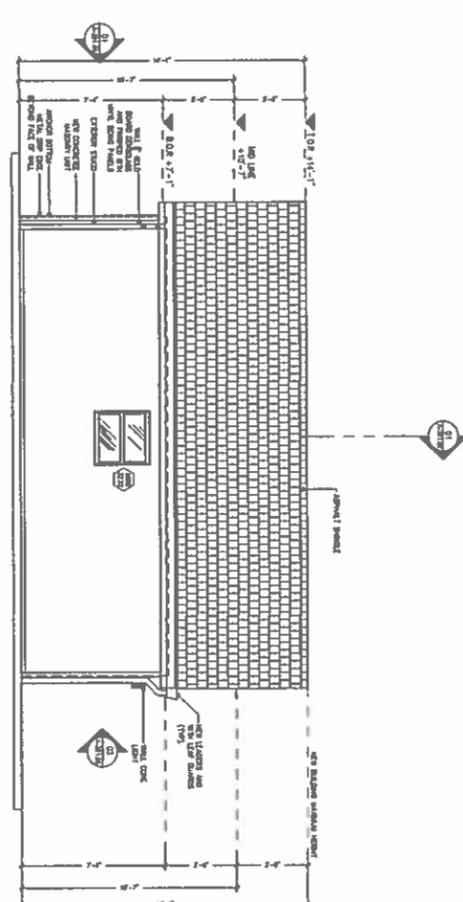
CLERK'S OFFICE
VILLAGE OF FREEPORT

PROJECT # DS0923-D SHEET: A.101.00 SHEET 3 OF 8	GARAGE 122 WESTSIDE AVE, FREEPORT 10033 CONSTRUCTION PLANS	DRAWN BY: JMV DATE: 01/11/2023 CHECKED BY: FB ISSUE DATE:	REVISIONS: 1. 11-9-23 2. 11-9-23 3. 11-9-23 4. 11-9-23		THEODORE L. STRAUSS THEODORE LAURENCE STRAUSS & ASSOCIATES 63 MOORE AVENUE MT. KISCO, NY 10549 (914) 241-3354 E-MAIL ZSTRAUSS510@YAHOO.COM
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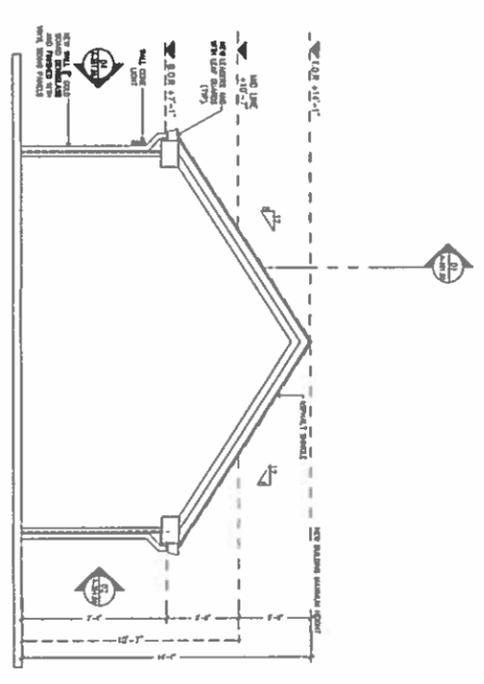
DH black window
 - side door white
 - black
 - doors
 - doors is glass
 - door white



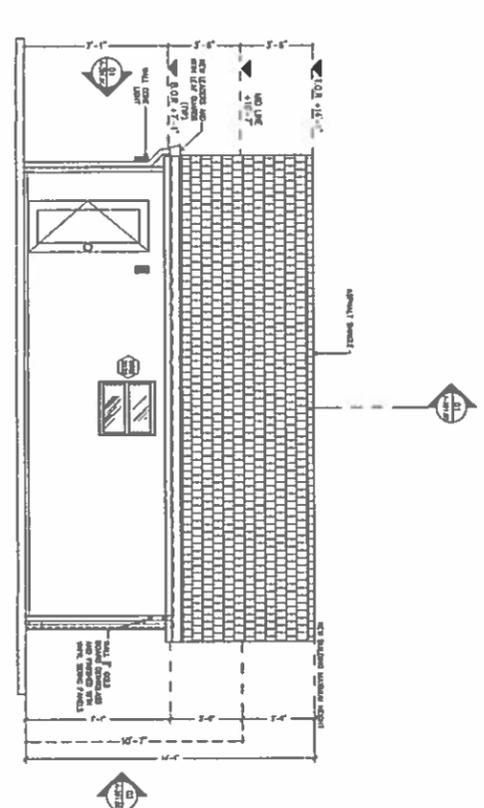
01 FRONT ELEVATION
1/4" = 1'-0"



02 RIGHT SIDE ELEVATION
1/4" = 1'-0"



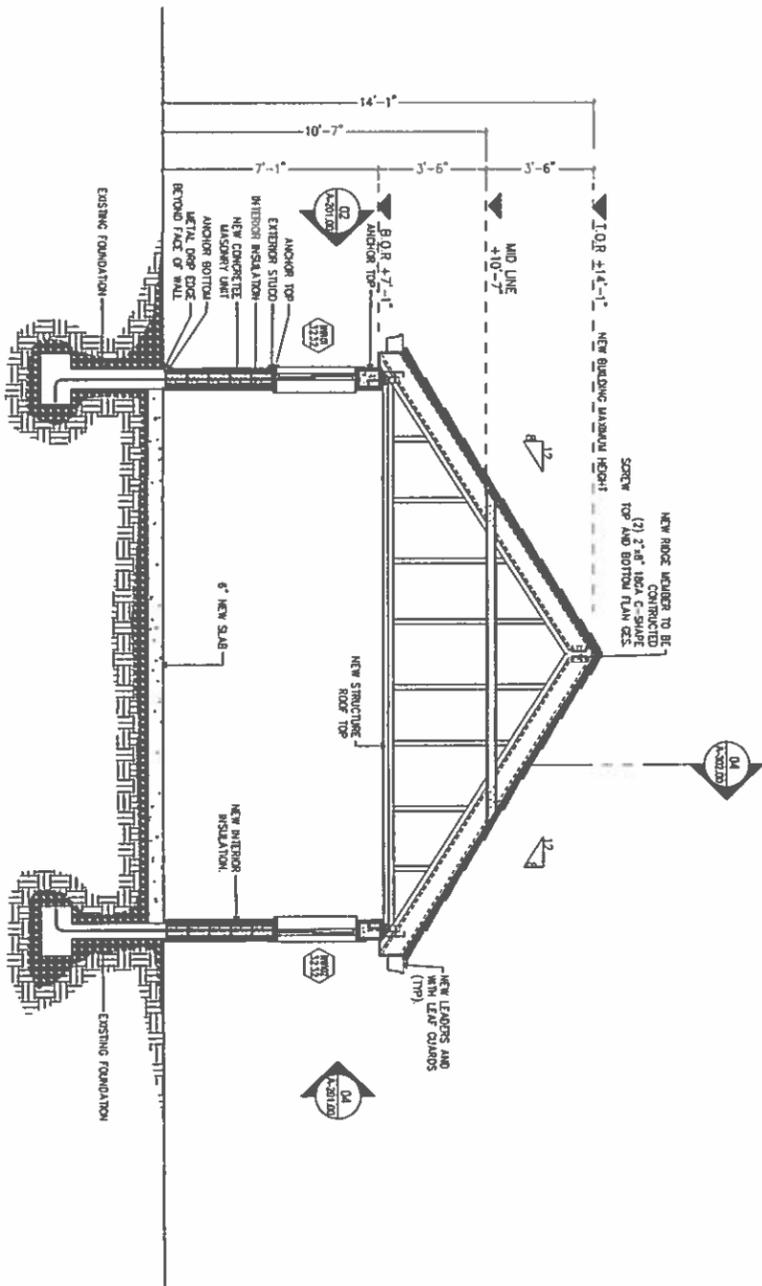
03 REAR ELEVATION
1/4" = 1'-0"



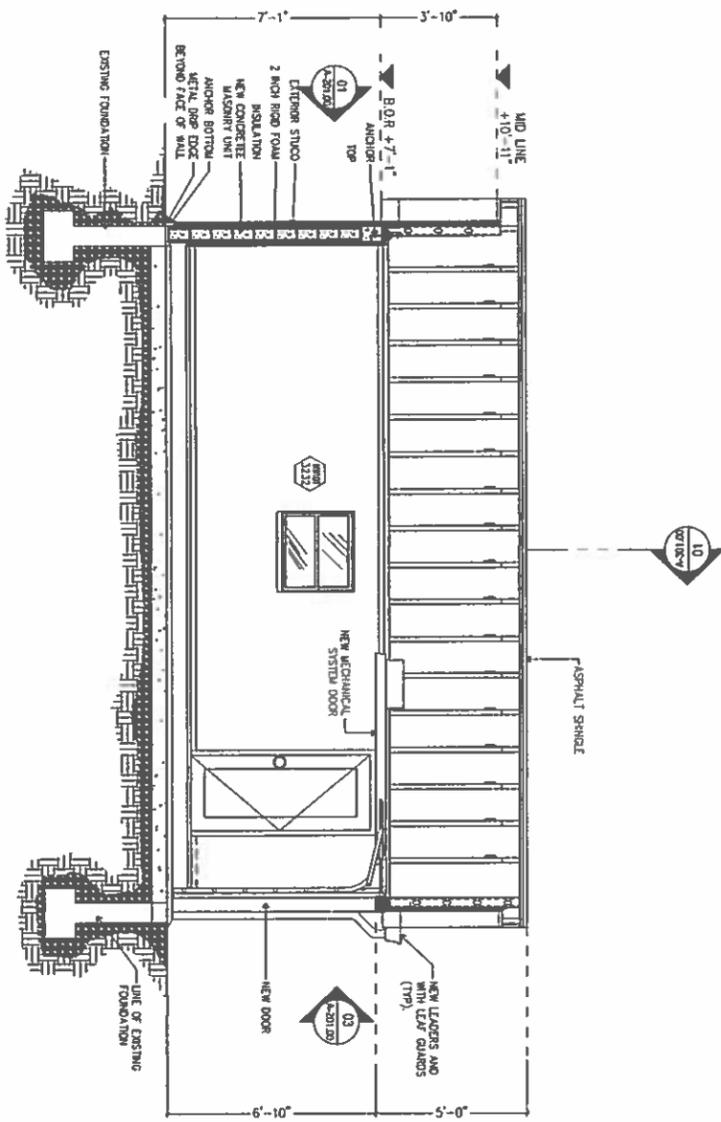
04 LEFT SIDE ELEVATION
1/4" = 1'-0"

RELEASE OF INFORMATION

PROJECT # FB 0923 SHEET A.201.00 SHEET: 4 of 9	GARAGE 122 WESTSIDE AVE, FREEPORT 10033 ELEVATION PLAN	DRAWN BY: JMV DATE: 01/17/2023 CHECKED BY: FB ISSUE DATE:	REVISIONS: 1 2 3 4 5		THEODORE L. STRAUSS THEODORE LAURENCE STRAUSS & ASSOCIATES 63 MOORE AVENUE MT. KISCO, NY 10549 (914) 241-3354 E-MAIL Z2STRAUSS510@YAHOO.COM
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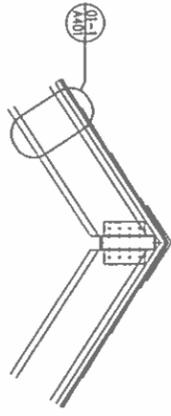
01 SECTION
3/8" = 1'-0"



02 SECTION
3/8" = 1'-0"

VILLAGE OF FREEPORT, NY
SECTION 02 OFFICE

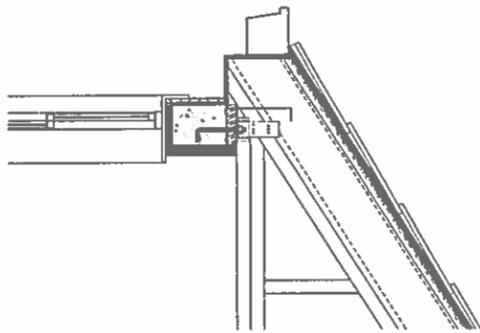
PROJECT # FB 0923 SHEET: A.301.00 SHEET 3 OF 8	GARAGE 122 WESTSIDE AVE, FREEPORT 10033	DRAWN BY: JMV DATE: 07/17/2023 CHECKED BY: FB ISSUE DATE:	REVISIONS: ▲ ▲ ▲ ▲ ▲		RECEIVED NOV - 9 - 2023 THEODORE L. STRAUSS THEODORE LAURENCE STRAUSS & ASSOCIATES 63 MOORE AVENUE MT. KISCO, NY 10549 (914) 241-3354 E-MAIL ZSTRAUSS510@YAHOO.COM
	SECTIONS				



01-1 ROOF DETAIL 01-1
1" = 1'-0"



01-1 ROOF DETAIL 01-1
2" = 1'-0"



02 ROOF DETAIL 02
1" = 1'-0"

CLERK'S OFFICE
VILLAGE OFFICE BUILDING, NY

PROJECT # FB 0923
SHEET:
A. 401.00
SHEET 6 OF 8

GARAGE
122 WESTSIDE AVE., FREEPORT
10033
FRAMING DETAILS

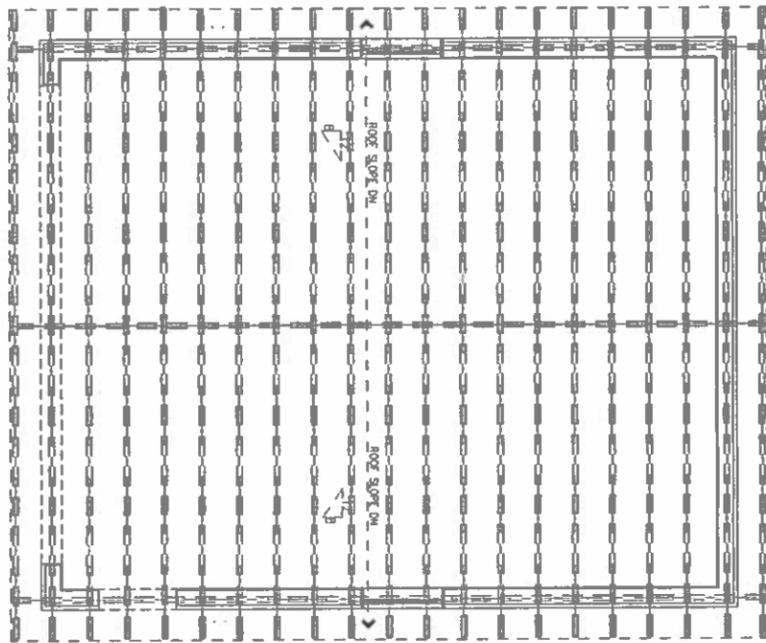
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VILLAGE OF FREEPORT, NY
 PLANNING DEPARTMENT

PROJECT # FB 0923
 SHEET: S.101.00
 SHEET 7 OF 8

GARAGE
 122 WESTSIDE AVE, FREEPORT
 10033

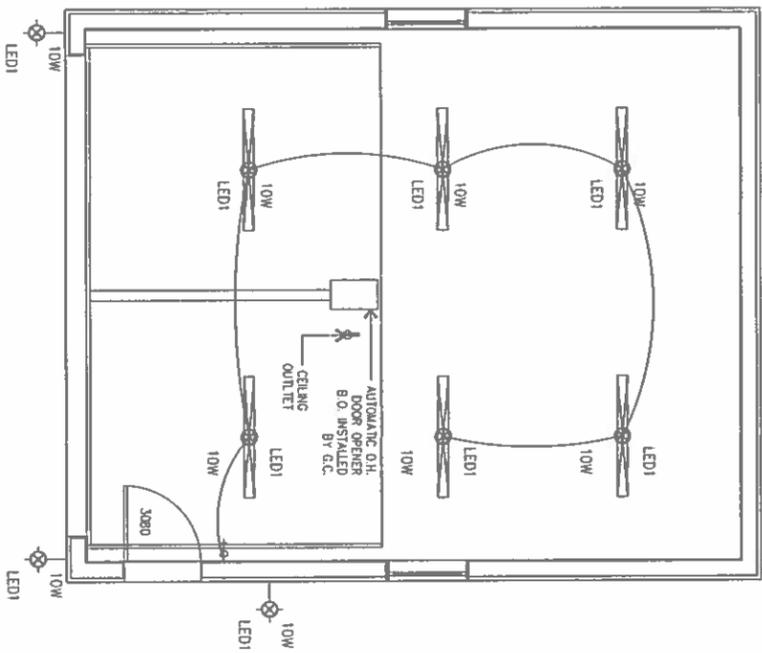
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SYMBOL LEGEND



VOLTAGE CALCULATION			
EXCISE	QUANTITY	WATTS/DX	TOTAL WATTS
10W LED1	6	10	60 WATTS
10W LED1	5	10	50 WATTS
		TOTAL	110 WATTS

TOTAL WATTS / TOTAL WATTS = W/SF
 ACTUAL W / SF < 1.0 W/SF

NOTE

1. EXTERIOR WALL CONE LIGHT BY OWNER
2. INSTALLED BY G.C. EXTERIOR CONE LIGHT
3. FEATURE WHEED TO REMOVE TRUCK WITH PHOTOCELL OVERBRIGHT ON AC POWER ON THE DUCT OFF AT DARK.

01 LIGHTING PLAN - FIRST FLOOR
 3/8" = 1'-0"

VILLAGE CENTER

RECEIVED
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 FB
 ISSUE DATE:

GARAGE
 122 WESTSIDE AVE, FREEPORT
 10033

ELECTRIC PLANS

PROJECT # FB 0923
 SHEET
 E.101.00
 SHEET 8 OF 8

Application Date: 3/20/23
Fees Paid: \$8251

SP# 3628

INCORPORATED VILLAGE OF FREEPORT
SITE PLAN REVIEW APPLICATION
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 862 S. LONG BEACH AVE ZONING DISTRICT RES A
SECTION 62 BLOCK 156 LOT 343 LOT SIZE: 9000 SQ. FT.

<input type="checkbox"/> TENANT	<input checked="" type="checkbox"/> APPLICANT	<input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>OWNER</u>			Name: <u>OSCAR GUEVARA</u>
Address:			Address: <u>862 S. LONG BEACH AVE</u> <u>FREEPORT NY 11520</u>
Telephone #:			Telephone #: <u>516 652 0744</u>

Attorney Name: RUSSELL JORDAN Address: 44 CASINO ST
(optional) Phone #: 516 241 5969 FREEPORT, NY 11520

Present Land Use: SINGLE FAMILY Proposed Land Use: SINGLE FAMILY.

Description of Proposed Work: CHANGES TO EXTERIOR FINISHES APPROVED BY SITE PLAN BOARD

I request a preliminary meeting: YES YES NO

I request a waiver of the public hearing and hereby certify the following:
A. The subject property is zoned Residence A or Residence AA.
B. The proposed construction is not a new building or dwelling.
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied. YES NO

[Signature] 3/23/23
APPLICANT'S SIGNATURE DATE

Sworn to before me this 3 day of March, 2023



Notary Public [Signature]

Property Owner's Consent: I, Oscar Guevara am (are) the owner(s) of the subject property and consent to the filing of this application.

[Signature] 3/23/23
PROPERTY OWNER'S SIGNATURE DATE

Sworn to before me this 3 day of March, 2023



Notary Public [Signature]

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: YES YES NO Date of Hearing: _____ Date of Decision: _____ Approved _____ Denied _____ Date: _____



INC. VILLAGE OF FREEPORT

Department of Buildings
46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

ROBERT T. KENNEDY
MAYOR

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

January 18, 2023
SITE PLAN LETTER

Island Beach Inc.
40 Curley Street
Long Beach, NY 11561

RE: 862 South Long Beach Avenue, Freeport, NY
Zoning District — Residence A Sec. 62 Blk. 156 Lot 343
Building Permit Application #20201574 – Non compliance with original site plan decision
Multiple changes to exterior – windows, doors, siding, soffits, lighting, railings, roofing, fascia, columns, stairs and a 290 sq. ft. deck on second story and a 290 sq. ft. deck on third story

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. Only after this initial appointment should the additional copies be made.

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the VILLAGE CLERK'S OFFICE at 377-2300.

Very truly yours,

Sergio A. Mauras
Superintendent of Buildings

/cd

encl.

c: Village Clerk
SGG Desugb.

ZBA Approval Needed: Yes No

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project :

Building Permit App. 20201574

Location: 862 S. Long Beach Avenue, Freeport, NY

Applicant: Island Beach Inc.

Description: Non compliance with original site plan decision – Multiples changes to exterior windows, doors, siding, soffits, lighting, railings, roofing, fascia, columns, stairs and 290 sq. ft. deck on second story and 290 sq. ft. deck on third story

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) _____

B) Possible environment effects identified:
(only if positive determination)

Dated: January 18, 2023



Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

617.20
Appendix B
Short Environmental Assessment Form

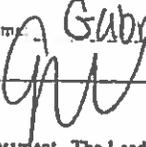
Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

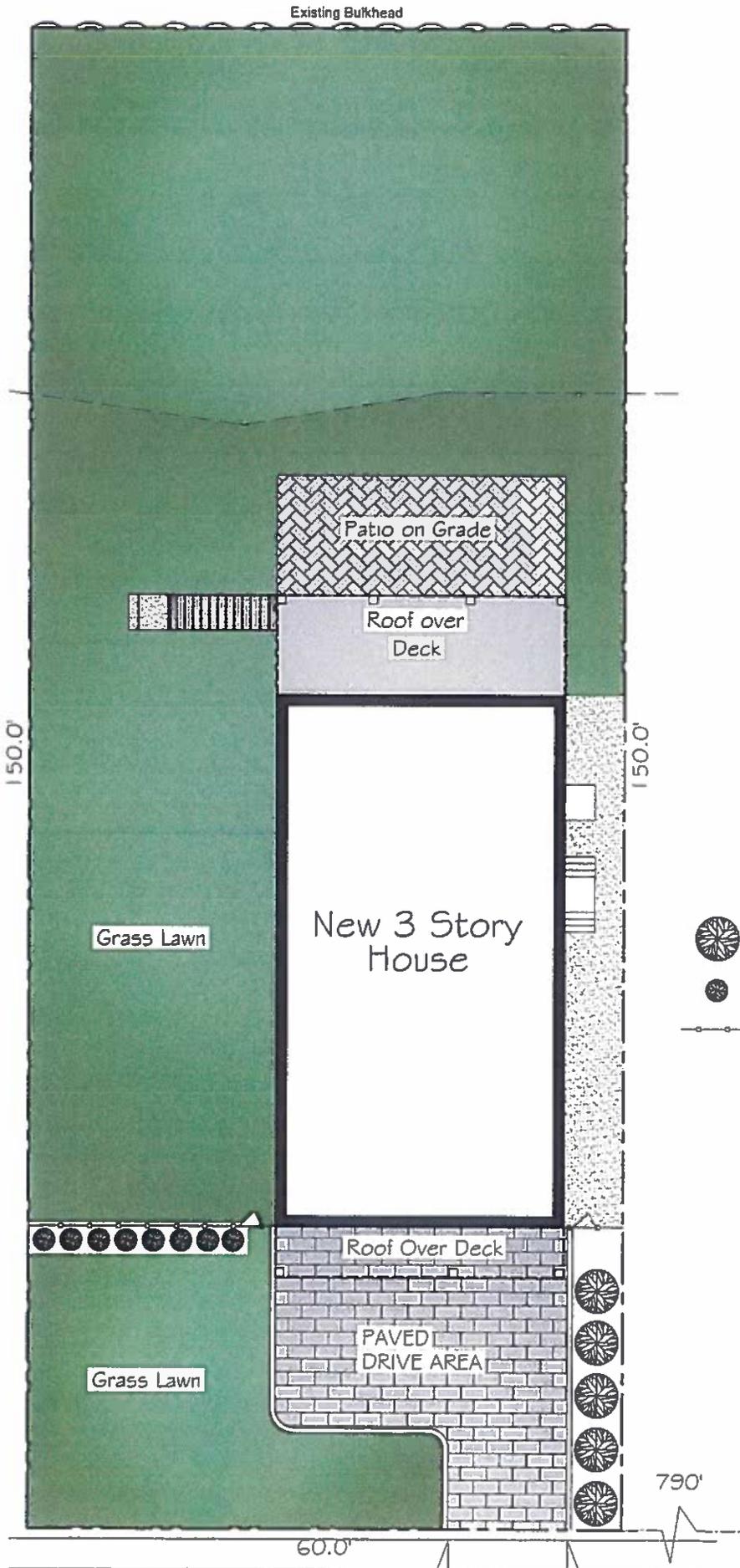
Part 1 - Project and Sponsor Information			
Name of Action or Project: (a) NEW 3074 SQ FT HOME WITH 290 SQ FT DECK			
Project Location (describe, and attach a location map): 862 S LONG BEACH AVE FREEPORT NY 11520			
Brief Description of Proposed Action: NEW HOUSE - 3074 SQ FT W REAR DECK (290 sq. ft. second story & 290 sq. ft. 3rd story deck)			
Name of Applicant or Sponsor: ISLAND BEACH INC		Telephone: E-Mail:	
Address: 40 CURLEY ST			
City/PO: LONG BEACH		State: NY	Zip Code: 11561
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO YES ✓
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval			NO YES ✓
3. a. Total acreage of the site of the proposed action? _____ acres			
b. Total acreage to be physically disturbed? _____ acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres			
4. Check all land uses that occur on, adjoining and near the proposed action. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify) <input type="checkbox"/> Parkland			

	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations?		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
b. Consistent with the adopted comprehensive plan?			<input checked="" type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?			<input checked="" type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	
8 a. Will the proposed action result in a substantial increase in traffic above present levels?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies. _____			<input checked="" type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing potable water: _____			<input checked="" type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____			<input checked="" type="checkbox"/>
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13 a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ <input type="checkbox"/> NO <input type="checkbox"/> YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
	✓	
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
	✓	
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
	✓	
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant sponsor name: <u>Gabrielle Manara</u>	Date: <u>05-06-2021</u>	
Signature: 		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	NO	
2. Will the proposed action result in a change in the use or intensity of use of land?		
3. Will the proposed action impair the character or quality of the existing community?		
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?		
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?		
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?		
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?		
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?		
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?		



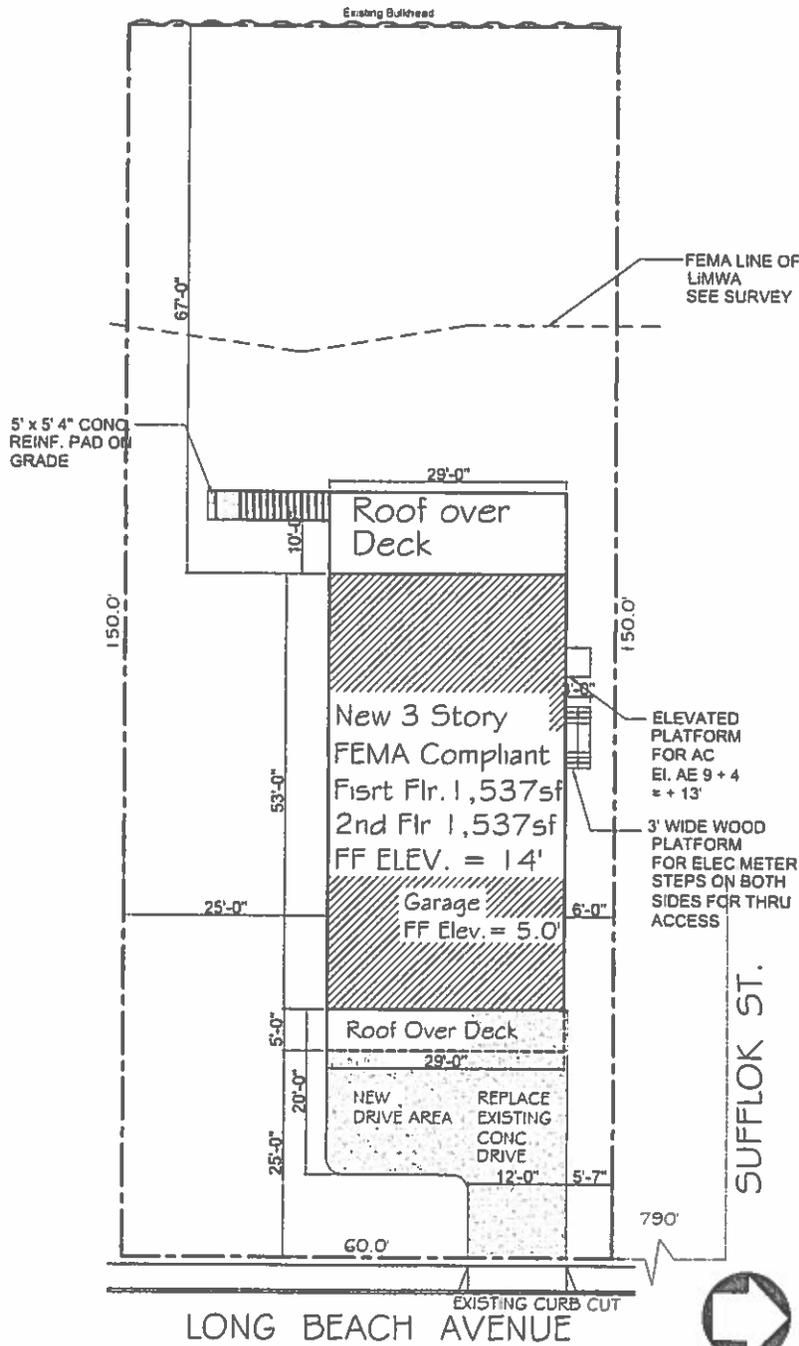
LEGEND

-  Existing Evergreen Trees
-  New Evergreen Trees
-  New & Existing Vinyl White Fence

SUFFLOK ST.

862 South Long Beach Ave.





PROPOSED SITE PLAN
 SECTION: 62 BLOCK: 156 LOTS: 343 NORTH

(BASED ON SURVEY BY HAYNES LAND SURVEYORS
 199 LAFAYETTE DR. SYOSSET, NY 11791 (516) 496-1790. DATED JANUARY 27, 2020

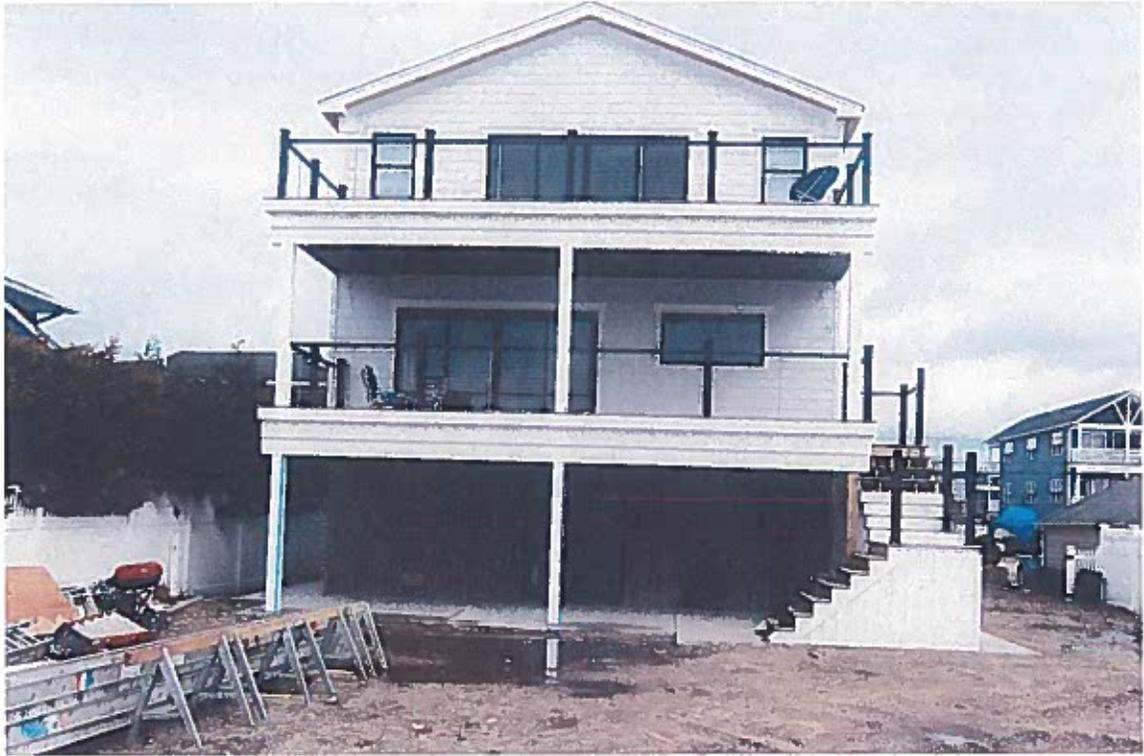
SCALE: 1" = 15'-0"

ZONING INFORMATION

RESIDENCE "A"	REQUIRED	EXISTING	PROPOSED
LOT AREA	5 000 SF	9 000 SF	NO CHANGE
FRONT WIDTH	50 FT	60.00'	NO CHANGE
LOT AREA OCCUPIED	30 %	NEW	New Residence = 1 537sf New Decks 145+200= 435sf = 1 972 sf / 9 000 sf = 22.0 % Lot Coverage
SIDE YARD	5'-0" MIN.	NEW	6'-0"
SIDE YARD AGGREGATE	25% of Lot Width = 15'	NEW	25'-0" + 6'-0" = 31'-0"
REAR YARD	20' MIN	NEW	67'-0"
FRONT YARD HOUSE	20' MIN TO 40' MAX. OR AVERAGE OF FRT. YDS WITHIN 200' ON SAME SIDE OF ST	NEW	25'-0" FRONT YARD SETBACK
HEIGHT	35'-0" MAX. NO MORE THAN THREE STORIES		34'-6" TO H.P. ROOF

- NOTES:
- 1) DRAWINGS ARE TO BE READ NOT SCALED.
 - 2) SEC. 62
BLOCK. 156
LOTS. 343
 - 3) ALL WORK SHALL CONFORM TO THE NEW YORK STATE
RESIDENTIAL CODE AS OF JANUARY 2016
 - 4) PLANS COMPLY WITH THE ENERGY CONSERVATION
CODE OF NEW YORK STATE.

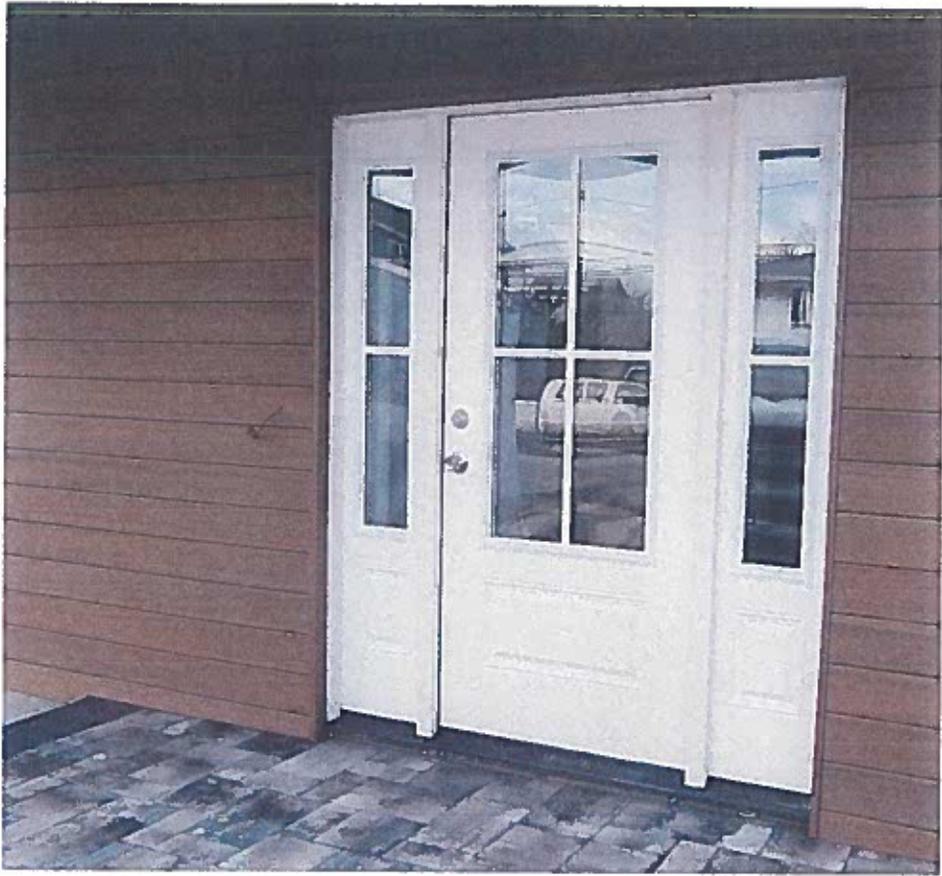
PROPOSED HOUSE
 862 SOUTH LONG BEACH AVE
 FREEPORT NY, 11520



Rear, West, Side of 862 South Long Beach



South Side of 862 South Long Beach



Front Door Detail 862 South Long Beach





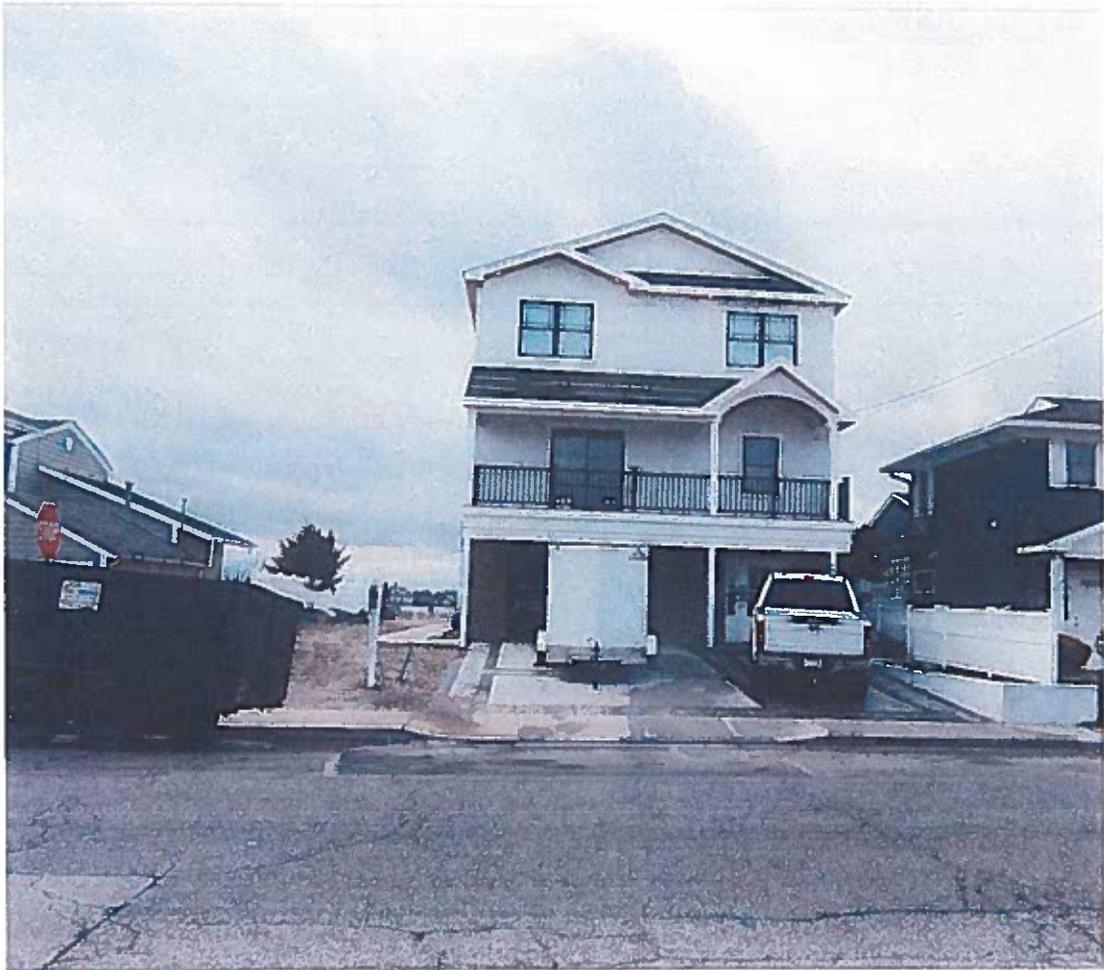
House to the South of 862 South Long Beach



House to the North of 862 South Long Beach



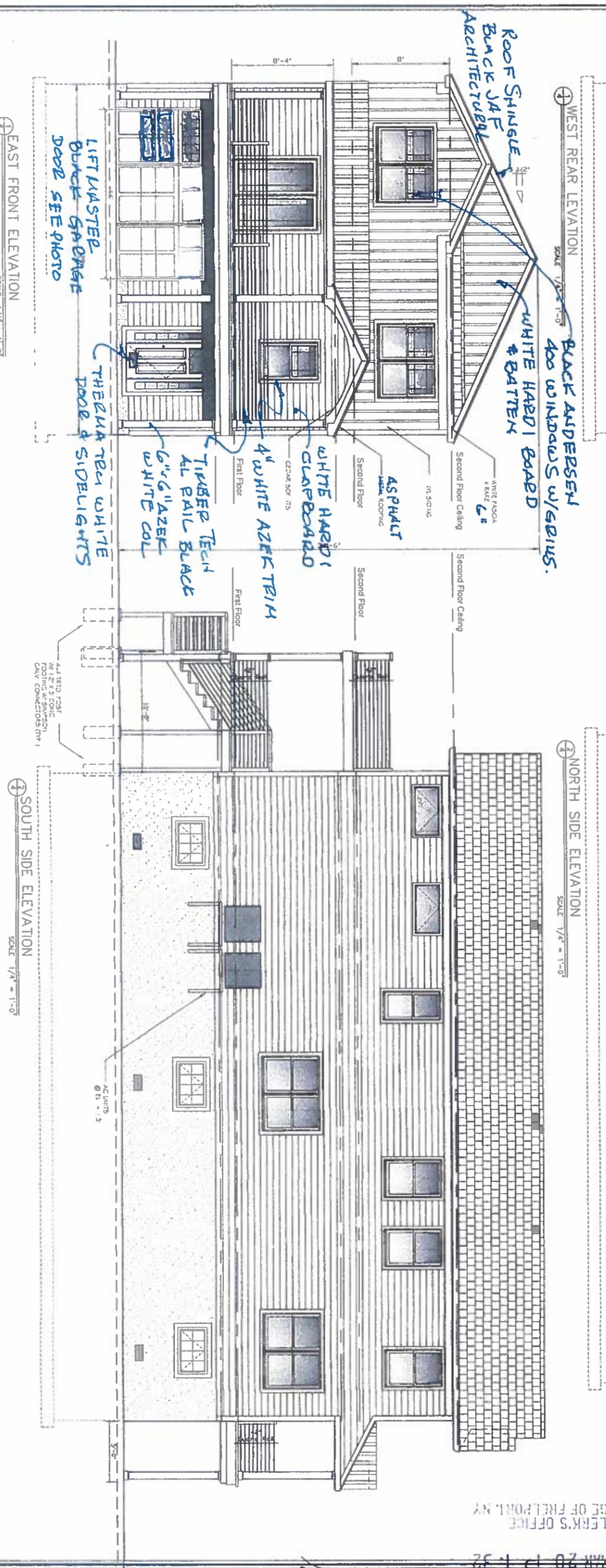
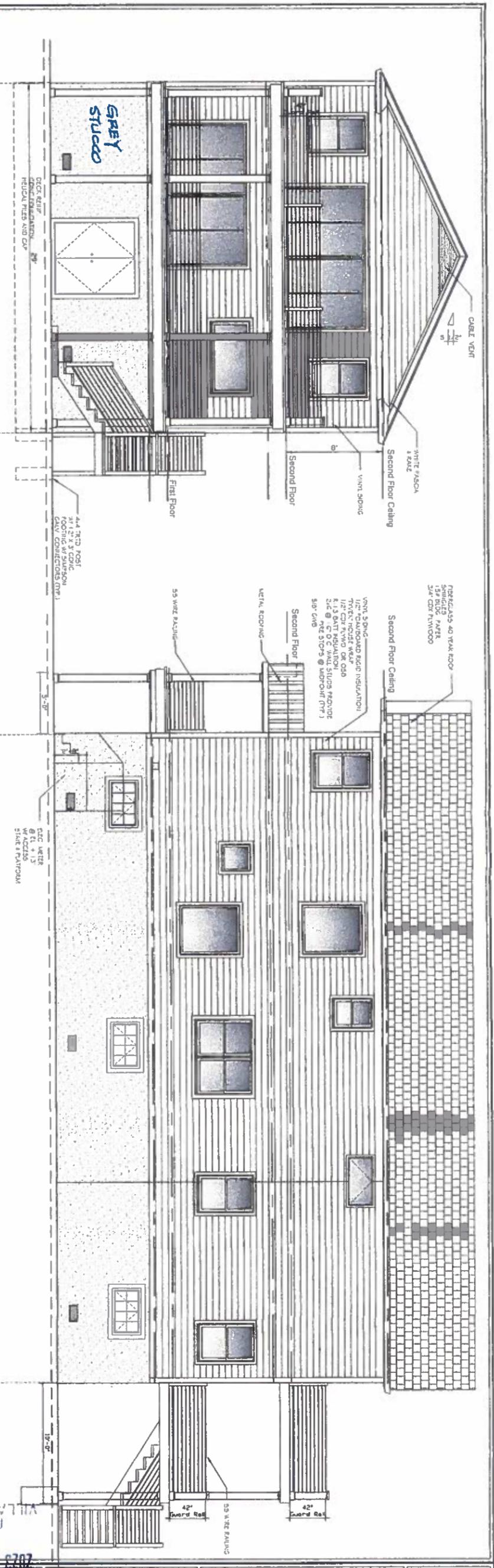
Houses across the street from 862 South Long Beach



Front, East Side, of 862 South Long Beach



East and North Sides of 862 South Long Beach



NO.	ISSUE	DATE
1	ADD SECOND FLOOR ROOFED PORCH	3-21-22
2		
3		
4		
5		
6		

THIS SET OF DRAWINGS IS THE PROPERTY OF SGG DESIGN & ARCHITECTURE. THESE DRAWINGS ARE TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REPRODUCTION OR TRANSMISSION OF THESE DRAWINGS WITHOUT THE WRITTEN PERMISSION OF SGG DESIGN & ARCHITECTURE IS STRICTLY PROHIBITED. THE USER OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED TO SGG DESIGN & ARCHITECTURE. SGG DESIGN & ARCHITECTURE SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THESE DRAWINGS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED TO SGG DESIGN & ARCHITECTURE. SGG DESIGN & ARCHITECTURE SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THESE DRAWINGS.

RECEIVED
 2023 MAR 20 P 1:32
 CLERK'S OFFICE
 VILLAGE OF FREEPORT, NY

PROJECT
PROPOSED RESIDENCE
 862 SOUTH LONG BEACH AVE.
 FREEPORT, NY 11520

EXTERIOR ELEVATIONS



SGG Design & Architecture
 P.O. Box 476
 PH 516-221-0086
 WOODMERE, NY 11590
 Stephens@sgg.com

DATE: FEBRUARY 7, 2021
 BY: AS NOTED

A-3

Russell C. Jordan Architect

44 Casino Street

Freeport, New York 11520

Phone: 516.241.5969 Email: RJarchitec@aol.com

License #015911 NY State

RECEIVED

2023 OCT 11 A 9:09

CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

10-9-2023

Village of Freeport
Clerk's Officer
46 North Ocean Avenue
Freeport, NY 11520

TRANSMITTAL

RE: 862 South Long Beach Ave. Building Permit #20201574
Submittal of revised Landscape Plan and Details for
Review by the Site Plan Board

Please find attached the following drawings for the above referenced job. Both are submitted as one large copy signed and sealed and eleven reduced copies:

- L-1.00 Landscape Plan
- L-2.00 Landscape Details

The principal revisions incorporated into these drawings are as follows:

1. The paved driveway/walk area has been reduced by removing 3'x20' sections of pavers on both sides. This results in a 120 sq.ft. reduction and the remaining paved area provides (2) 10'x20' parking spaces and a 3'x20' walk area. Therefore the overall width of the paved area was reduced from 29' to 23'.
2. Along the southern edge of the property a 3' wide x 90' long x 2' deep french drain has been proposed topped by a 12" high berm to prevent storm water from leaving the property to the south. The rest of the southern property line is protected by an existing 61'-6" long x 2' high +/- brick retaining on the neighboring property.
3. Much more extensive plantings are proposed focused primarily on the front street side of the property.
4. As stated in the last Site Plan hearing soffit lighting is to be removed and/or disabled.

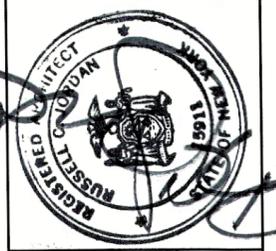
Please schedule a new hearing before the Site Plan Board for this property, thank you.

Sincerely,

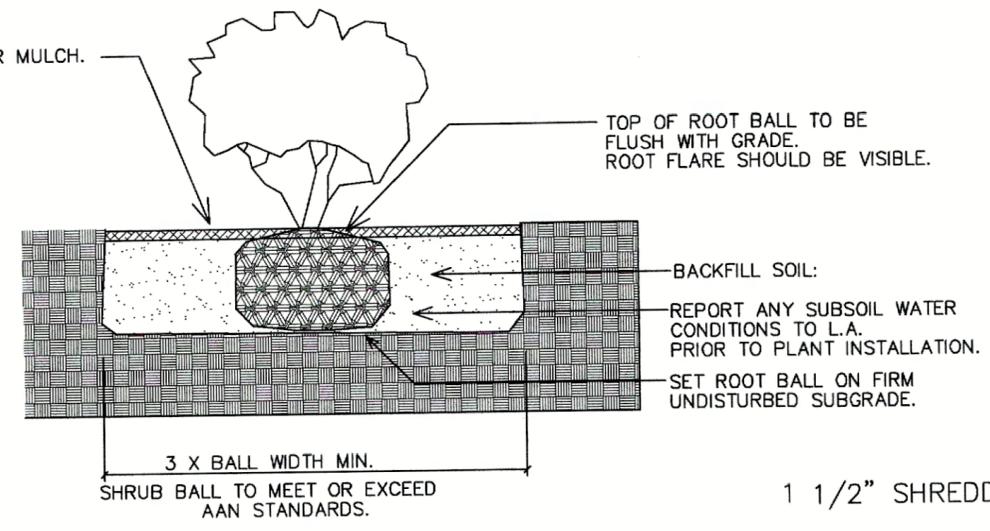


Russell C. Jordan Architect



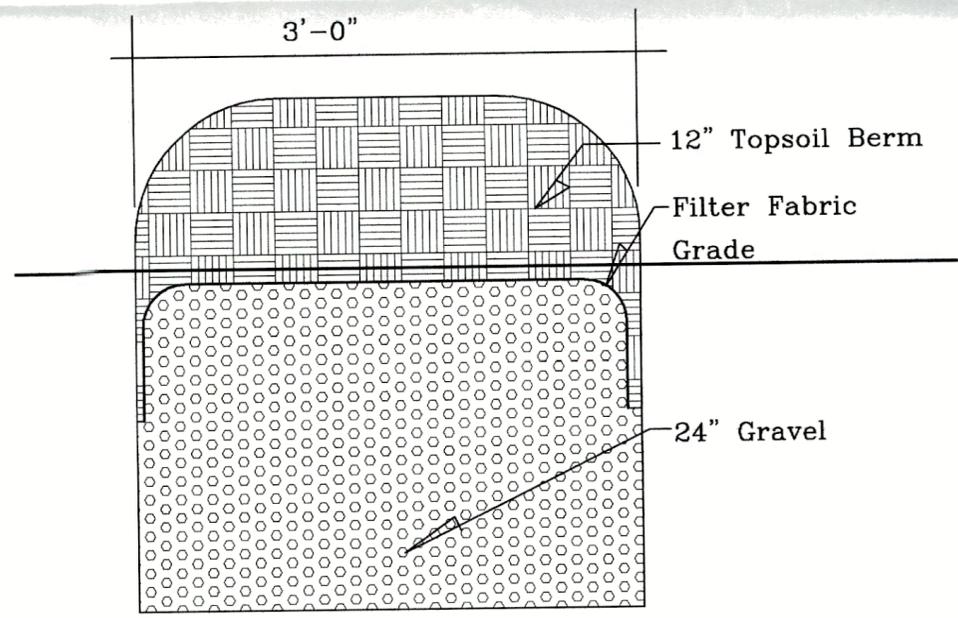


1 1/2" SHREDDED CEDAR MULCH.



SHRUB PLANTING DETAIL

NTS



French Drain

Scale: 1" = 1'-0"

1 1/2" SHREDDED CEDAR MULCH

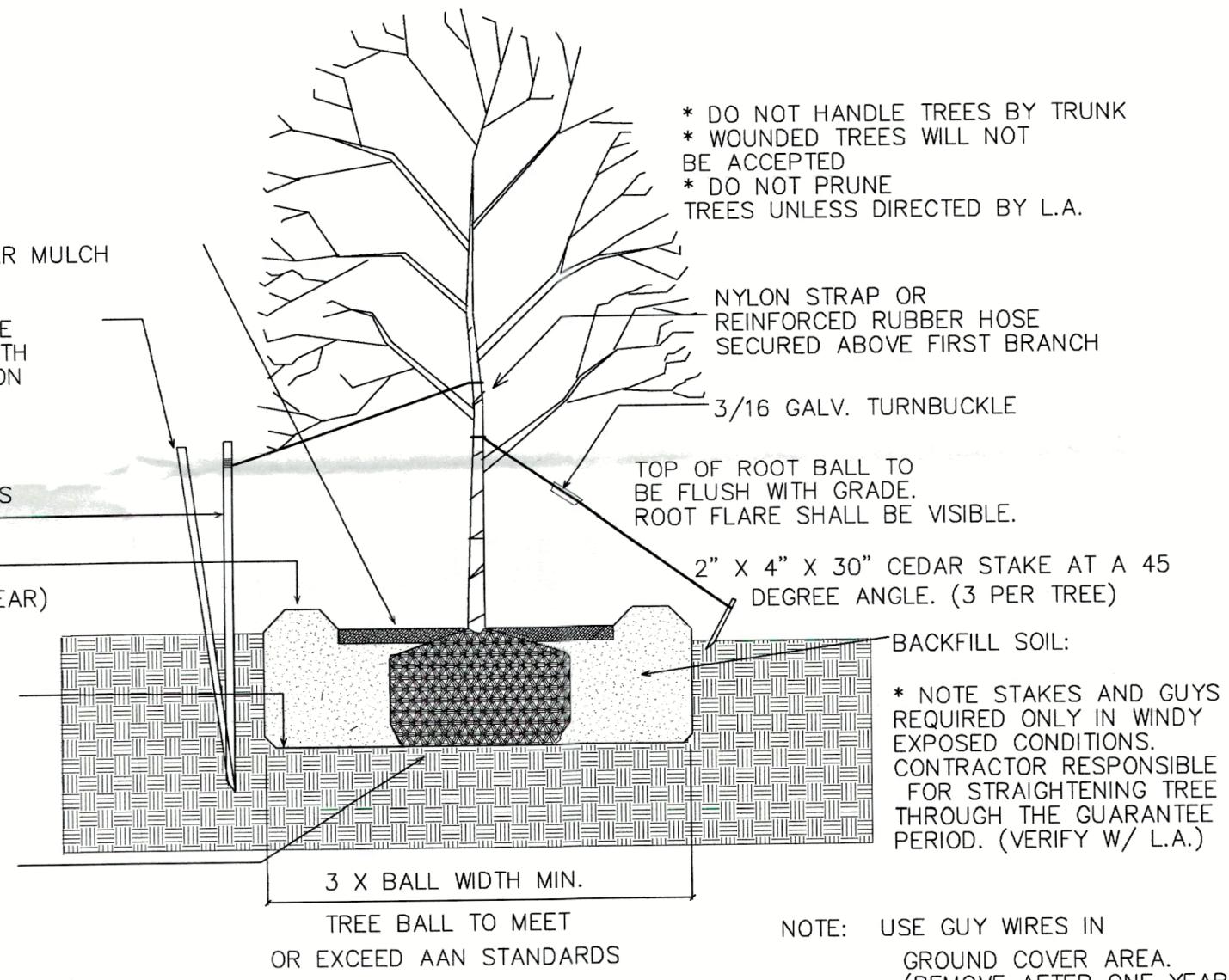
DRIVE STAKES AT ANGLE AND DRAW VERITCAL WITH WIRE TO CREATE TENSION

3" X 3" MILLED CEDAR OR 4" DIAM. NATURAL CEDAR STAKES (2 PER TREE)

2" SAUCER (REMOVE AFTER ONE YEAR)

REPORT ANY SUBSOIL WATER CONDITIONS TO L.A. PRIOR TO ANY PLANT INSTALLATION

SET ROOT BALL ON FIRM, UNDISTURBED SUBGRADE



TREE PLANTING DETAIL

FOR TREES UP TO 6" CALIPER

NTS

- * DO NOT HANDLE TREES BY TRUNK
- * WOUNDED TREES WILL NOT BE ACCEPTED
- * DO NOT PRUNE TREES UNLESS DIRECTED BY L.A.

Russell C. Jordan Architect
 44 Casino Street, Freeport, New York 11520
 Phone: 516-241-6669
 E-mail: Rjordan@rcj.com

862 South Long Beach Ave.
 Freeport, NY 11520

Proposed Landscape Plan
 Details

Revisions	
#000	00-00-2005

Version:
 Schematic
 Not for Construction

LS-2.00

Application Date: 7/31/23
Fees Paid: 750.00

SP# 3654

INCORPORATED VILLAGE OF FREEPORT
SITE PLAN REVIEW APPLICATION
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 120 Guy Lombardo Avenue, Freeport, New York ZONING DISTRICT Business B
SECTION 62 BLOCK 108 LOT 9, 25, and 102 LOT SIZE: 0.68 acres

<input checked="" type="checkbox"/> TENANT APPLICANT	<input checked="" type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>New York SMSA Limited Partnership d/b/a Verizon Wireless</u>		Name: <u>Verizon New York Inc.</u>
Address: <u>c/o Amato Law Group, PLLC</u>		Address: <u>140 West Street, New York, New York 1007</u>
<u>666 Old Country Road, Suite 901, Garden City, NY 11530</u>		
Telephone #: <u>(516) 227-6363</u>		Telephone #: <u>(845) 838-9982</u>

Attorney Name: Amato Law Group, PLLC / Jessica Zalin, Esq. and Kerry Foster, Esq. Address: 666 Old Country Road, Suite 901 Garden City, NY 11530
(optional) Phone #: (516) 227-6363

Present Land Use: commercial / office building Proposed Land Use: same as existing, and public utility wireless communication facility

Description of Proposed Work: Applicant New York SMSA Limited Partnership d/b/a Verizon Wireless proposes to install a new public utility wireless communication facility on the rooftop of the existing building at the property, as more fully depicted on the zoning drawings submitted herewith and incorporated herein.

I request a preliminary meeting: YES NO

I request a waiver of the public hearing and hereby certify the following:
A. The subject property is zoned Residence A or Residence AA.
B. The proposed construction is not a new building or dwelling.
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.

New York SMSA Limited Partnership d/b/a Verizon Wireless YES NO
By: [Signature] DATE 7/4/23

Sworn to before me this 4 day of July, 2023
Notary Public Name: Robert Szaniawski Title: Network Engineering Real Estate
No. 02DE5080491 Qualified in Suffolk County 2026
My Commission Expires 05-20-2022

Property Owner's Consent:
I, Verizon New York Inc. am (are) the owner(s) of the subject property and consent to the filing of this application.
By: [Signature] DATE 6-26-23

PROPERTY OWNER'S SIGNATURE Name: Dwight DeJesus DATE
Sworn to before me this 26 day of JUNE, 2023. Title: Global Real Estate, Senior Manager
Notary Public Name: ELBERTA LYNN GAITHER
Notary Public, State of New York
No. 01GA6334994
Qualified in Dutchess County
Commission Expires December 28, 2023

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: <input type="checkbox"/> YES <input type="checkbox"/> NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	<input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____
Planning Board Signature: _____	Date: _____



INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

ROBERT T. KENNEDY
MAYOR

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

June 20, 2023
SITE PLAN LETTER

NYSMSA
120 Guy Lombardo Avenue
Freeport, NY 11520

RE: 120 Guy Lombardo Avenue, Freeport, NY
Zoning District: Business B Sec. 62 Blk. 108 Lot 9
Building Permit Application #20233277
Description: Install a new public utility wireless communication facility on rooftop of building

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the **Village Clerk's Office at 516-377-3632** to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the **VILLAGE CLERK'S OFFICE** at 377-2300.

Very truly yours,

Sergio A. Mauras
Superintendent of Buildings

RECEIVED
2023 JUL 31 A 11:04
VILLAGE CLERK'S OFFICE
FREEPORT, NY

c/d
encl.
c : Village Clerk
Amato Law Group, PLLC

ZBA Approval Needed: Yes No

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project :

Building Permit App. 20233277

Location: 120 Guy Lombardo Avenue, Freeport, NY

Applicant: NYSMA Limited Partnership d/b/a Verizon Wireless

Description: Install a new public utility wireless communication facility on rooftop of building

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) _____

B) Possible environment effects identified:
(only if positive determination)

Dated: June 20, 2023


Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

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**Full Environmental Assessment Form
Part 1 - Project and Setting**

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Applicant/Sponsor Information.

Name of Action or Project: Proposed Verizon Wireless Communication Facility- Freeport Relo		
Project Location (describe, and attach a general location map): 120 Guy Lombardo Avenue in the Incorporated Village of Freeport, Nassau County, New York (NCTM # Section 62 - Block 100 - Lots 9, 25, and 102) (see attached Site Location Map)		
Brief Description of Proposed Action (include purpose or need): See Attachment.		
Name of Applicant/Sponsor: New York SMSA Limited Partnership d/b/a Verizon Wireless		Telephone: See Project Contact below E-Mail: See Project Contact below
Address: 4 Centerock Road		
City/PO: West Nyack	State: New York	Zip Code: 10994
Project Contact (if not same as sponsor; give name and title/role): Jessica Zalin, Esq., Amato Law Group, PLLC		Telephone: (516) 227-6363 E-Mail: jzalin@amatofirm.com
Address: 666 Old Country Road, Suite 901		
City/PO: Garden City	State: New York	Zip Code: 11530
Property Owner (if not same as sponsor): Verizon New York Inc.		Telephone: (804) 772-6707 E-Mail:
Address: 140 West Street		
City/PO: New York	State: New York	Zip Code: 10007



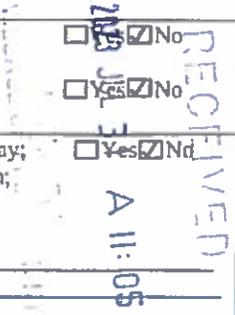
B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)		
Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Council, Town Board, <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No or Village Board of Trustees		
b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Village of Freeport Planning Board - Site Plan Approval	
c. City, Town or Village Zoning Board of Appeals <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Village of Freeport Zoning Board of Appeals - Variance for Height of Screening Enclosure	
d. Other local agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Village of Freeport Building Department - Building Permit and Electrical Permit	
e. County agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources. <ul style="list-style-type: none"> i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No iii. Is the project site within a Coastal Erosion Hazard Area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No 		



C. Planning and Zoning

C.1. Planning and zoning actions.	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<ul style="list-style-type: none"> • If Yes, complete sections C, F and G. • If No, proceed to question C.2 and complete all remaining sections and questions in Part I 	
C.2. Adopted land use plans.	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	
<hr/> <hr/> <hr/>	
c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	
<hr/> <hr/> <hr/>	



C.3. Zoning

- a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. Yes No
 If Yes, what is the zoning classification(s) including any applicable overlay district?
Business B (B-B) Zoning District of the Village of Freeport
- b. Is the use permitted or allowed by a special or conditional use permit? Yes No
- c. Is a zoning change requested as part of the proposed action? Yes No
 If Yes,
 i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

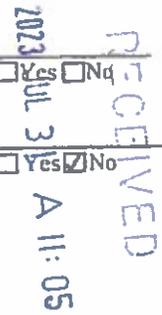
- a. In what school district is the project site located? Freeport Public Schools
- b. What police or other public protection forces serve the project site?
Freeport Police Department
- c. Which fire protection and emergency medical services serve the project site?
Freeport Fire Department provides both fire protection and emergency medical services to the Subject Property.
- d. What parks serve the project site?
N/A - The proposed wireless communications facility is unmanned and will not place a demand on or utilize park



D. Project Details

D.1. Proposed and Potential Development

- a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Public Utility wireless communication facility
- b. a. Total acreage of the site of the proposed action? 0.68± acres
 b. Total acreage to be physically disturbed? 0.00 acres
 c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 0.016± acres **
- c. Is the proposed action an expansion of an existing project or use? Yes No
 i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____
- d. Is the proposed action a subdivision, or does it include a subdivision? Yes No
 If Yes,
 i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types) _____
 ii. Is a cluster/conservation layout proposed? Yes No
 iii. Number of lots proposed? _____
 iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____
- e. Will the proposed action be constructed in multiple phases? Yes No
 i. If No, anticipated period of construction: 1-3± months
 ii. If Yes:
 • Total number of phases anticipated _____
 • Anticipated commencement date of phase 1 (including demolition) _____ month _____ year
 • Anticipated completion date of final phase _____ month _____ year
 • Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____



*The proposed wireless communications facility would be located entirely upon the rooftop of an existing public utility building. No new ground disturbance is proposed.
 **Refers to the proposed 710±-square-foot Verizon Wireless lease area on the existing building.

f. Does the project include new residential uses? Yes No
 If Yes, show numbers of units proposed.

	One Family	Two Family	Three Family	Multiple Family (four or more)
Initial Phase	_____	_____	_____	_____
At completion of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)? Yes No
 If Yes, (refers to the proposed screening enclosure)

i. Total number of structures 1

ii. Dimensions (in feet) of largest proposed structure: 8 height; 18'-7" width; and 30'-9" length

iii. Approximate extent of building space to be heated or cooled: N/A square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? Yes No
 If Yes,

i. Purpose of the impoundment: _____

ii. If a water impoundment, the principal source of the water: Ground water Surface water streams Other specify: _____

iii. If other than water, identify the type of impounded/contained liquids and their source. _____

iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres

v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? Yes No
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)

If Yes:

i. What is the purpose of the excavation or dredging? _____

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): _____
- Over what duration of time? _____

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them: _____

iv. Will there be onsite dewatering or processing of excavated materials? Yes No
 If yes, describe. _____

v. What is the total area to be dredged or excavated? _____ acres

vi. What is the maximum area to be worked at any one time? _____ acres

vii. What would be the maximum depth of excavation or dredging? _____ feet

viii. Will the excavation require blasting? Yes No

ix. Summarize site reclamation goals and plan: _____

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? Yes No
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____

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ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will the proposed action cause or result in disturbance to bottom sediments? Yes No
If Yes, describe: _____

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation? Yes No
If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? Yes No
If Yes: (Unmanned facility - no potable water required)

i. Total anticipated water usage/demand per day: _____ gallons/day

ii. Will the proposed action obtain water from an existing public water supply? Yes No

If Yes:

- Name of district or service area: _____
- Does the existing public water supply have capacity to serve the proposal? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No
- Do existing lines serve the project site? Yes No



iii. Will line extension within an existing district be necessary to supply the project? Yes No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? Yes No

If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? Yes No
If Yes: (Unmanned facility - no liquid waste generation)

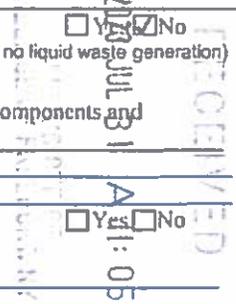
i. Total anticipated liquid waste generation per day: _____ gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____

iii. Will the proposed action use any existing public wastewater treatment facilities? Yes No

If Yes:

- Name of wastewater treatment plant to be used: _____
- Name of district: _____
- Does the existing wastewater treatment plant have capacity to serve the project? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No



- Do existing sewer lines serve the project site? Yes No
- Will a line extension within an existing district be necessary to serve the project? Yes No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? Yes No

If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- What is the receiving water for the wastewater discharge? _____

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____

c. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? Yes No

If Yes:

i. How much impervious surface will the project create in relation to total size of project parcel?

_____ Square feet or _____ acres (impervious surface)
 _____ Square feet or _____ acres (parcel size)

ii. Describe types of new point sources. _____

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?

- If to surface waters, identify receiving water bodies or wetlands: _____

- Will stormwater runoff flow to adjacent properties? Yes No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? Yes No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? Yes No *

If Yes, identify:

i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)

ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)

iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? Yes No

If Yes:

i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) Yes No

ii. In addition to emissions as calculated in the application, the project will generate:

- _____ Tons/year (short tons) of Carbon Dioxide (CO₂)
- _____ Tons/year (short tons) of Nitrous Oxide (N₂O)
- _____ Tons/year (short tons) of Perfluorocarbons (PFCs)
- _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆)
- _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)
- _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

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 AIR QUALITY DIVISION

*Construction of the proposed facility will not necessarily involve the generation of emissions. It is possible that, during the limited construction period (i.e., approximately one-to-three months), that minor emissions may occur related to equipment (e.g., crane, generator) and/or the transport of equipment, supplies and labor.

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? Yes No

If Yes:

i. Estimate methane generation in tons/year (metric): _____

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? Yes No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? Yes No

If Yes:

i. When is the peak traffic expected (Check all that apply): Morning Evening Weekend
 Randomly between hours of _____ to _____

ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____

iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____

iv. Does the proposed action include any shared use parking? Yes No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____

vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site? Yes No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? Yes No

If Yes:

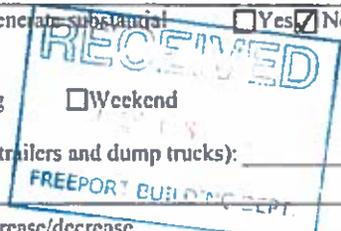
i. Estimate annual electricity demand during operation of the proposed action: _____
 A minimal increase in electricity usage associated with the operation of the proposed wireless communications facility.

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other):
 Via proposed connections to the electric grid (PSEG Long Island)

iii. Will the proposed action require a new, or an upgrade, to an existing substation? Yes No

l. Hours of operation. Answer all items which apply.

i. During Construction:		ii. During Operations:	
• Monday - Friday:	6:00 a.m. to 8:00 p.m.**	• Monday - Friday:	24 hours/day***
• Saturday:	None	• Saturday:	24 hours/day***
• Sunday:	None	• Sunday:	24 hours/day***
• Holidays:	None	• Holidays:	24 hours/day***



*Unmanned facility - approximately one vehicle trip per month by technician required for maintenance and inspection of equipment.
 **Represents permitted construction hours, during which noise levels of L10 of 70 db(A)s measured at a distance 400 feet from the construction site are permitted pursuant to the Village of Freeport noise regulations at Chapter 155 of the Village Code.
 ***Remotely monitored, unmanned wireless communications facility.

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m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? Yes No

If yes:

i. Provide details including sources, time of day and duration:

Ambient noise levels may be temporarily increased during installation activities, which would be performed between the hours of 6:00 a.m. and 8:00 p.m. on weekdays, but would not exceed L10 of 70 db(A)s when measured at a distance 400 feet from the construction site, in accordance with Village of Freeport noise regulations at Chapter 155 of the Town Code

ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? Yes No

Describe: _____

n. Will the proposed action have outdoor lighting? Yes No

If yes:

i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:

The proposed handrail mounted work light fixtures would be operable via a time switch and would be downward facing and shielded to prevent off-site light spill.

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? Yes No

Describe: _____

o. Does the proposed action have the potential to produce odors for more than one hour per day? Yes No

If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? Yes No

If Yes:

i. Product(s) to be stored _____

ii. Volume(s) _____ per unit time _____ (e.g., month, year)

iii. Generally, describe the proposed storage facilities: _____

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? Yes No

If Yes:

i. Describe proposed treatment(s): _____

ii. Will the proposed action use Integrated Pest Management Practices? Yes No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? Yes No

If Yes:

i. Describe any solid waste(s) to be generated during construction or operation of the facility:

- Construction: _____ tons per _____ (unit of time)
- Operation: _____ tons per _____ (unit of time)

ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:

- Construction: _____
- Operation: _____

iii. Proposed disposal methods/facilities for solid waste generated on-site:

- Construction: _____
- Operation: _____

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s. Does the proposed action include construction or modification of a solid waste management facility? Yes No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____

ii. Anticipated rate of disposal/processing:

- _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
- _____ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: _____ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? Yes No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

iii. Specify amount to be handled or generated _____ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes No

If Yes: provide name and location of facility: _____

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: _____



E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

Urban Industrial Commercial Residential (suburban) Rural (non-farm)

Forest Agriculture Aquatic Other (specify): Community Service (Freeport Memorial Library)

ii. If mix of uses, generally describe: _____

The Proposed Action is located upon the rooftop of an existing public utility building, along a mixed-use corridor consisting of commercial and single family residential uses, with commercial, single-family residential and industrial uses beyond.

b. Land uses and covertypes on the project site. N/A*

Land use or Covertype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces			
• Forested			
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)			
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: _____			

*The Proposed Action involves the construction of a Verizon Wireless communications facility upon an existing public utility building. There would be no ground disturbance, therefore, no change to ground cover or land use would result.

c. Is the project site presently used by members of the community for public recreation? Yes No
 i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? Yes No
 If Yes,
 i. Identify Facilities:
 Dodd Junior Highschool is located 670± feet north, De La Salle School is located 715± feet north, New Visions Elementary School is located 1,215± feet southeast, Woodward Children's Center is located 960± feet west, Hi-Hello Child Care Centers Inc. is located 1,115± feet southwest, and Freeport Memorial Library is located 460± feet northwest from the Subject Property

e. Does the project site contain an existing dam? Yes No
 If Yes:
 i. Dimensions of the dam and impoundment:
 • Dam height: _____ feet
 • Dam length: _____ feet
 • Surface area: _____ acres
 • Volume impounded: _____ gallons OR acre-feet
 ii. Dam's existing hazard classification: _____
 iii. Provide date and summarize results of last inspection:

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? Yes No
 If Yes:
 i. Has the facility been formally closed? Yes No
 • If yes, cite sources/documentation: _____
 ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:

 iii. Describe any development constraints due to the prior solid waste activities: _____

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? Yes No
 If Yes:
 i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? Yes No
 If Yes:
 i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes No
 Yes - Spills Incidents database Provide DEC ID number(s): 9705833, 0500528
 Yes - Environmental Site Remediation database Provide DEC ID number(s): _____
 Neither database
 ii. If site has been subject of RCRA corrective activities, describe control measures: _____
 iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? Yes No
 If yes, provide DEC ID number(s): 130193
 iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):
 Spill #9705833 was closed 11/22/2010 and Spill #0500528 was closed 5/26/2010. Further, the Proposed Action would be located entirely upon the rooftop of the existing building and therefore would not be located in areas associated with the identified spills. Site 130193, located approximately 285 feet west of the Subject Property, is a State Superfund Site classified as O4 (site has been properly closed but requires continued site management consisting of operation, maintenance and/or monitoring). Remediation is complete and has successfully achieved Soil Cleanup Objectives for residential use. Residual contamination in the soil and groundwater is being managed under a Site Management Plan and a sub-slab depressurization system has been installed to mitigate on-site and building-wide soil vapor intrusion.

v. Is the project site subject to an institutional control limiting property uses? Yes No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? Yes No
- Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? _____ 1,300± feet below grade surface (bgs)

b. Are there bedrock outcroppings on the project site? Yes No
 If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %

c. Predominant soil type(s) present on project site: Ug (Urban land) _____ 100± %
 _____ %
 _____ %

d. What is the average depth to the water table on the project site? Average: _____ 10± feet

e. Drainage status of project site soils: Well Drained: _____ % of site
 Moderately Well Drained: _____ % of site
 Poorly Drained: _____ % of site

f. Approximate proportion of proposed action site with slopes: 0-10%: _____ % of site
 10-15%: _____ % of site
 15% or greater: _____ % of site

g. Are there any unique geologic features on the project site? Yes No
 If Yes, describe: _____

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? Yes No

ii. Do any wetlands or other waterbodies adjoin the project site? Yes No
 If Yes to either i or ii, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? Yes No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name _____ Classification _____
- Lakes or Ponds: Name _____ Classification _____
- Wetlands: Name _____ Approximate Size _____
- Wetland No. (if regulated by DEC) _____

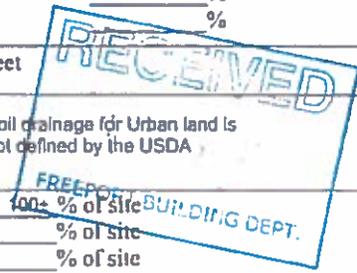
v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? Yes No
 If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? Yes No

j. Is the project site in the 100-year Floodplain? Yes No

k. Is the project site in the 500-year Floodplain? Yes No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? Yes No
 If Yes:
 i. Name of aquifer: Nassau-Suffolk Sole Source Aquifer



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m. Identify the predominant wildlife species that occupy or use the project site: _____
 Typical suburban species (songbirds, squirrels, etc.) may be present at the overall Subject Property. However, the proposed site does not contain any natural areas.

n. Does the project site contain a designated significant natural community? Yes No
 If Yes:
 i. Describe the habitat/community (composition, function, and basis for designation): _____
 ii. Source(s) of description or evaluation: _____
 iii. Extent of community/habitat:
 • Currently: _____ acres
 • Following completion of project as proposed: _____ acres
 • Gain or loss (indicate + or -): _____ acres

o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? Yes No
 If Yes:
 i. Species and listing (endangered or threatened): _____

p. Does the project site contain any species of plant or animal that is listed by NYS as rare or of special concern? Yes No
 If Yes:
 i. Species and listing: _____

q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? Yes No
 If yes, give a brief description of how the proposed action may affect that use: _____

E.3. Designated Public Resources On or Near Project Site

a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? Yes No
 If Yes, provide county plus district name/number: _____

b. Are agricultural lands consisting of highly productive soils present? Yes No
 i. If Yes: acreage(s) on project site? _____
 ii. Source(s) of soil rating(s): _____

c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? Yes No
 If Yes:
 i. Nature of the natural landmark: Biological Community Geological Feature
 ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____

d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? Yes No
 If Yes:
 i. CEA name: _____
 ii. Basis for designation: _____
 iii. Designating agency and date: _____

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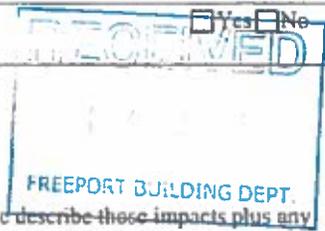
c. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? Yes No
 If Yes:
 i. Nature of historic/archaeological resource: Archaeological Site Historic Building or District
 ii. Name: _____
 iii. Brief description of attributes on which listing is based: _____

f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? Yes No

g. Have additional archaeological or historic site(s) or resources been identified on the project site? Yes No
 If Yes:
 i. Describe possible resource(s): _____
 ii. Basis for identification: _____

h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? Yes No
 If Yes:
 i. Identify resource: Meadowbrook Parkway, Southern State Parkway, Loop Parkway, Wanlagh Parkway**
 ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): Scenic byways
 iii. Distance between project and resource: 0.9±, 2.4±, 3.5±, 3.7± miles.

i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? Yes No
 If Yes:
 i. Identify the name of the river and its designation: _____
 ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? Yes No



F. Additional Information

Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe these impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name New York SMSA Limited Partnership d/b/a Verizon Wireless Date March 22, 2023

Signature [Signature] Title Senior Environmental Manager
 David M. Wortman
 VHB Engineering, Surveying, Landscape Architecture and Geology,
 P.C., as Environmental Consultant to the Applicant

*Although the Subject Property is located in an archaeologically sensitive area, as designated by New York State Office of Parks, Recreation and Historic Preservation's Cultural Resource Information System (CRIS), the property has been previously disturbed for development activities. Furthermore, the Proposed Action would occur upon an existing public utility building and would not involve any new ground disturbance. As such, it is not anticipated that archaeological deposits would be disturbed as a result of the Proposed Action.
 **Other similar resources (e.g., local parks) are present within a five-mile radius of the Proposed Action, which are not formally designated as scenic resources. Given the nature of the Proposed Action (i.e., construction of a new wireless communications facility upon an existing public utility building), there would be no discernible visual impact to any of these resources as a result of the Proposed Action.

PRINT FORM



Site Location Map

Proposed Verizon Wireless Communication Facility- Freeport Relo
120 Guy Lombardo Avenue, Incorporated Village of Freeport, Nassau County



 Subject Property

Source, Nassau County GIS



Proposed Verizon Wireless Communication Facility – Freeport Relo
120 Guy Lombardo Avenue, Incorporated Village of Freeport
Nassau County, New York

Full Environmental Assessment Form

Attachment

Page 1. Item A., Brief Description of the Proposed Action

The Proposed Action includes the installation of a new Verizon Wireless public utility wireless communications facility located upon the rooftop of an existing public utility building located at 120 Guy Lombardo Avenue in the Incorporated Village of Freeport, Nassau County, New York. Specifically, the Proposed Action includes the installation of fifteen (15) antennas, eighteen (18) Remote Radio Head (RRH) units and six (6) Main Distribution Boxes (MDBs) mounted within a proposed RF compatible screen enclosure with proposed wire mesh roof atop of an existing mechanical bulkhead in three (3) sectors (five [5] antennas, nine [9] RRH units and two [2] MDB per sector), with the proposed antennas reaching a top height of 83-feet-10±-inches above grade level (agl) and the proposed screen enclosure reaching a top height of 85±-feet agl. Four (4) existing GPS units owned by the property owner would be relocated to the top of the proposed screen enclosure. The proposed screen enclosure would be designed to match the existing bulkhead in pattern and color. The Proposed Action also involves the installation of three (3) antennas in three (3) sectors to be mounted to the building's façade at a height of 56-feet-5±-inches agl (one [1] Gamma antenna to be mounted at the northwest corner; one [1] Alpha antenna mounted at the northeast corner; and one [1] Beta antenna mounted to the building at the southeast corner). These antennas would be painted to match the existing buildings façades pattern and color. The Proposed Action also involves the installation of three (3) delta cabinets and electrical, electrical disconnect, ground and fiber boxes mounted on an existing steel dunnage platform. Four (4) GPS units, a power panel and work light fixtures are proposed to be installed on an existing handrail on the platform. The Proposed Action also includes the removal of two (2) existing dunnage mounted condensers. A proposed cable tray with six (6) 12x24 hibriflex cables would be routed from the proposed equipment area along the roof top to the mechanical bulkhead, and electrical and ground conduits are proposed to be routed through the fourth floor ceiling between the façade mounted antennas and the equipment area.





VISIBILITY ANALYSIS



FREEPORT RELO
120 GUY LOMBARDO AVENUE
FREEPORT, NY

PREPARED FOR:



PREPARED BY:

APT Engineering
567 Vauxhall Street Extension – Suite 311
Waterford, CT 06320



VISUAL ASSESSMENT & PHOTO-SIMULATIONS

At the request of New York SMSA Limited Partnership d/b/a Verizon Wireless ("Verizon"), APT Engineering, P.C. ("APT") completed a visual assessment and computer-generated photographic simulations in association with a proposed wireless telecommunications facility (the "Facility") at 120 Guy Lombardo Avenue in the Village of Freeport, Nassau County, New York (the "Site"). This assessment evaluates the potential visual effects of the proposed Facility from within a one-mile radius (the "Study Area").

Project Setting

The Site is located on the west side of Guy Lombardo Avenue, just south of West Merrick Road in the center of Freeport. It is developed with a four-story building with a rooftop bulkhead extending to a top height of approximately 77 feet above ground level ("AGL"), referred to hereafter as the "Building". Land use within the immediate area is a mix of commercial, high-density residential and institutional development. NY Route 27 ("Sunrise Highway") and the Long Island Rail Road corridor are located approximately 0.25-mile to the north of the Site.

The topography within the Study Area consists of level terrain. Ground elevations range from sea level along the shore of Freeport Creek \pm 0.5-mile southeast of the Site to approximately 42 feet above mean sea level ("AMSL") approximately 0.38-mile northwest of the Site. The urban environment has minimal tree cover (consisting primarily of deciduous landscaping) occupying 5 acres (or \pm 0.25%) of the 2,011-acre Study Area. Open water occupies approximately 46 acres (or \pm 2.29%).

Project Undertaking

Based on information contained in the Zoning Drawings (prepared by WFC Architects, dated February 3, 2023), Verizon would install a new radio-frequency-transparent extension ("RF screening") to the bulkhead, raising its height to approximately 85 feet AGL. A total of 15 antennas, 18 remote radio heads (RRHs), six (6) main distribution boxes, and ancillary equipment would be installed behind the RF screening. Four (4) existing GPS units on the bulkhead would be relocated to the top of the RF screening. Three (3) additional antennas would be flush mounted to the exterior of the Building, one (1) each on the northwest, northeast and southeast corner façades. Equipment cabinets would be located on the rooftop's existing steel dunnage currently utilized for condenser units. All cabling associated with the proposed Facility would be routed through the building, and would run along the rooftop in covered cable trays and continue up the side of the bulkhead, terminating behind the RF

screening. The RF screening and flush mounted antennas would match the Building's brick façade.

Methodology

APT used the combination of a predictive computer model, in-field analysis, and review of various data sources to evaluate the visibility associated with the proposed Facility on both a quantitative and qualitative basis. The predictive model provides a measurable assessment of visibility throughout the entire Study Area, including private properties and other areas inaccessible for direct observations. The in-field analysis consisted of a reconnaissance of the Study Area to record existing conditions, verify results of the model, inventory locations with views of the Building, and provide photographic documentation from publicly accessible areas. A description of the procedures used in the analysis is provided below.

Preliminary Computer Modeling

To conduct this assessment, a predictive computer model was developed specifically for this project using ESRI's ArcMap GIS¹ software and available GIS data. The predictive model incorporates Project- and Study Area-specific data, including the Site location, its ground elevation, and the proposed bulkhead height, as well as the surrounding topography, existing vegetation, and structures (the primary features that can block direct lines of sight).

A digital surface model ("DSM"), capturing both the natural and built features on the Earth's surface, was generated for the extent of the Study Area utilizing USGS ("USGS") Long Island NY 2014 LiDAR² LAS³ data points. LiDAR is a remote-sensing technology that develops elevation data by measuring the time it takes for laser light to return from the surface to the instrument's sensors. The varying reflectivity of objects also means that the "returns" can be classified based on the characteristics of the reflected light, normally into categories such as "bare earth," "vegetation," "road," "surface water" or "building." Derived from the 2014 LiDAR data, the LAS datasets contain the corresponding elevation point data and return classification values. The Study Area DSM incorporates the first return LAS dataset values that are associated with the highest feature in the landscape, typically a treetop, top of a building, and/or the highest point of other tall structures.

Once the DSM was generated, ESRI's Viewshed Tool was utilized to identify locations within the Study Area where the proposed Facility may be visible. ESRI's Viewshed Tool predicts visibility

¹ ArcMap is a Geographic Information System desktop application developed by the Environmental Systems Research Institute for creating maps, performing spatial analysis, and managing geographic data.

² Light Detection and Ranging

³ An LAS file is an industry-standard binary format for storing airborne LiDAR data.

by identifying those cells⁴ within the DSM that can be seen from an observer location. Cells where visibility was indicated were extracted and converted from a raster dataset to a polygon feature which was then overlaid onto aerial photograph and topographic base maps. Since the DSM includes the highest relative feature in the landscape, isolated “visible” cells are often indicated within heavily forested areas (e.g., from the top of the highest tree) or on building rooftops during the initial processing. It is recognized that these areas do not represent typical viewer locations and overstate visibility. As such, the resulting polygon feature is further refined by extracting those areas. The viewshed results are also cross-checked against the most current aerial photographs to assess whether significant changes (a new housing development, for example) have occurred since the time the LiDAR-based LAS datasets were captured.

The results of the preliminary analysis are intended to provide a representation of those areas where portions of the Facility may potentially be visible to the human eye without the aid of magnification, based on a viewer eye-height of five (5) feet above the ground and the combination of intervening topography, trees and other vegetation, and structures. However, the Facility may not necessarily be visible from all locations within those areas identified by the predictive model, which has its limitations. For instance, the computer model cannot account for mass density, tree diameters and branching variability of trees, or the degradation of views that occurs with distance. As a result, some areas depicted on the viewshed maps as theoretically offering potential visibility of the Facility may be over-predictive because the quality of those views is not sufficient for the human eye to recognize the Facility or discriminate it from other surrounding or intervening objects.

Field Reconnaissance

To supplement and fine tune the results of the computer modeling efforts, APT completed in-field verification activities consisting of a vehicular and pedestrian reconnaissance and photo-documentation. The field reconnaissance was completed on February 16, 2023. Weather conditions were favorable for the in-field activities with partly cloudy skies. APT conducted the reconnaissance of the Study Area by driving along roads and other publicly accessible locations to document and inventory where the Building could be seen above and through visual obstructions.

Photographic Documentation and Simulations

Visual observations from the reconnaissance were used to evaluate the results of the preliminary visibility mapping, including identifying any discrepancies in the initial modeling, and to obtain photo-documentation from representative locations within the Study Area.

⁴ Each DSM cell size is 1 square meter.

Photographs were taken with a Canon EOS 6D digital camera body⁵ and Canon EF 24 to 105 millimeter ("mm") zoom lens. The coordinates of the Building were entered as a "waypoint" into a handheld global positioning system ("GPS") device, with the "find" tool on the GPS unit then used to provide the distance and orientation to the proposed Facility location. The geographic coordinates of each photo location were recorded as meta data using GPS technology internal to the camera. APT used a standard focal length of 50 mm to present a consistent field of view.

Photographic simulations were generated to portray scaled renderings of the proposed Facility from 13 locations presented herein where the Facility will be seen above/through the trees. Using field data, site plan information and 3-dimensional (3D) modeling software, spatially referenced models of the Site and Facility were generated and merged. The geographic coordinates obtained in the field for the photograph locations were incorporated to produce virtual camera positions within the spatial 3D model. Photo-simulations were then created using a combination of renderings generated in the 3D model and photo-rendering software programs, which were ultimately composited and merged with the existing conditions photographs (using Adobe Photoshop image editing software). The scale of the subjects in the photograph (the Building) and the corresponding simulation (the Facility) is proportional to their surroundings.

For presentation purposes in this report, the photographs were produced in an approximate 7-inch by 10.5-inch format. When reproducing the images in this format size, we believe it is important to present the largest view while providing key contextual landscape elements (existing developments, street signs, utility poles, etc.) so that the viewer can determine the proportionate scale of each object within the scene. Photo-documentation of the field reconnaissance and photo-simulations of the proposed Facility are presented in the attachment at the end of this report. The photo-simulations are intended to provide the reader with a general understanding of the visual characteristics associated with the proposed RF screening and equipment from various locations. Photographs were taken from publicly accessible areas and unobstructed view lines were chosen wherever possible.

Table 1 – Photo Locations summarizes the photographs and simulations presented in the attachment to this report, and includes a description of each location, view orientation, distance from where the photo was taken relative to the Site, and the general characteristics of the view. The photo locations are depicted on the photolog and viewshed maps provided as attachments to this report.

⁵ The Canon EOS 6D is a full-framed camera which includes a lens receptor of the same size as the film used in 35 mm cameras. As such, the images produced are comparable to those taken with a conventional 35 mm camera.

Table 1 – Photo Locations

Photo	Location	Orientation	Distance to Site	Visibility
1	East Avenue	North/Northwest	± 0.15 Mile	Visible
2	Guy Lombardo Avenue	North/Northwest	± 410 Feet	Visible
3	Church Street	West	+ 0.16 Mile	Visible
4	Guy Lombardo Avenue	West	± 85 Feet	Visible
5	West Merrick Road	Southwest	± 0.15 Mile	Visible
6	Guy Lombardo Avenue – Parking Area	South/Southwest	± 0.14 Mile	Visible
7	Guy Lombardo Avenue	South	± 0.16 Mile	Visible
8	West Merrick Road	Southwest	± 340 Feet	Visible
9	Freeport Memorial Library – South Ocean Avenue	Southeast	± 0.11 Mile	Visible
10	Post Office – West Merrick Road	Southeast	± 440 Feet	Visible
11	West Merrick Road	East/Southeast	± 0.15 Mile	Visible
12	West Merrick Road	East	± 0.32 Mile	Visible
13	South Ocean Avenue	East	± 325 Feet	Visible
14	South Ocean Avenue at Smith Street	Northeast	± 0.11 Mile	Not Visible

Final Visibility Mapping

Information obtained during the field reconnaissance was incorporated into the mapping data layers, including observations of the field reconnaissance, the photograph locations, areas that experienced recent land use changes and those places where the initial model was found to over or under-predict visibility. Once the additional data was integrated into the model, APT recalculated the visibility of the proposed Facility within the Study Area.

Conclusions

As presented on the attached viewshed maps and the photo-simulations, visibility of the Facility would be limited primarily to areas where the existing Building is visible today, representing a very small portion of the Study Area (± 23 acres of the 2,011-acre Study Area, or 1.14%). The proposed Facility is expected to marginally increase the visibility by an additional ± 3 acres. As might be expected, additional views of the Facility would occur within areas immediately adjacent to where the Building is visible today, primarily within approximately 1/3 of a mile from the Site.

The results of this assessment demonstrate that areas currently experiencing partial or full views of the Building will likely have views of the Facility. The design of the bulkhead extension and painting of the flush mounted antennas to match the existing Building façade will be compatible with the Building and in harmony with adjacent buildings and structures, such that the Facility will minimize any visual impact on the community. As such, the proposed Facility will not harm the visual quality or character of the surrounding area.

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STATE OF ARIZONA
DEPARTMENT OF TRANSPORTATION

Limitations

The viewshed maps presented in the attachment to this report depict areas where the proposed Facility may potentially be visible to the human eye without the aid of magnification based on a viewer eye-height of five (5) feet above the ground and intervening topography, tree canopy, and structures. This analysis may not account for all visible locations, as it is based on the combination of computer modeling, incorporating aerial photographs, and in-field observations from publicly accessible locations. This analysis does not claim to depict the only areas, or all locations, where visibility may occur; it is intended to provide a representation of those areas where the Facility is likely to be seen.

The photo-simulations provide a representation of the Facility under similar settings as those encountered during the field review and reconnaissance. Views of the Facility can change throughout the seasons and the time of day, and are dependent on weather and other atmospheric conditions (e.g., haze, fog, clouds); the location, angle and intensity of the sun; and the specific viewer location. Weather conditions on the day of the field review included partly cloudy skies.

APT Engineering

Report prepared by:



Brian Gaudet
Project Manager

ATTACHMENTS

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NEW YORK STATE
OFFICE OF GENERAL SERVICES



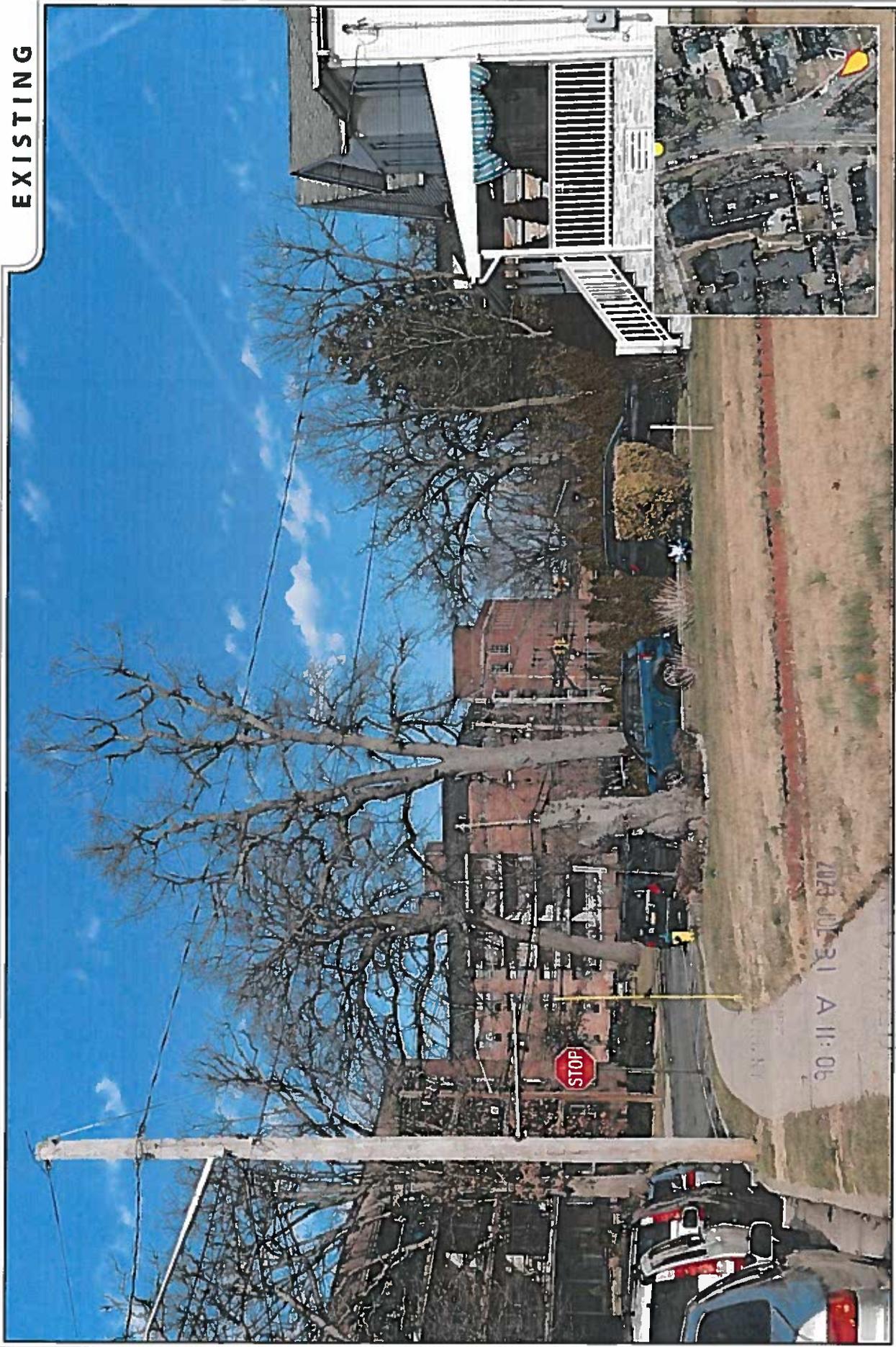
PHOTO LOG

- Legend
- Site
 - Visible
 - Not Visible



EXISTING

RECORDED ON 7/16/2023



PHOTO

1

LOCATION

EAST AVENUE

ORIENTATION

NNW

DISTANCE TO SITE

+/- 0.15 MILE

VISIBILITY

VISIBLE



verizon

PROPOSED

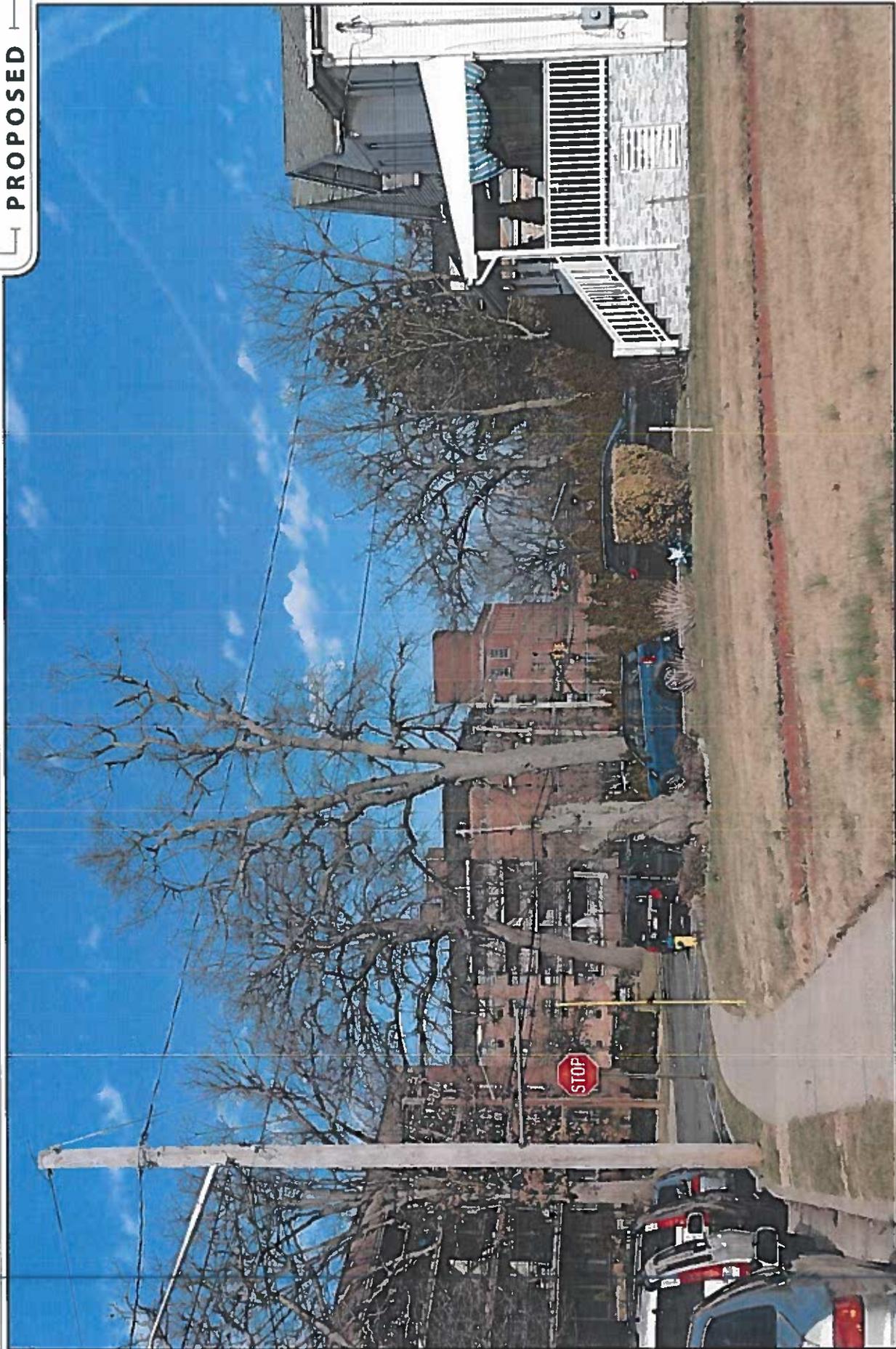


PHOTO
1

LOCATION
EAST AVENUE

ORIENTATION
NNW

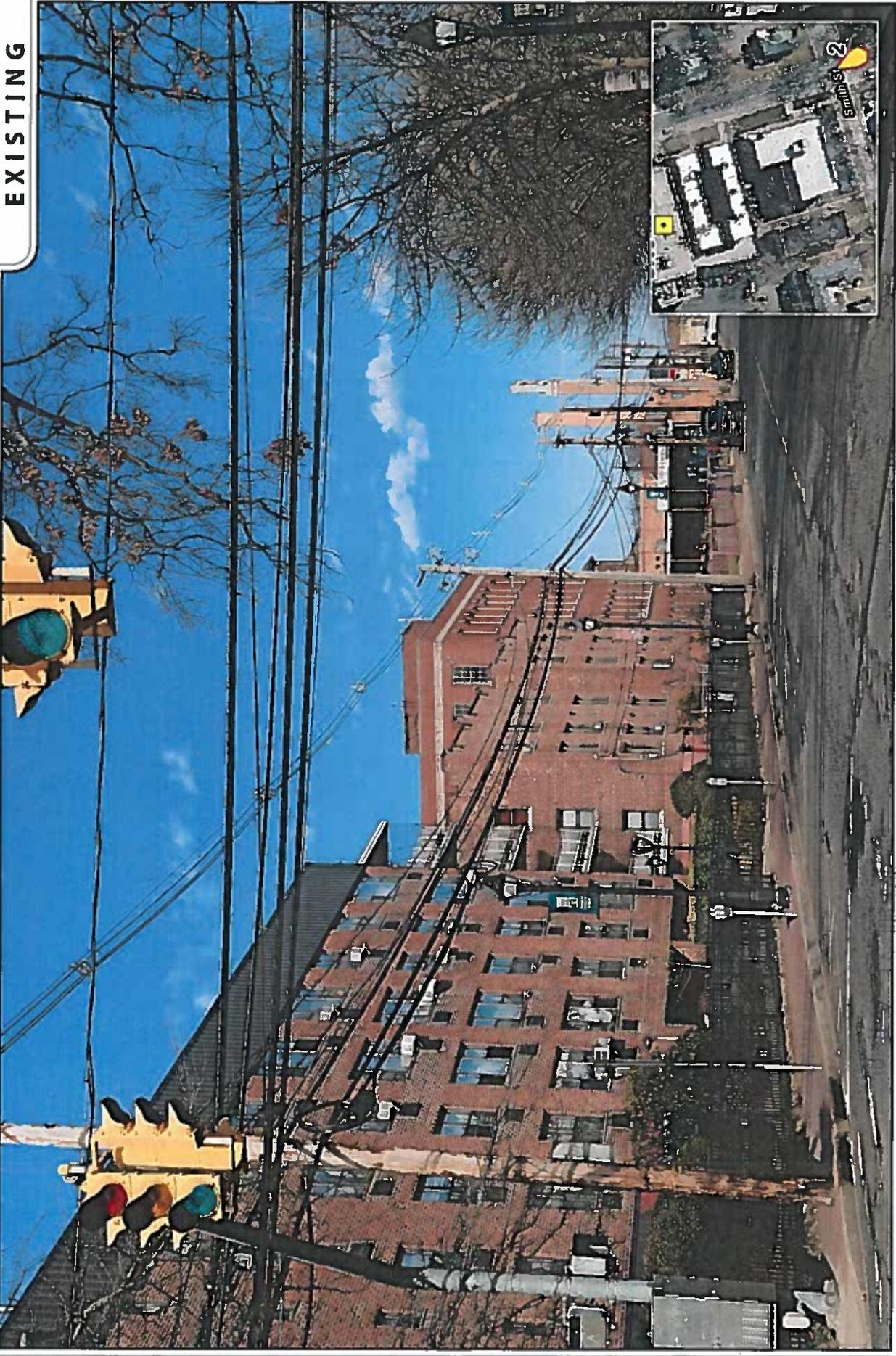
DISTANCE TO SITE
+/- 0.15 MILE

VISIBILITY
VISIBLE



verizon

EXISTING

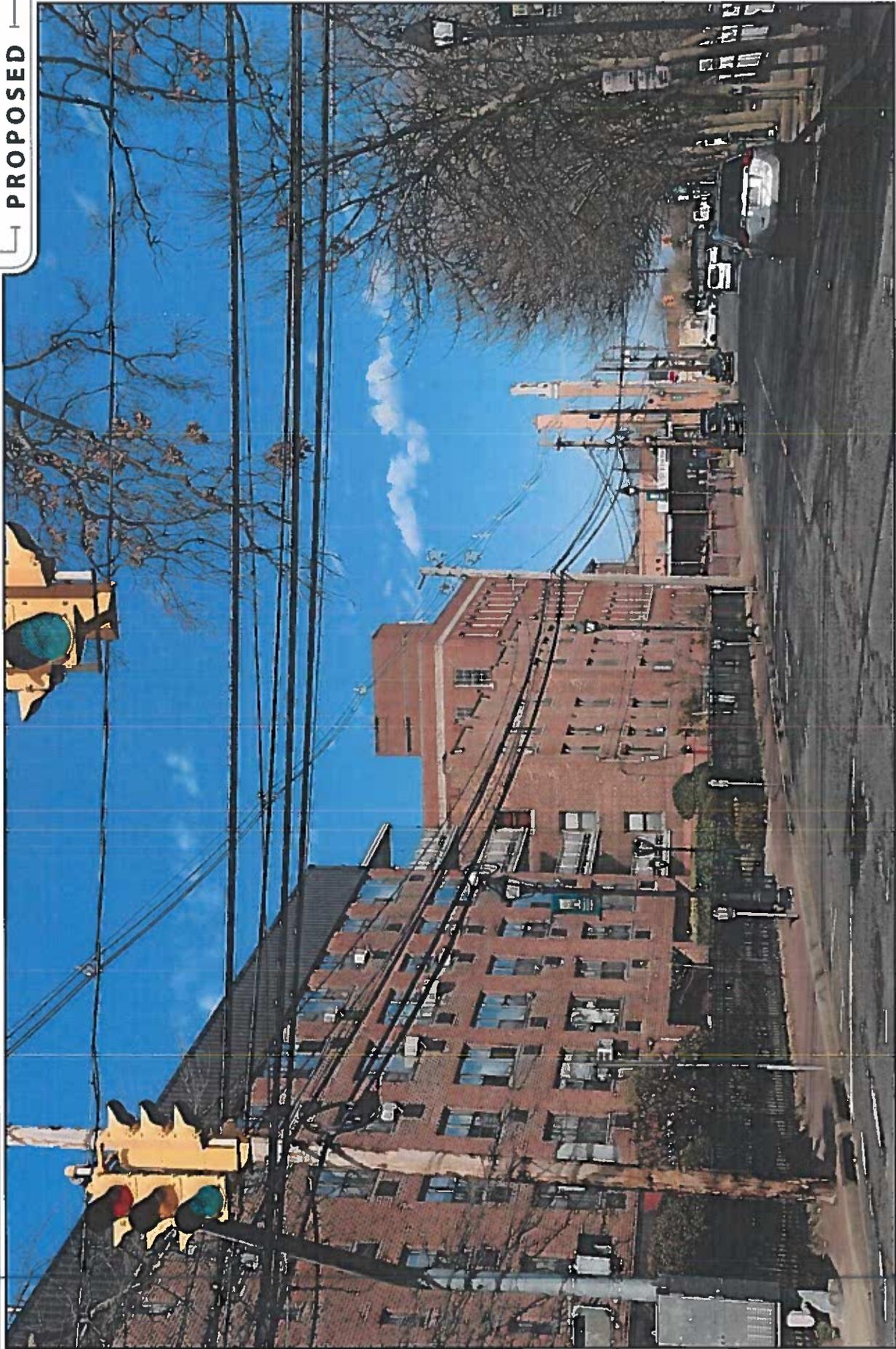


PROGRAMMED ON 2/16/2013

PHOTO	LOCATION	ORIENTATION	DISTANCE TO SITE	VISIBILITY
2	GUY LOMBARDO AVENUE	NNW	+/- 410 FEET	VISIBLE

RECEIVED

PROPOSED



PHOTO

2

LOCATION

GUY LOMBARDO AVENUE

ORIENTATION

NNW

DISTANCE TO SITE

+/- 410 FEET

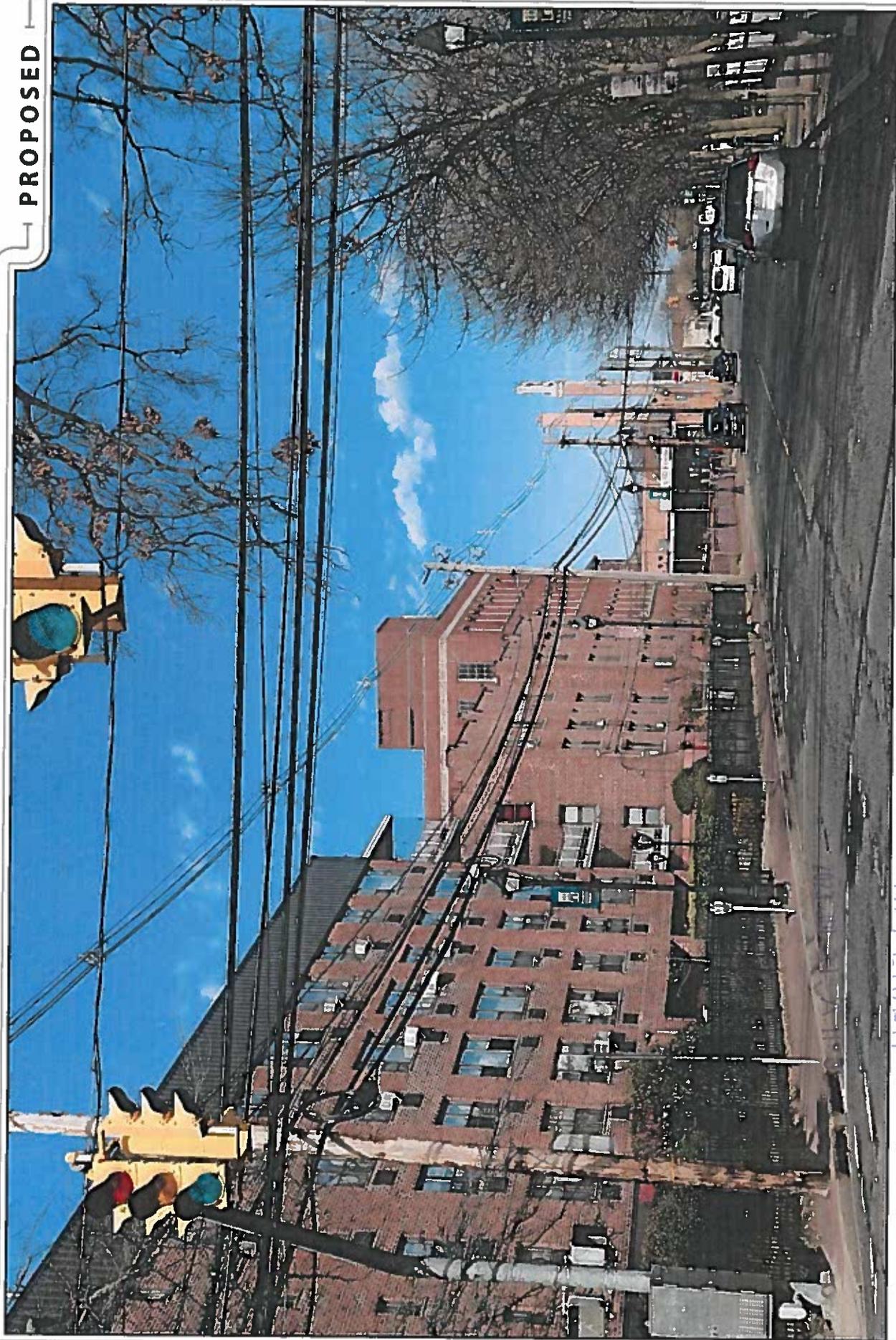
VISIBILITY

VISIBLE



verizon

PROPOSED



PHOTO

2

LOCATION

GUY LOMBARDO AVENUE

ORIENTATION

NNW

DISTANCE TO SITE

+/- 410 FEET

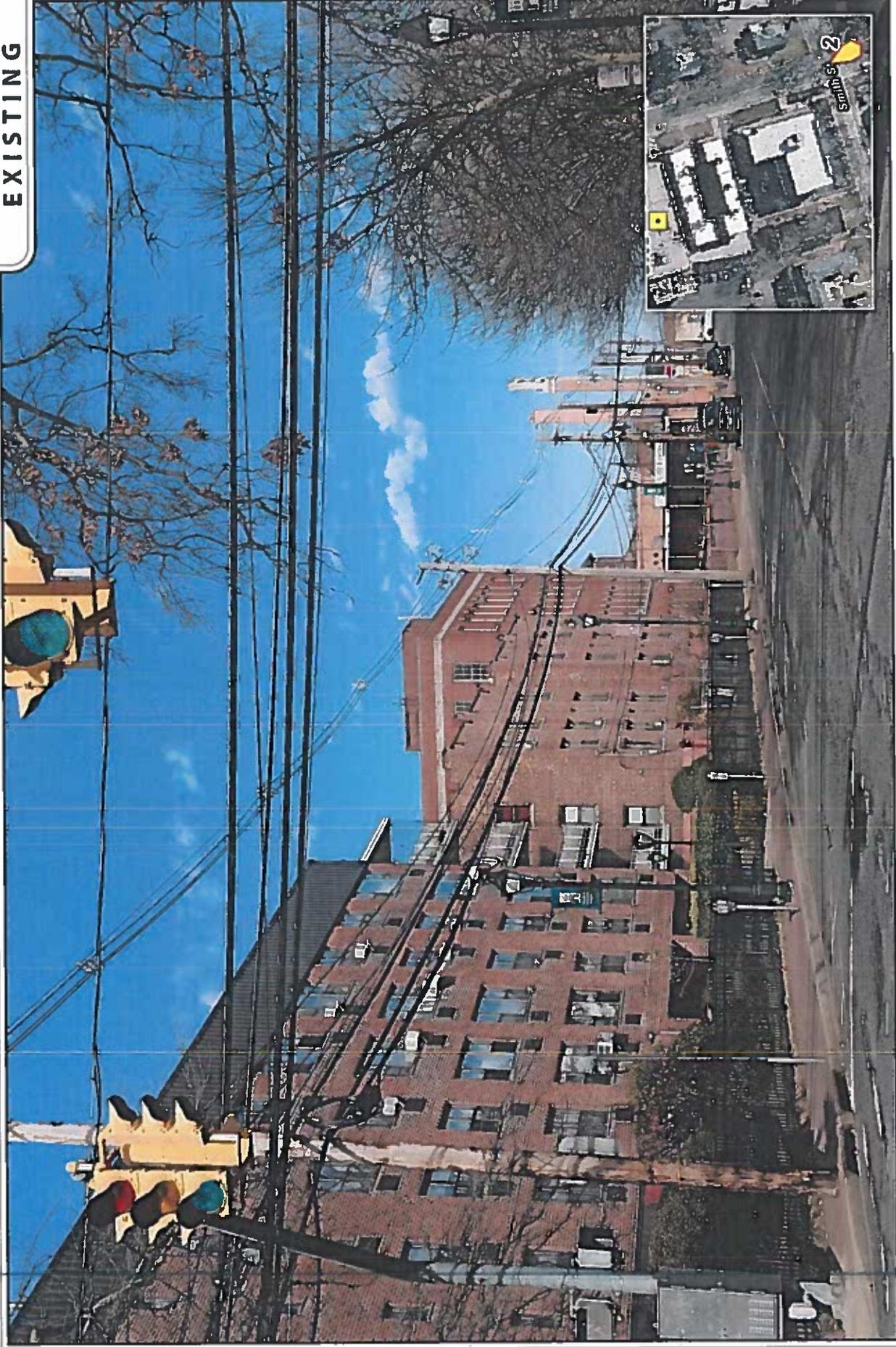
VISIBILITY

VISIBLE



verizon

EXISTING



PHOTOGRAPHED ON 2/17/2023

PHOTO

2

LOCATION

GUY LOMBARDO AVENUE

ORIENTATION

NNW

DISTANCE TO SITE

+/- 410 FEET

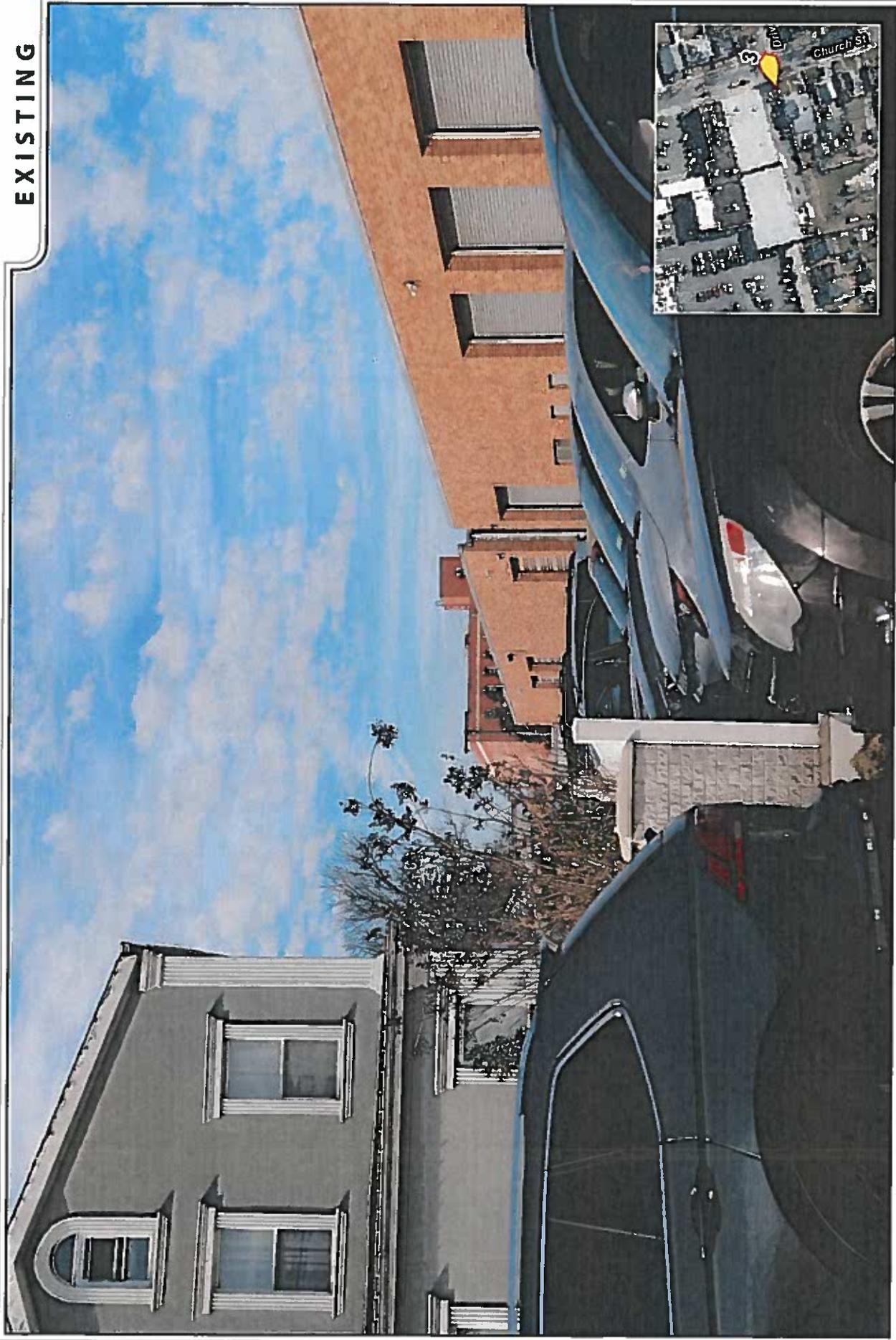
VISIBILITY

VISIBLE



EXISTING

PHOTOGRAPHED ON 7/16/2011



PHOTO

3

RECEIVED

LOCATION

CHURCH STREET

ORIENTATION

W

DISTANCE TO SITE

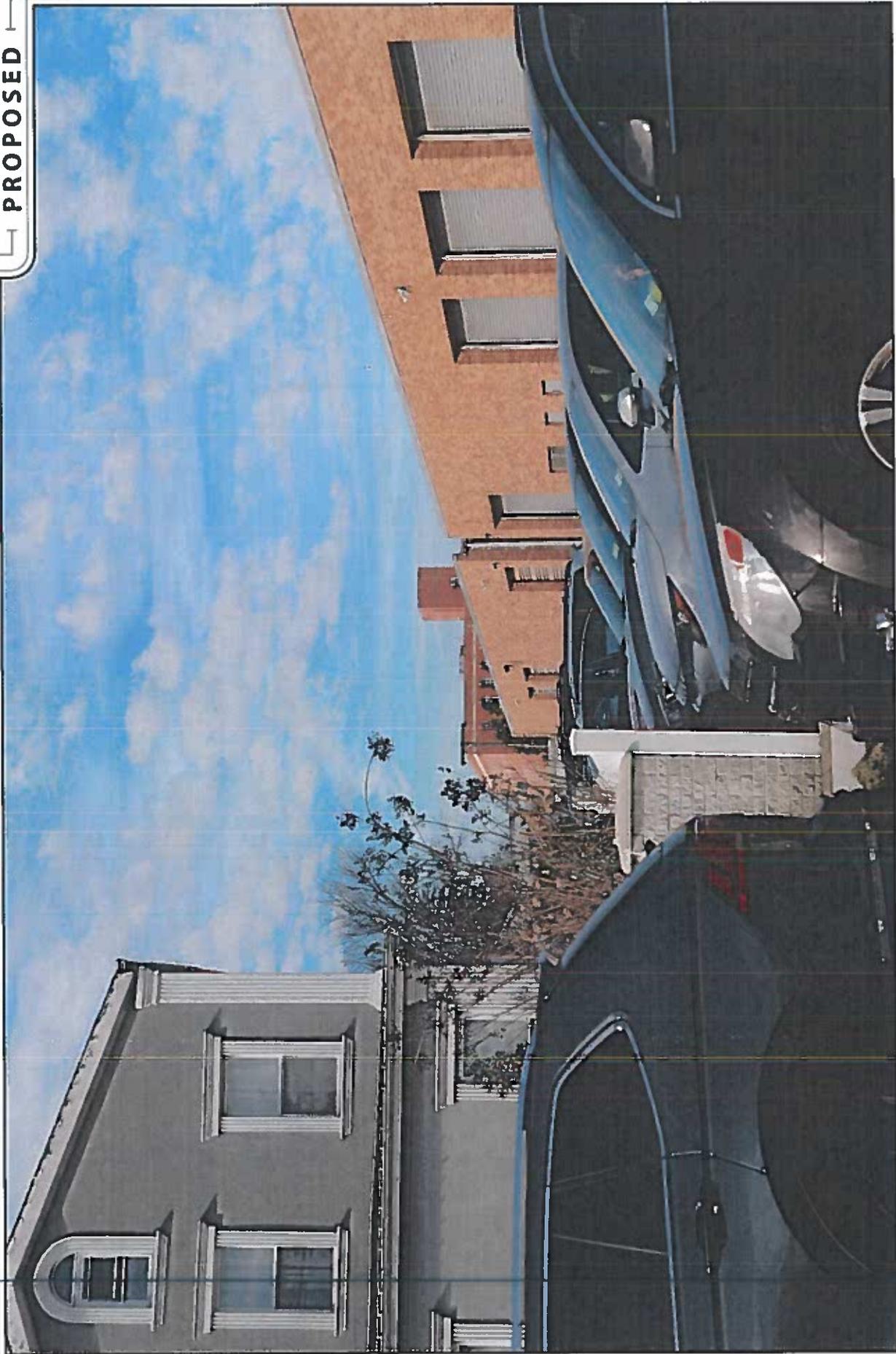
+/- 0.16 MILE

VISIBILITY

VISIBLE



PROPOSED



PHOTO

3

LOCATION

CHURCH STREET

ORIENTATION

W

DISTANCE TO SITE

+/- 0.16 MILE

VISIBILITY

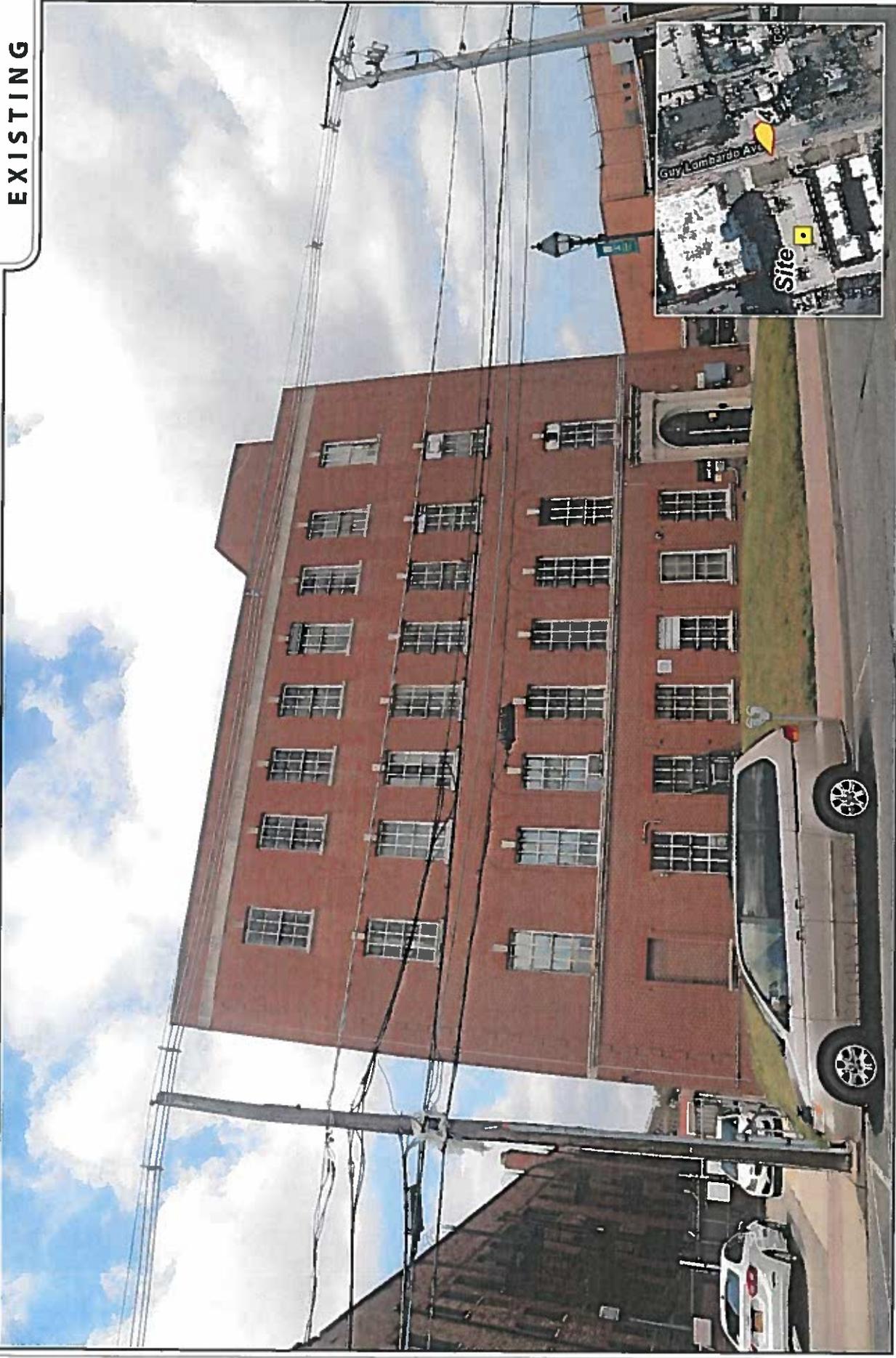
VISIBLE



verizon

EXISTING

PHOTOGRAPHED ON 7/16/2011



PHOTO

4

LOCATION
GUY LOMBARDO AVENUE

ORIENTATION
W

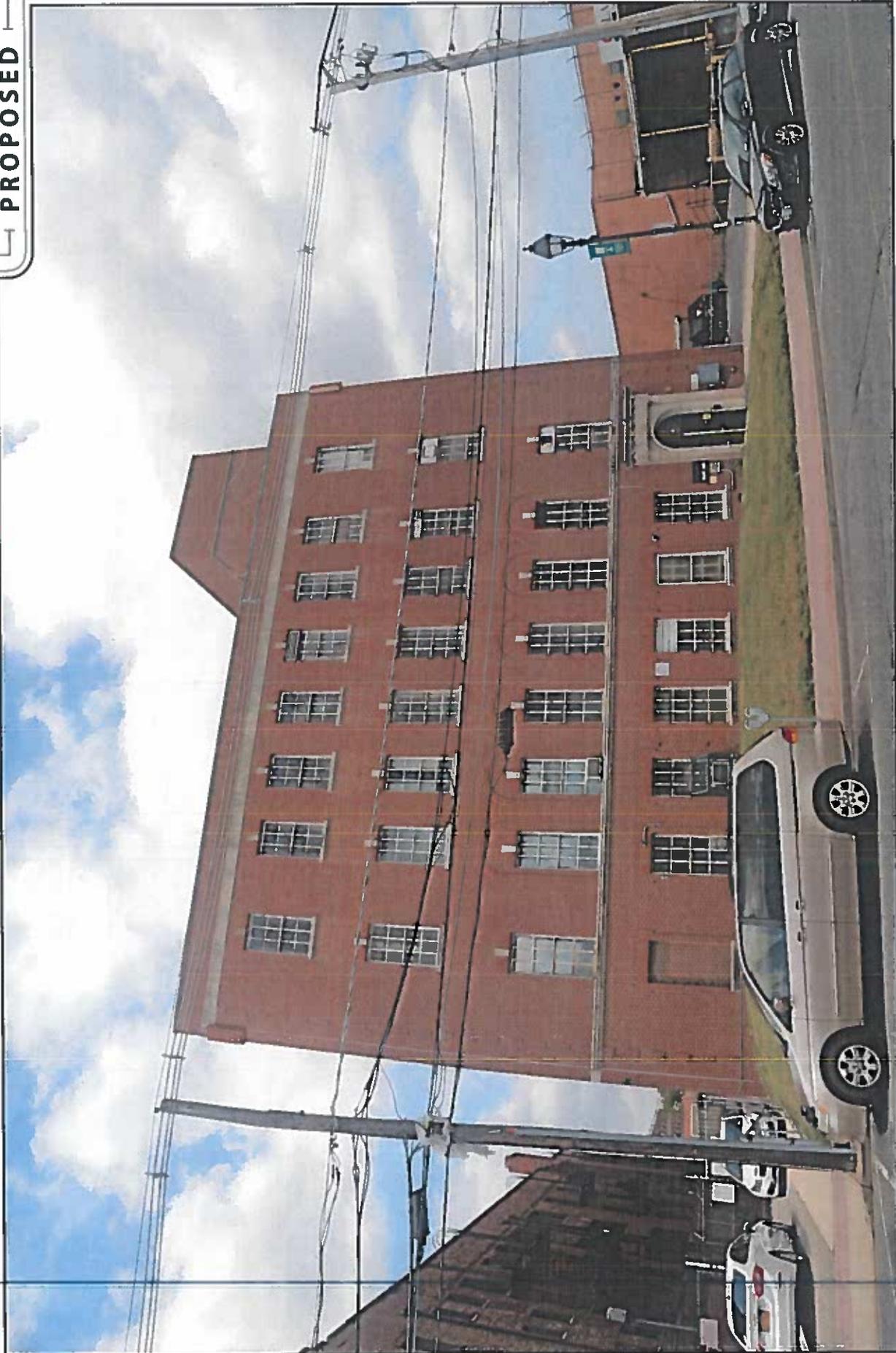
DISTANCE TO SITE
+/- 85 FEET

VISIBILITY
VISIBLE



verizon

PROPOSED



PHOTO

4

LOCATION

GUY LOMBARDO AVENUE

ORIENTATION

W

DISTANCE TO SITE

+/- 85 FEET

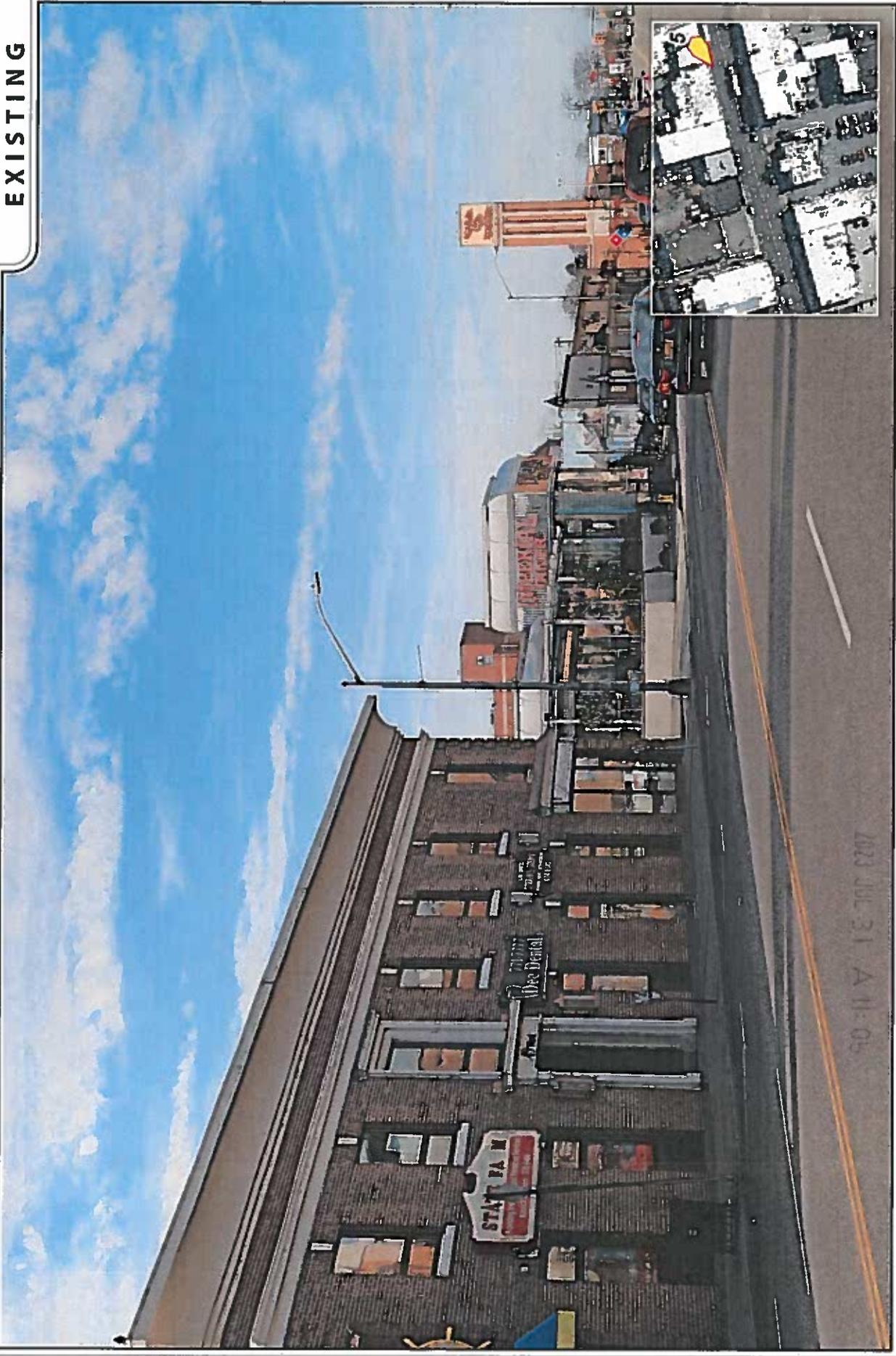
VISIBILITY

VISIBLE



verizon

EXISTING



RECORDED ON 2/16/2013

PHOTO	LOCATION	ORIENTATION	DISTANCE TO SITE	VISIBILITY
5	WEST MERRICK ROAD	SW	+/- 0.15 MILE	VISIBLE

PROPOSED

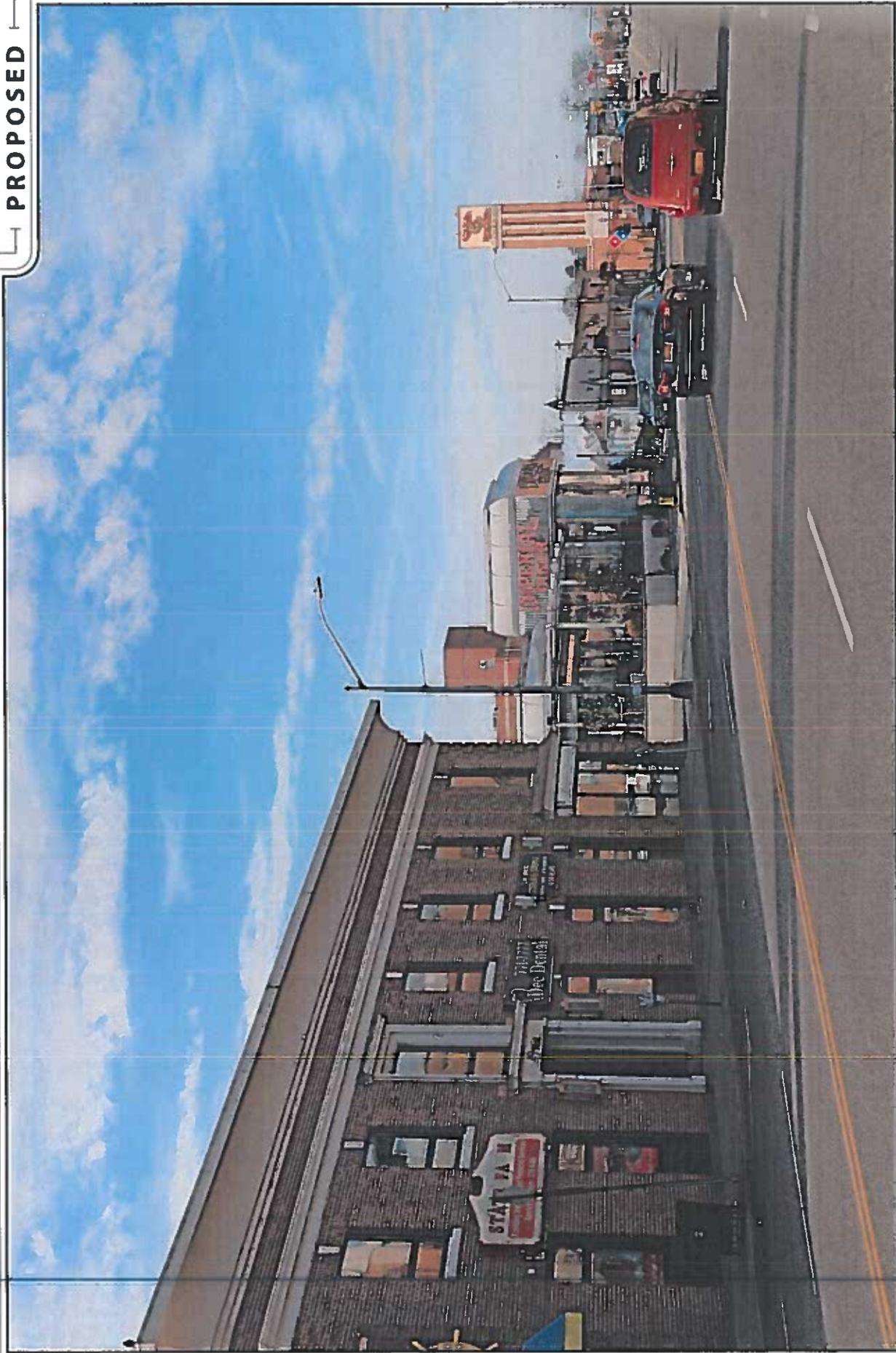


PHOTO
5

LOCATION
WEST MERRICK ROAD

ORIENTATION
SW

DISTANCE TO SITE
+/- 0.15 MILE

VISIBILITY
VISIBLE



verizon

EXISTING

PHOTOGRAPHED ON 2/16/2023

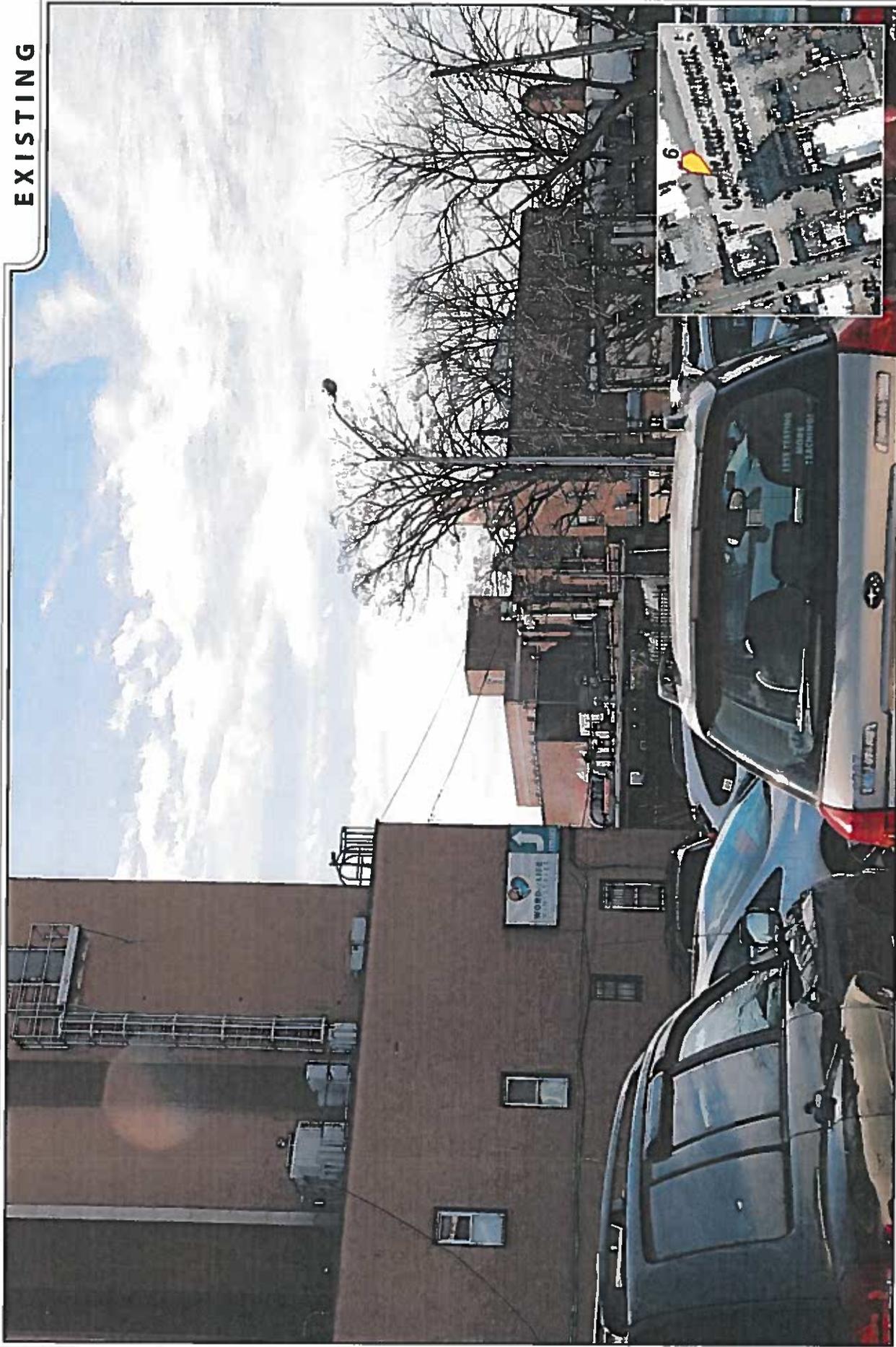


PHOTO	LOCATION	ORIENTATION	DISTANCE TO SITE	VISIBILITY
6	GUY LOMBARDO AVENUE - PARKING AREA	SSW	+/- 0.14 MILE	VISIBLE



verizon

PROPOSED

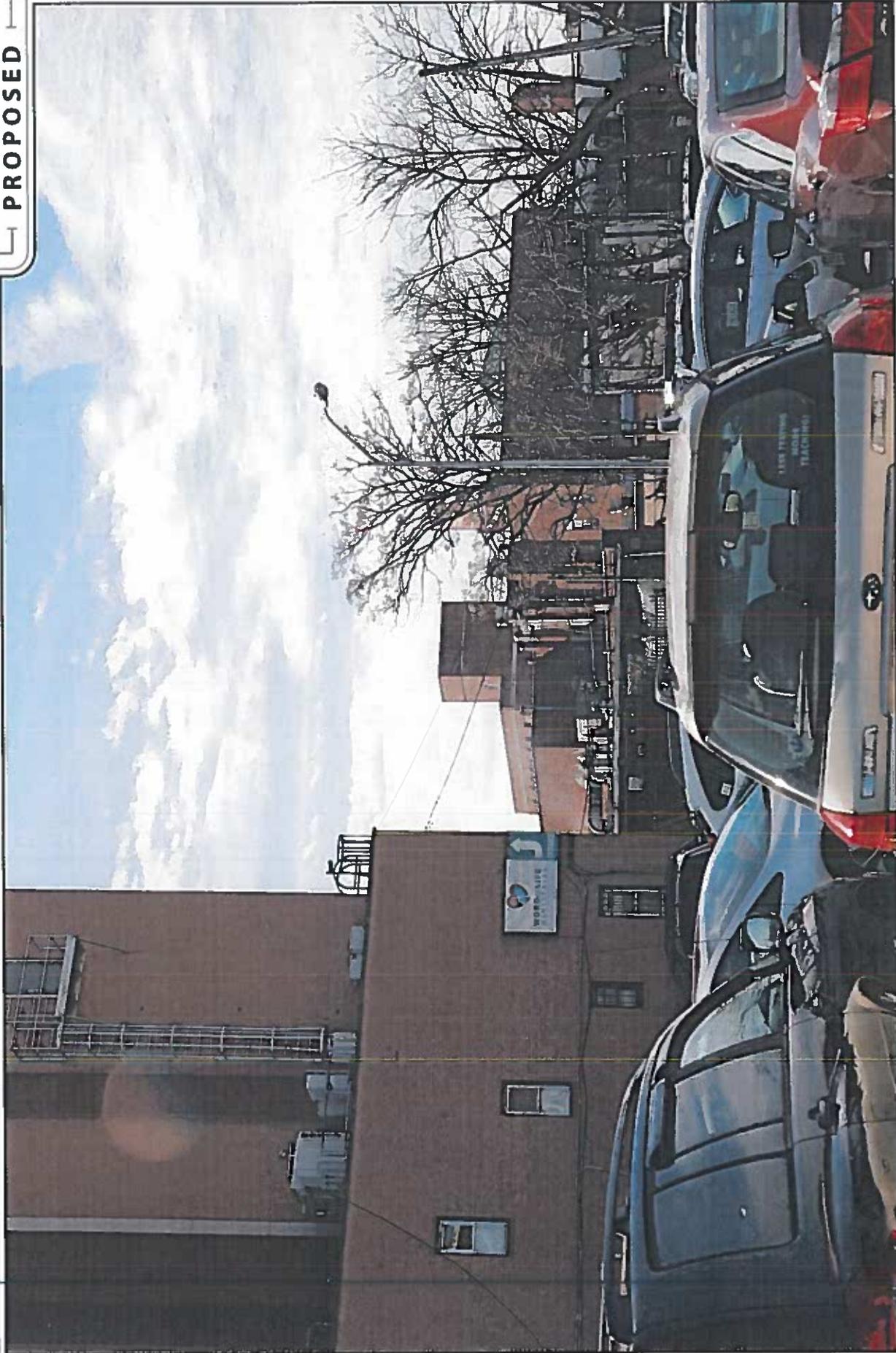


PHOTO
6

LOCATION

GUY LOMBARDO AVENUE - PARKING AREA

ORIENTATION

SSW

DISTANCE TO SITE

+/- 0.14 MILE

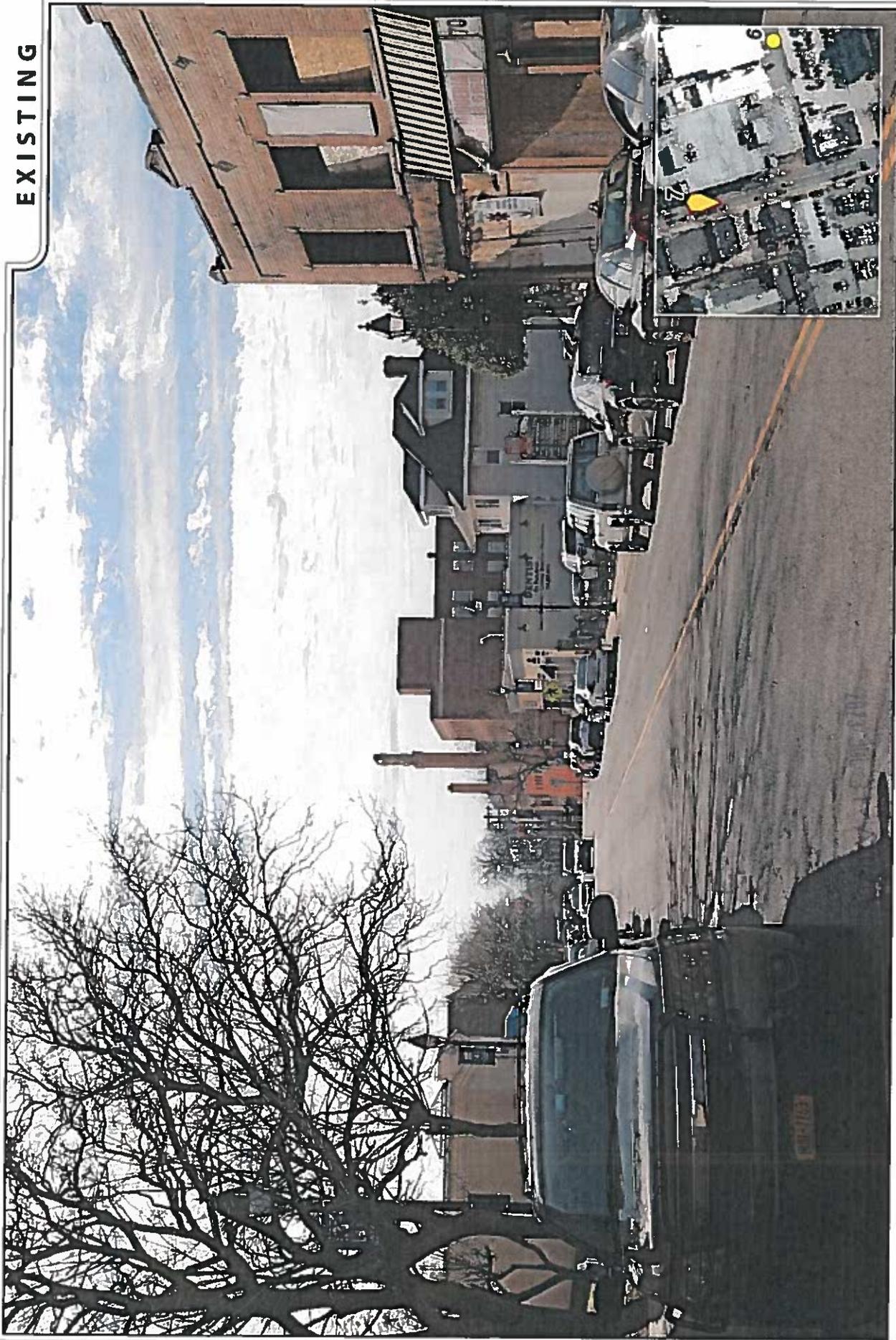
VISIBILITY

VISIBLE



verizon

EXISTING



PHOTOGRAPHED ON 2/16/2022

PHOTO

7

LOCATION TO VIEW

GUY LOMBARDO AVENUE

ORIENTATION

S

DISTANCE TO SITE

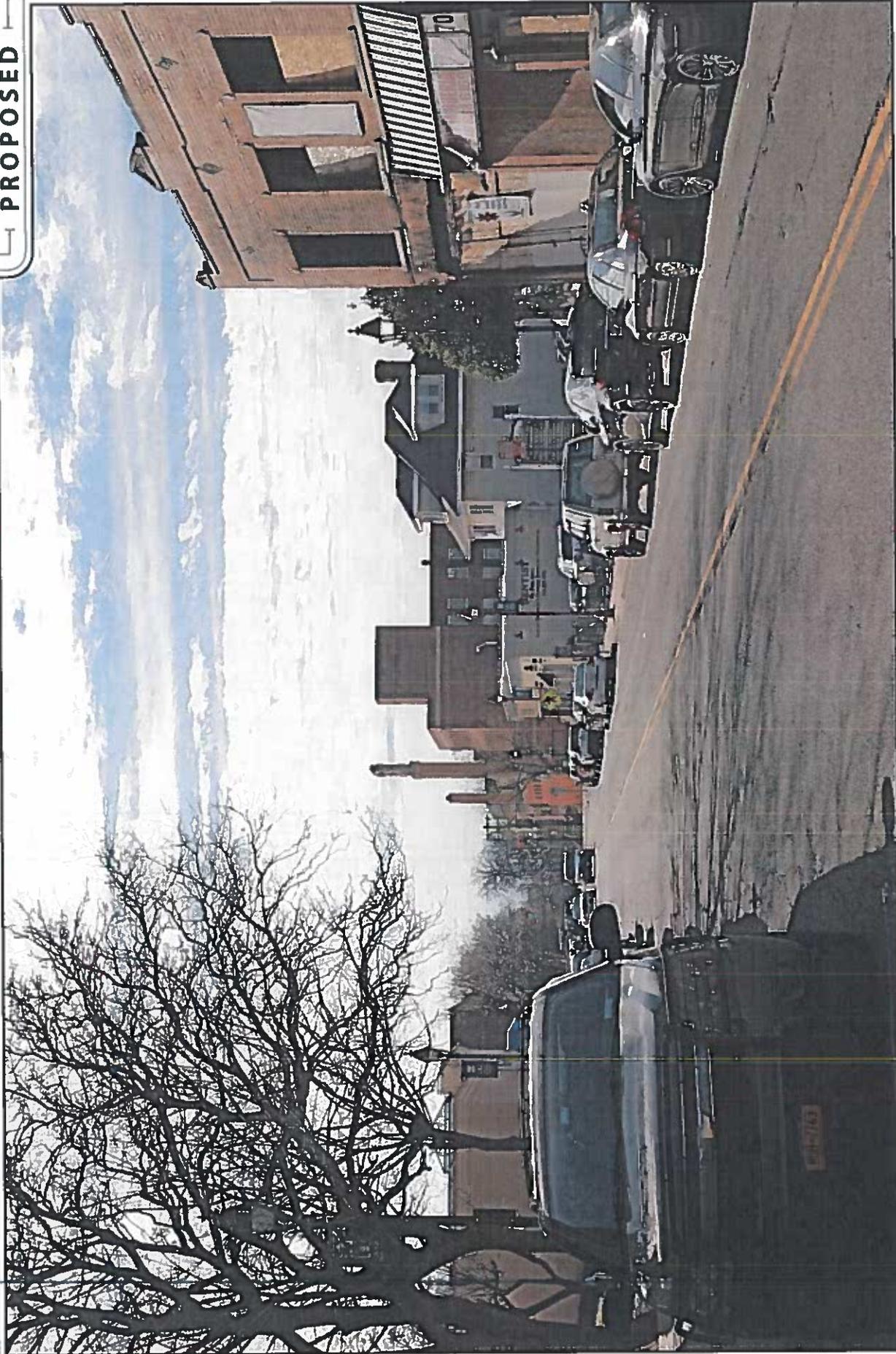
+/- 0.16 MILE

VISIBILITY

VISIBLE



PROPOSED



PHOTO

7

LOCATION

GUY LOMBARDO AVENUE

ORIENTATION

S

DISTANCE TO SITE

+/- 0.16 MILE

VISIBILITY

VISIBLE



verizon

EXISTING

PHOTOGRAPHED ON 2/16/2023

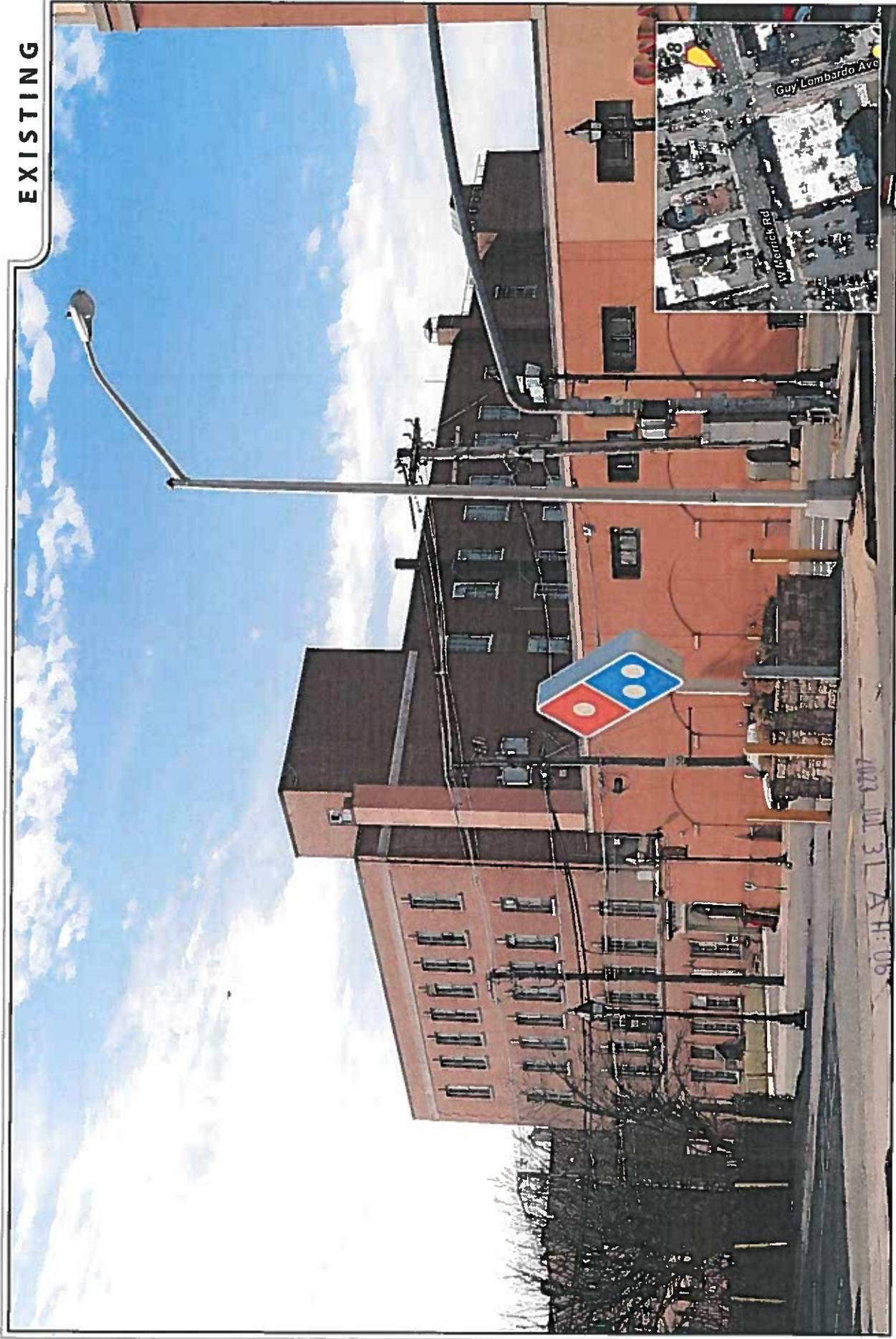


PHOTO
8

LOCATION
WEST MERRICK ROAD

ORIENTATION
SW

DISTANCE TO SITE
+/- 340 FEET

VISIBILITY
VISIBLE

PROPOSED



PHOTO

8

LOCATION

WEST MERRICK ROAD

ORIENTATION

SW

DISTANCE TO SITE

+/- 340 FEET

VISIBILITY

VISIBLE



verizon

EXISTING

PHOTOGRAPHED ON 2/16/2012

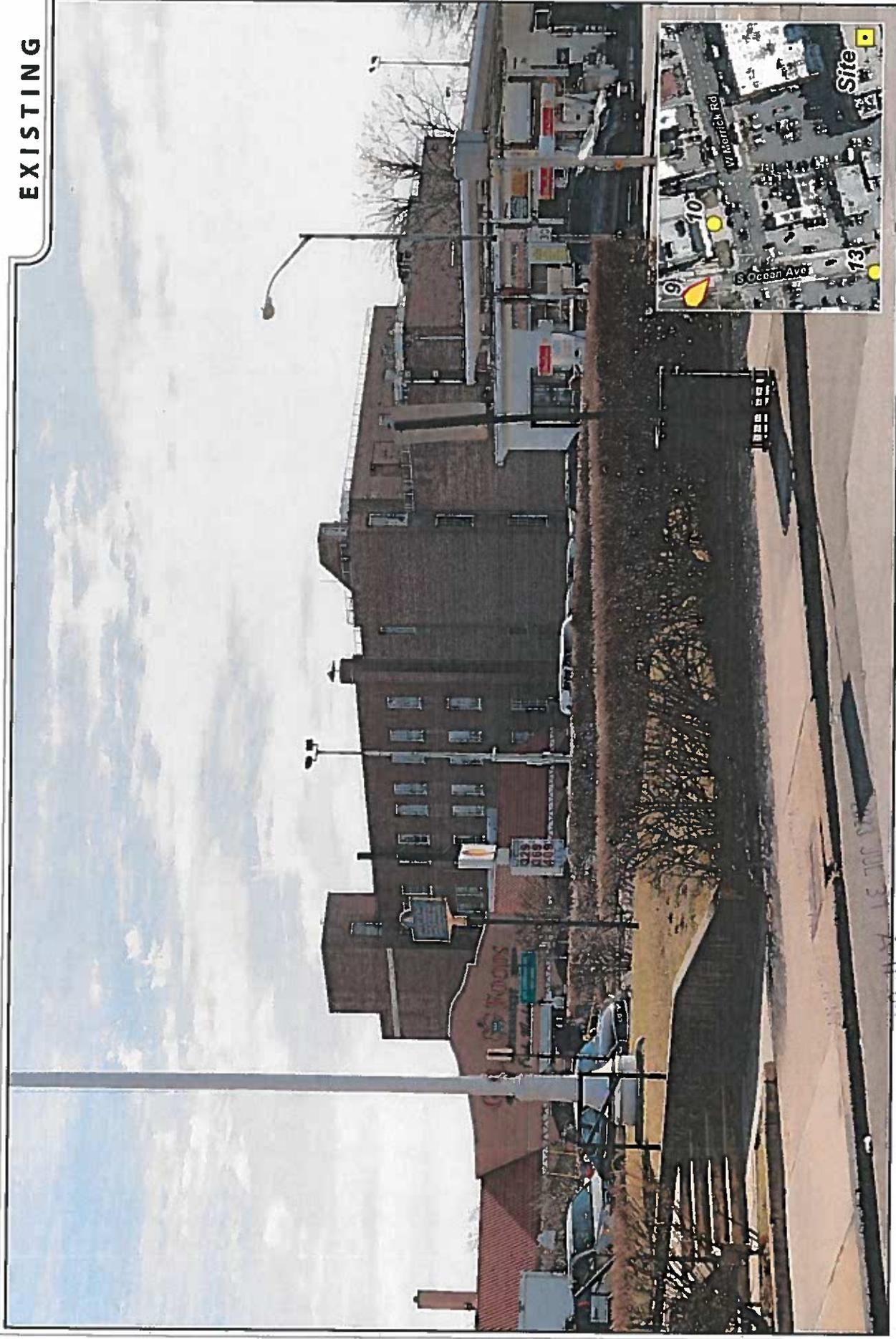
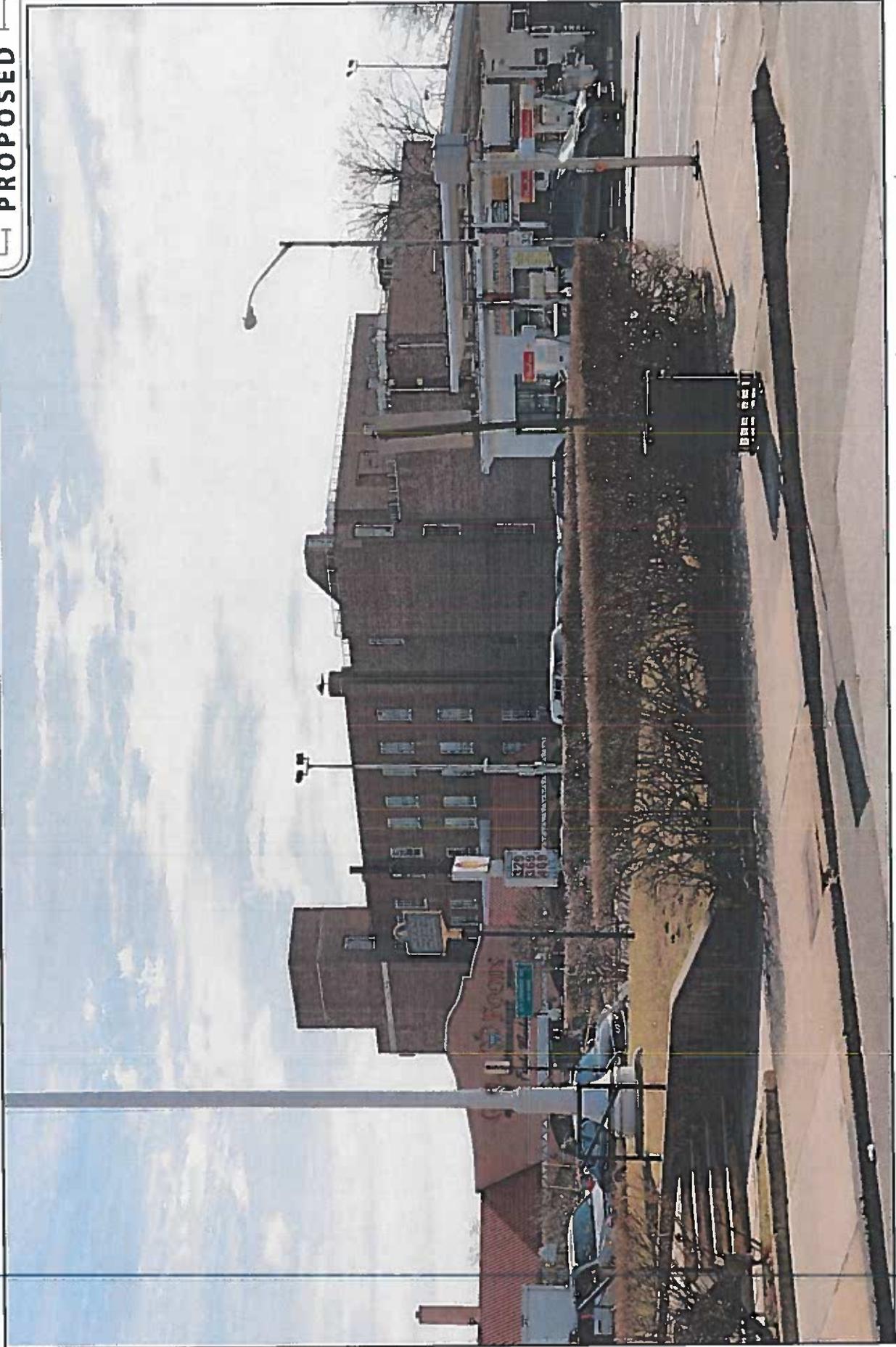


PHOTO	LOCATION	ORIENTATION	DISTANCE TO SITE	VISIBILITY
9	FREEPORT MEMORIAL LIBRARY - SOUTH OCEAN AVENUE	SE	+/- 0.11 MILE	VISIBLE



PROPOSED



PHOTO

9

LOCATION

FREEPORT MEMORIAL LIBRARY - SOUTH OCEAN AVENUE

ORIENTATION

SE

DISTANCE TO SITE

+/- 0.11 MILE

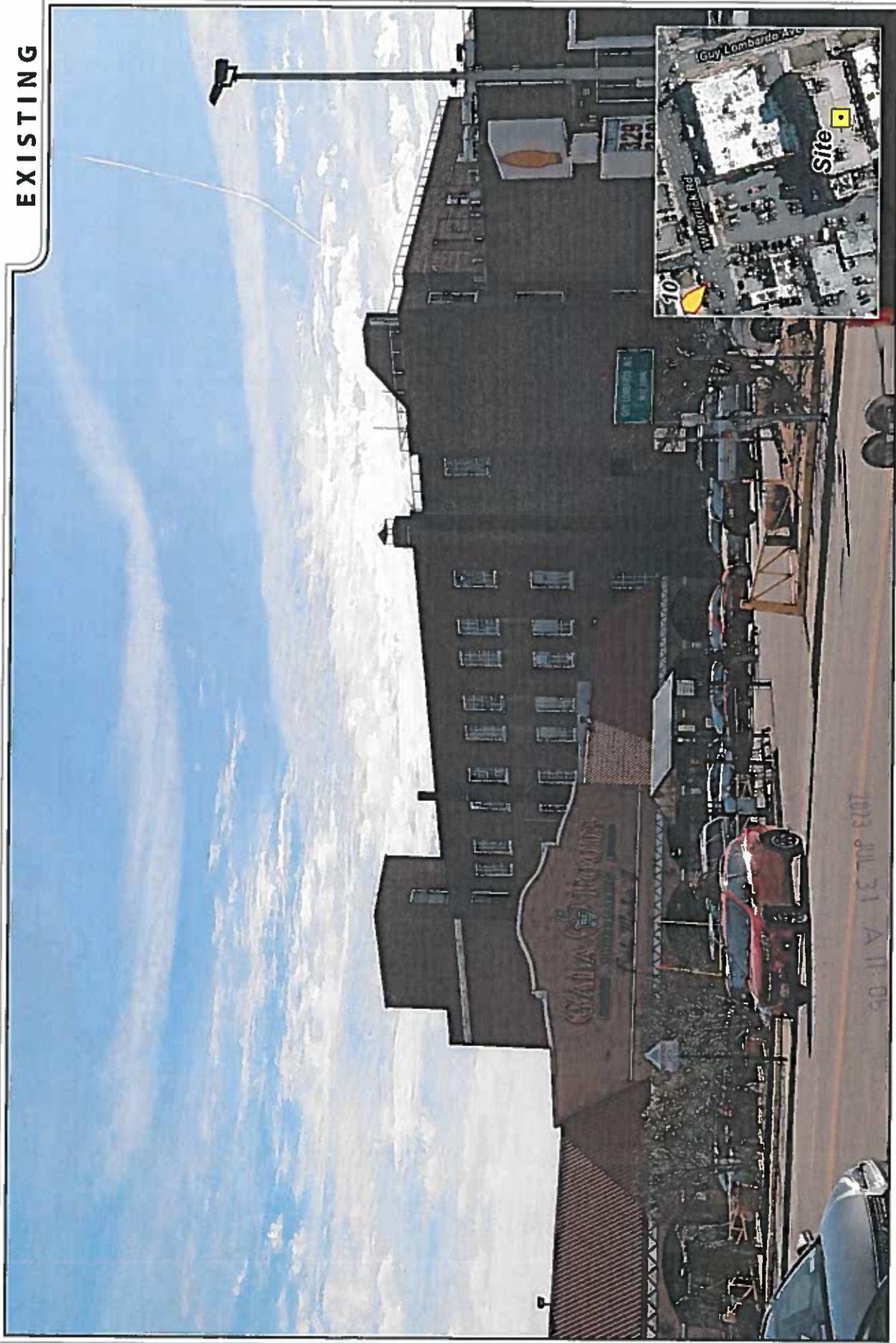
VISIBILITY

VISIBLE



verizon

EXISTING

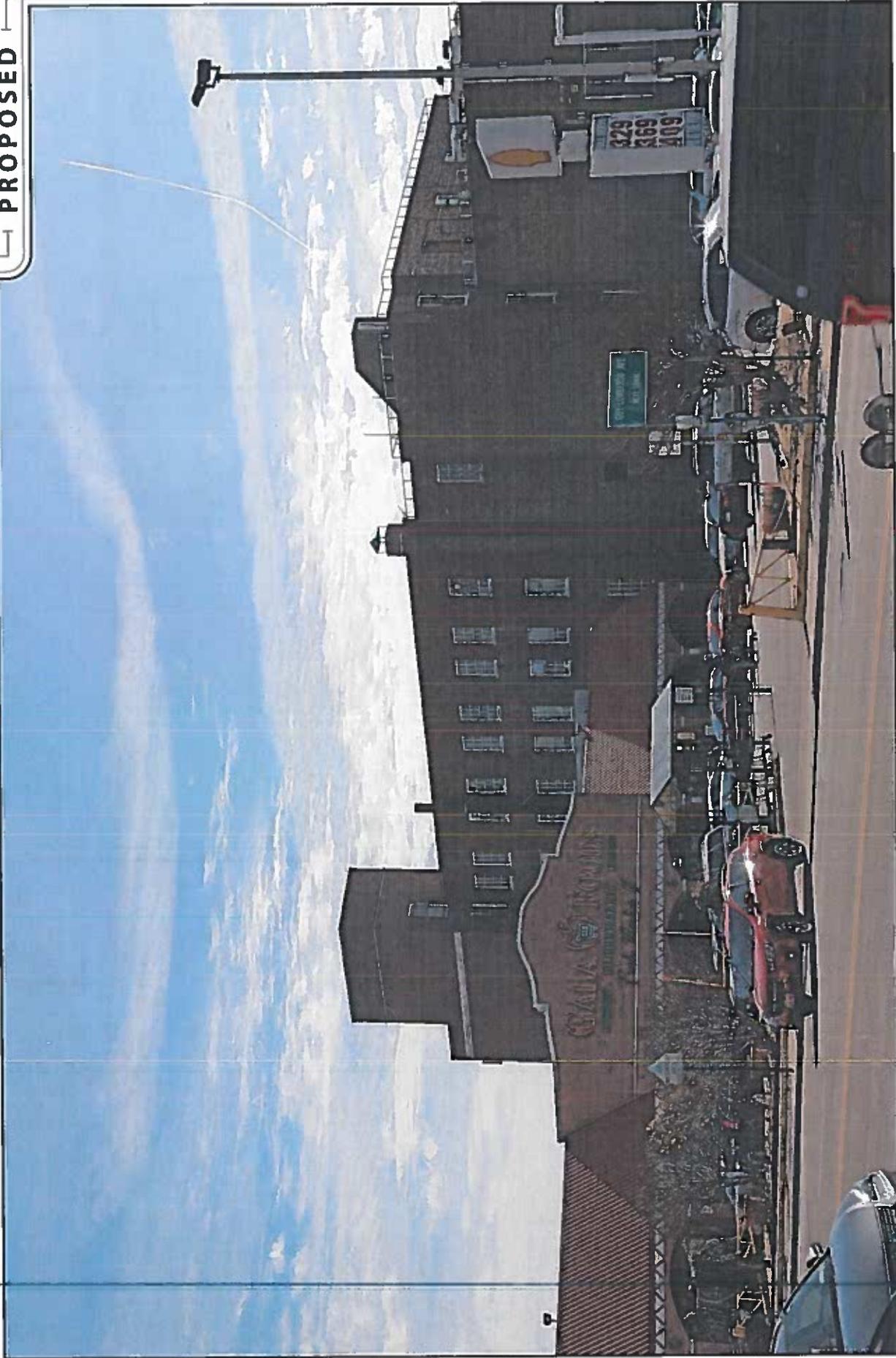


PHOTOGRAPHED ON 7/16/2021

PHOTO	LOCATION	ORIENTATION	DISTANCE TO SITE	VISIBILITY
10	POST-OFFICE - WEST MERRICK ROAD	SE	+/- 440 FEET	VISIBLE



PROPOSED



PHOTO

10

LOCATION

POST OFFICE - WEST MERRICK ROAD

ORIENTATION

SE

DISTANCE TO SITE

+/- 440 FEET

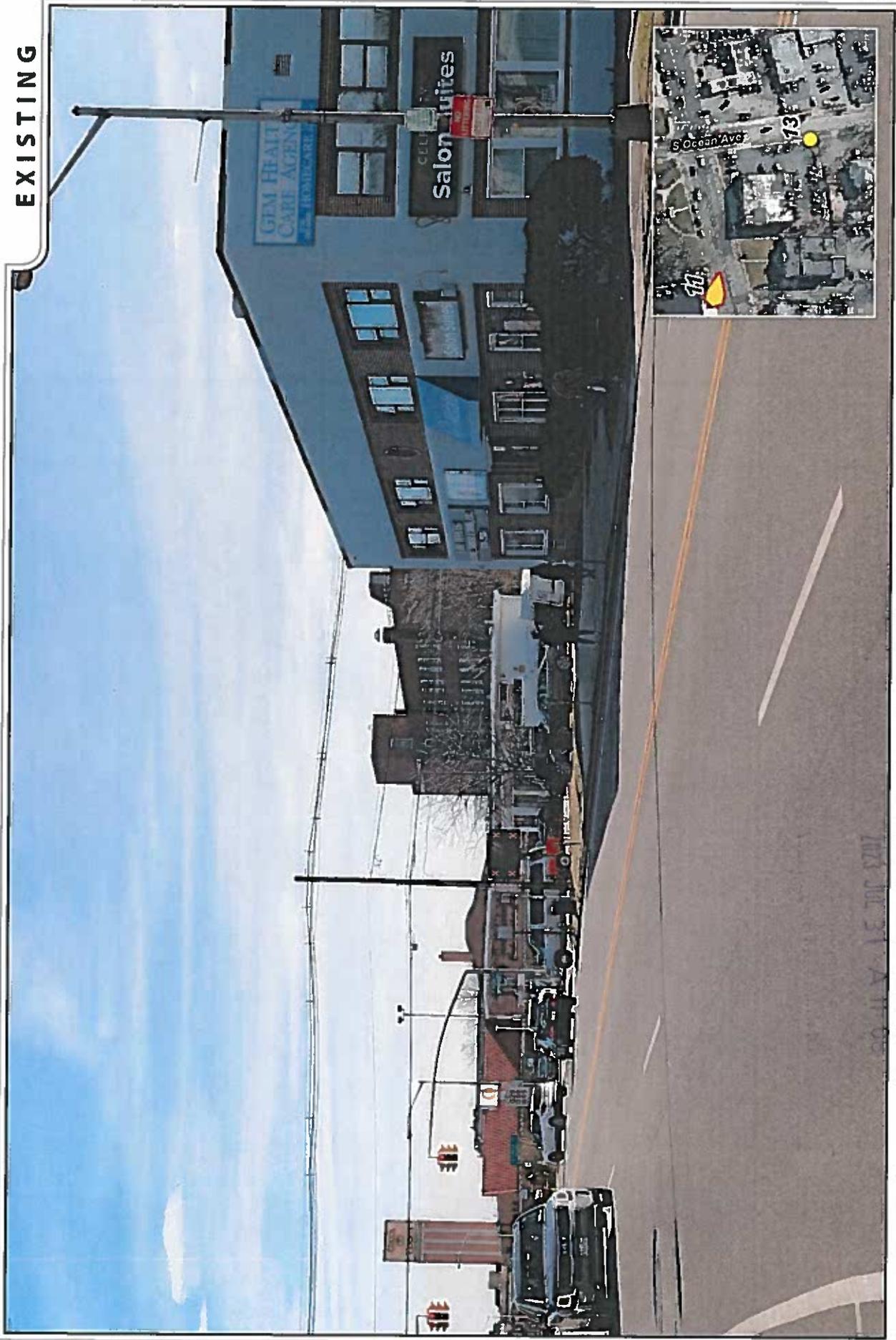
VISIBILITY

VISIBLE



verizon

EXISTING



PHOTO

11

LOCATION

WEST MERRICK ROAD

ORIENTATION

ESE

DISTANCE TO SITE

+/- 0.15 MILE

VISIBILITY

VISIBLE



verizon

PROPOSED



PHOTO

11

LOCATION

WEST MERRICK ROAD

ORIENTATION

ESE

DISTANCE TO SITE

+/- 0.15 MILE

VISIBILITY

VISIBLE



verizon

EXISTING

PHOTOGRAPHED ON 2/16/2011



PHOTO

12

LOCATION

WEST MERRICK ROAD

ORIENTATION

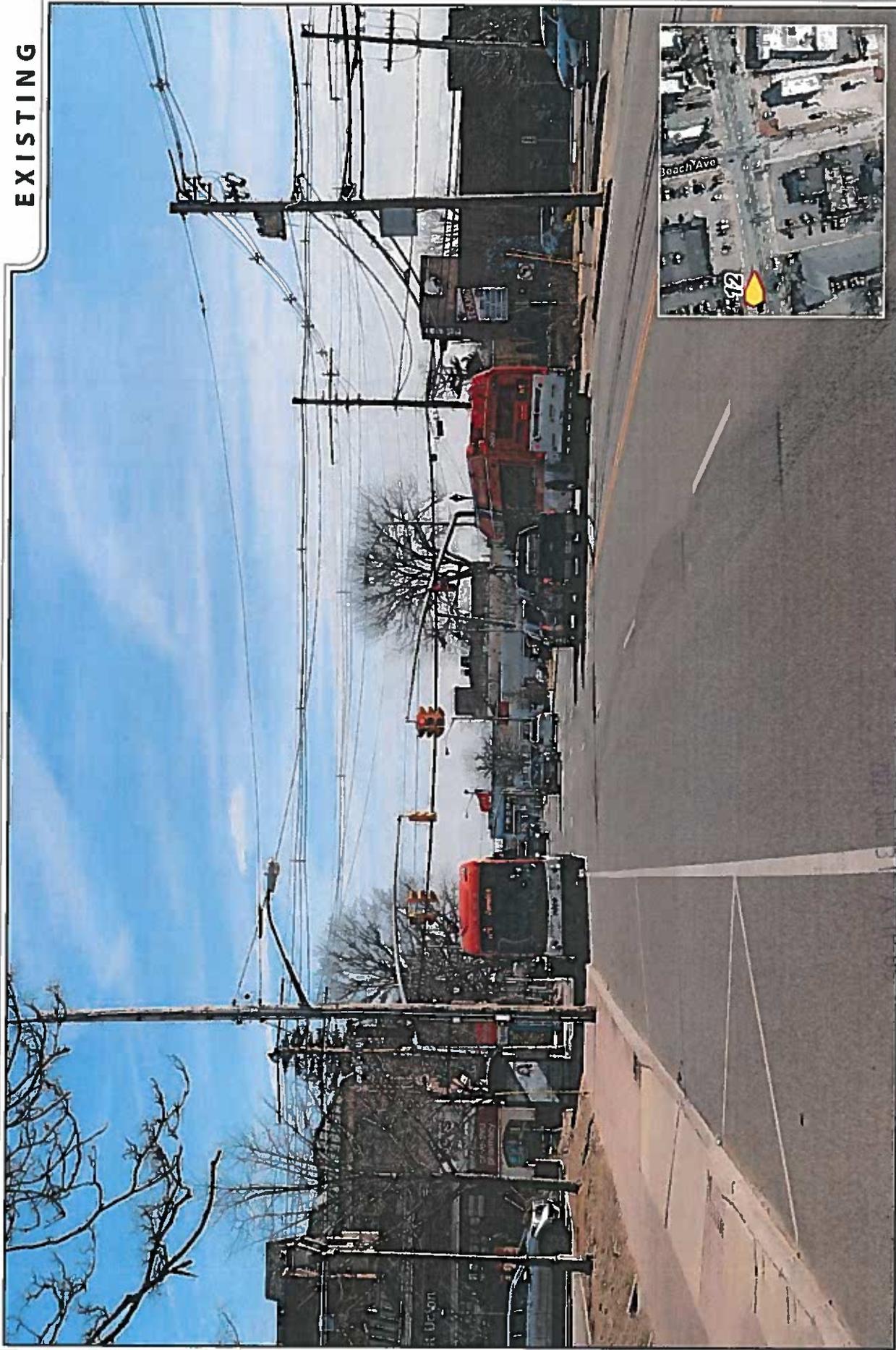
E

DISTANCE TO SITE

+/- 0.32 MILE

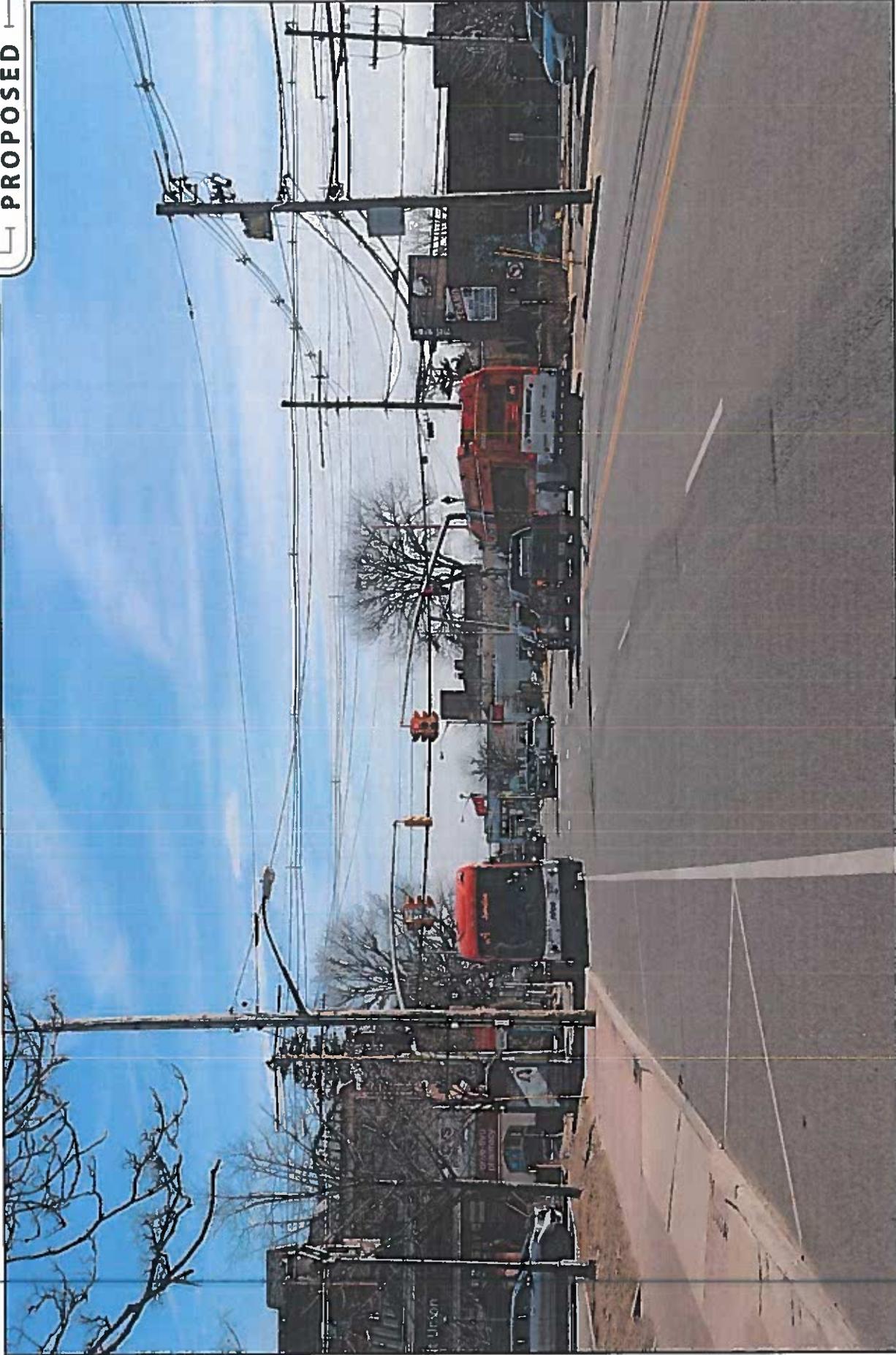
VISIBILITY

VISIBLE



verizon

PROPOSED



PHOTO

12

LOCATION

WEST MERRICK ROAD

ORIENTATION

E

DISTANCE TO SITE

+/- 0.32 MILE

VISIBILITY

VISIBLE



verizon

EXISTING



PHOTOGRAPHED ON 1/16/2023

PHOTO	LOCATION	ORIENTATION	DISTANCE TO SITE	VISIBILITY
13	SOUTH OCEAN AVENUE	E	+/- 325 FEET	VISIBLE



verizon

PROPOSED



PHOTO

13

LOCATION

SOUTH OCEAN AVENUE

ORIENTATION

E

DISTANCE TO SITE

+/- 325 FEET

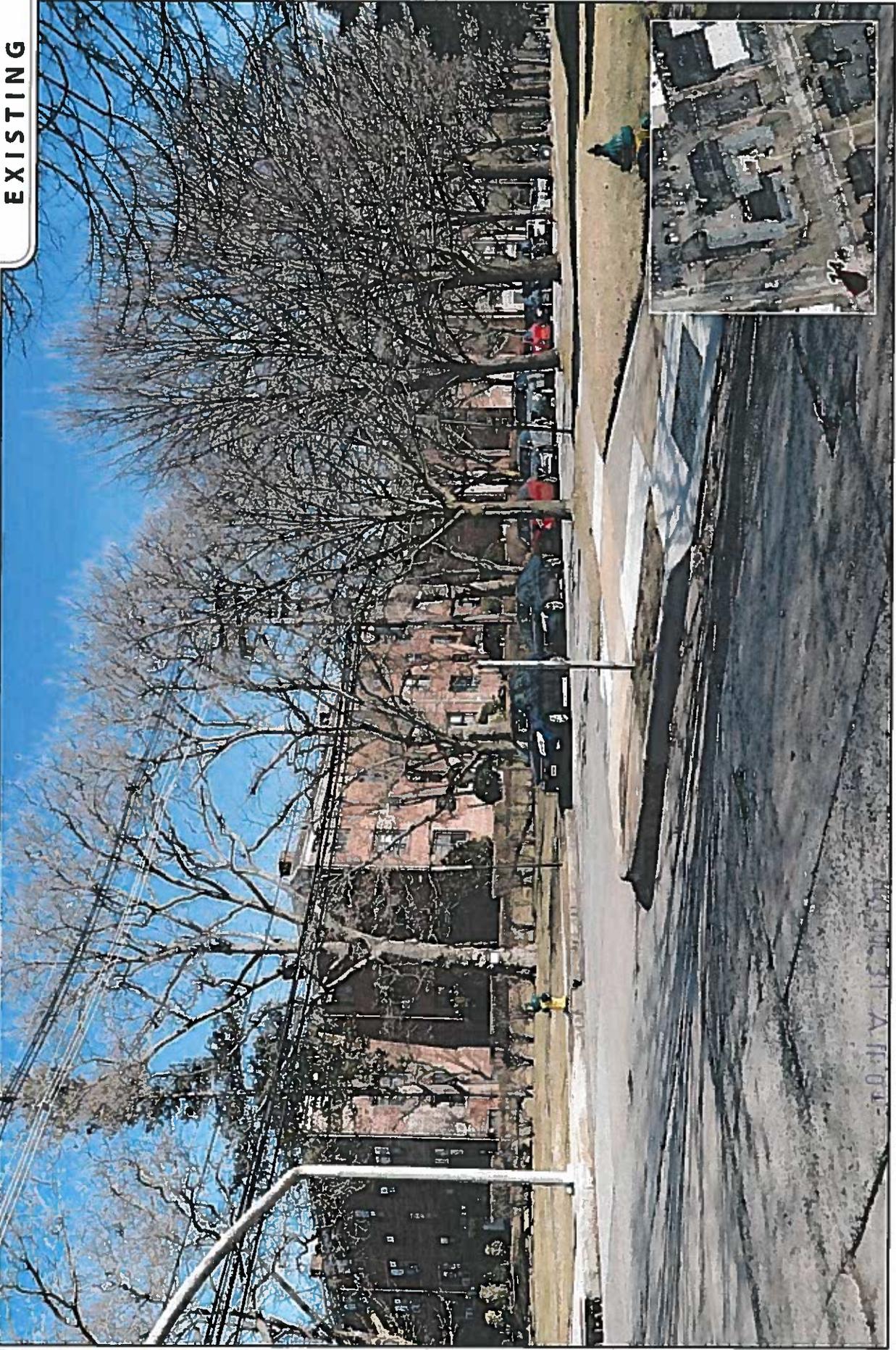
VISIBILITY

VISIBLE



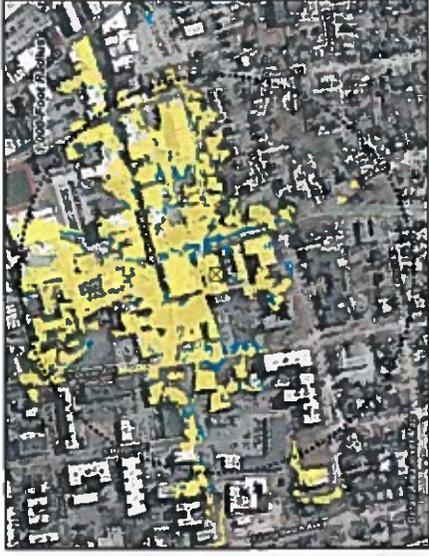
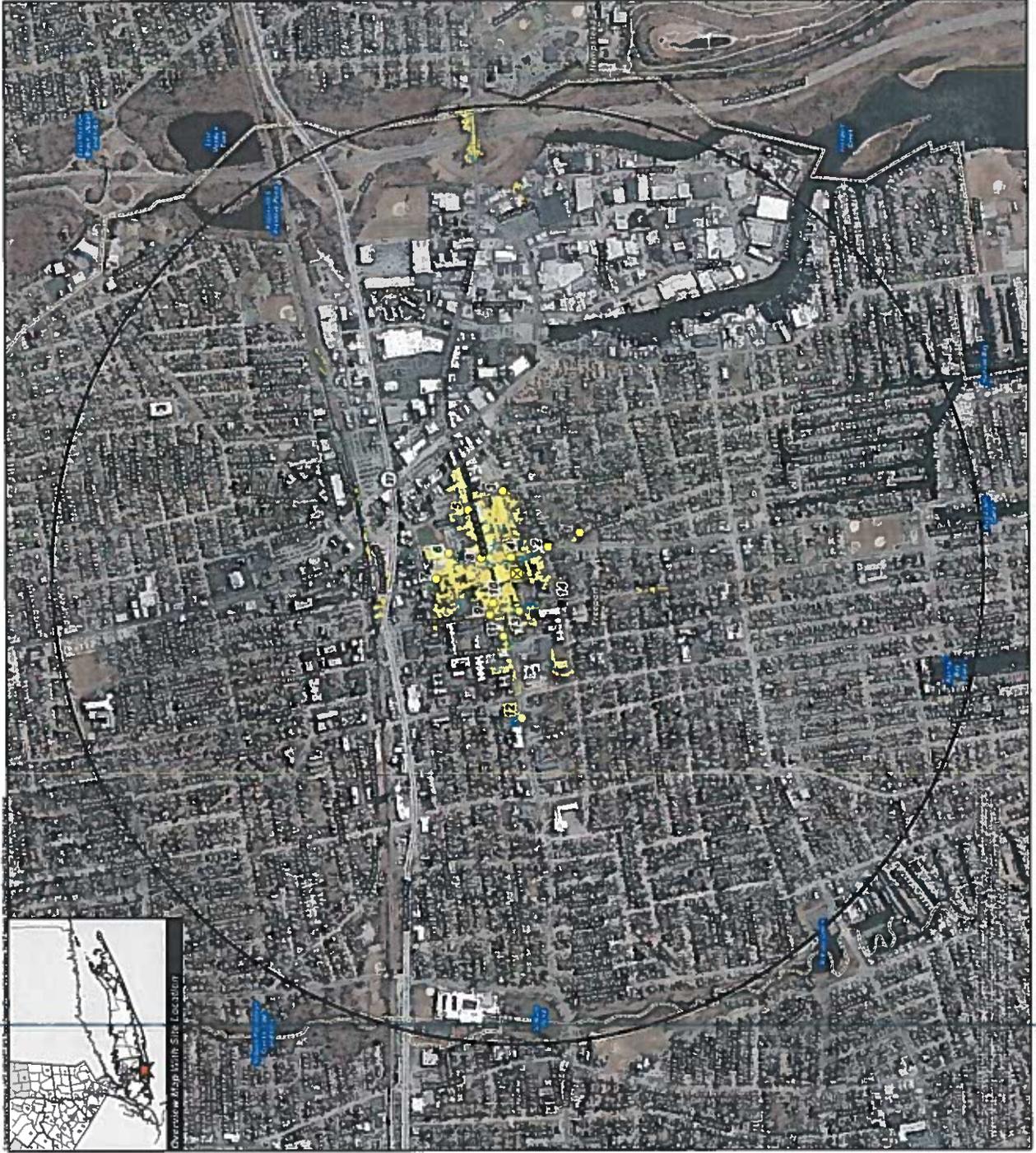
verizon

EXISTING



PHOTOGRAPHED ON 2/14/2013

PHOTO	LOCATION	ORIENTATION	DISTANCE TO SITE	VISIBILITY
14	SOUTH OCEAN AVENUE AT SMITH STREET	NE	+/- 0.11 MILE	NOT VISIBLE



Comparative Viewshed Analysis Map Existing Mechanical Bulkhead and Proposed Screening Enclosure

Proposed Wireless Telecommunications Facility
 Freeport RELO
 120 Guy Lombardo Avenue
 Freeport, New York

Existing Mechanical Bulkhead height is 77' AGL. Proposed Screening Enclosure is 85' AGL.
 Forest canopy and existing structure heights are derived from LIDAR data. Study area encompasses a one-mile radius and includes 2,011 acres. Existing conditions field verified by APT on February 16, 2023.
 Base Map Source: NYS GIS Clearing House 2020 Aerial Imagery
 Map Date: July 2023

Legend

- Proposed Site
- Study Area (1-Mile Radius)
- Photographic Locations (February 16, 2023)
- Visible
- Not Visible
- Non-Forward Visibility Existing Mechanical Bulkhead (20 Acres)
- Forward Visibility Existing Mechanical Bulkhead (3 Acres)



DATA SOURCES:

Aerial photos used (2021) were provided from the USGS Landsat 8 satellite. The DSM contains the natural and built features on the Earth's surface.





Comparative Viewshed Analysis Map Existing Mechanical Bulkhead and Proposed Screening Enclosure

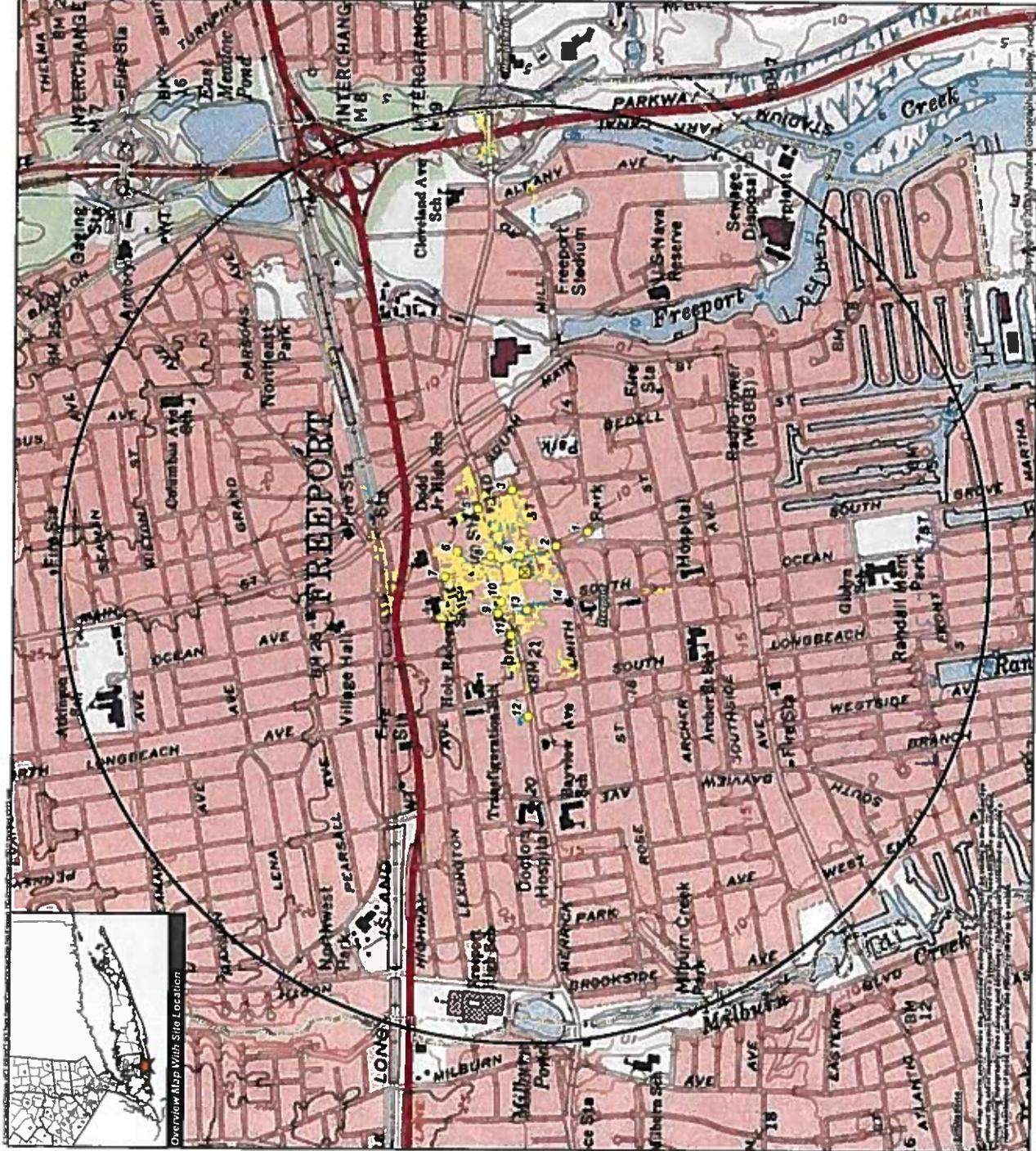
Proposed Wireless Telecommunications Facility
 Freeport RELO
 120 Guy Lombardo Avenue
 Freeport, New York

Existing Mechanical Bulkhead height is 77' AGL, Proposed Screening Enclosure is 85' AGL.
 Forest canopy and existing structure heights are derived from LIDAR data. Study area encompasses a one-mile radius and includes 2,011 acres. Existing conditions field verified by APT on February 18, 2023.
 Base Map Source: USGS 7.5 Minute Topographic Quadrangle Maps, Freeport, NY (1994)
 Map Date: July 2023

- Legend**
- Proposed Site
 - Study Area (1-Mile Radius)
 - Photographic Locations (February 18, 2023)
 - Visible
 - Not Visible
 - Not Observed Visibility Existing Mechanical Bulkhead (20 Acres)
 - Addressable Area Observed Visibility, Proposed Screening Enclosure Only (3 Acres)
 - Municipal Boundary



DATA SOURCES:
 Aerial imagery provided (2023) was acquired from the USGS LIDAR Map Made, NY 2014 LIDAR LAS data points. The DSM addresses the northeast and south boundaries on the Earth's surface.



Overview Map With Site Location





SUBJECT PARCEL & ADJACENT PARCEL PHOTOS



FREEPORT RELO
120 GUY LOMBARDO AVENUE
FREEPORT, NY

PREPARED FOR:
RECEIVED



PREPARED BY:
APT Engineering
567 Vauxhall Street Extension – Suite 311
Waterford, CT 06320



PHOTO LOG

- Legend
- Site
- Photographic Location





PHOTO

1

LOCATION
HOST PROPERTY

ORIENTATION
W





PHOTO

2

LOCATION

HOST PROPERTY

ORIENTATION

NW





PHOTO

3

LOCATION

HOST PROPERTY

ORIENTATION

NW



verizon



PHOTO

4

LOCATION

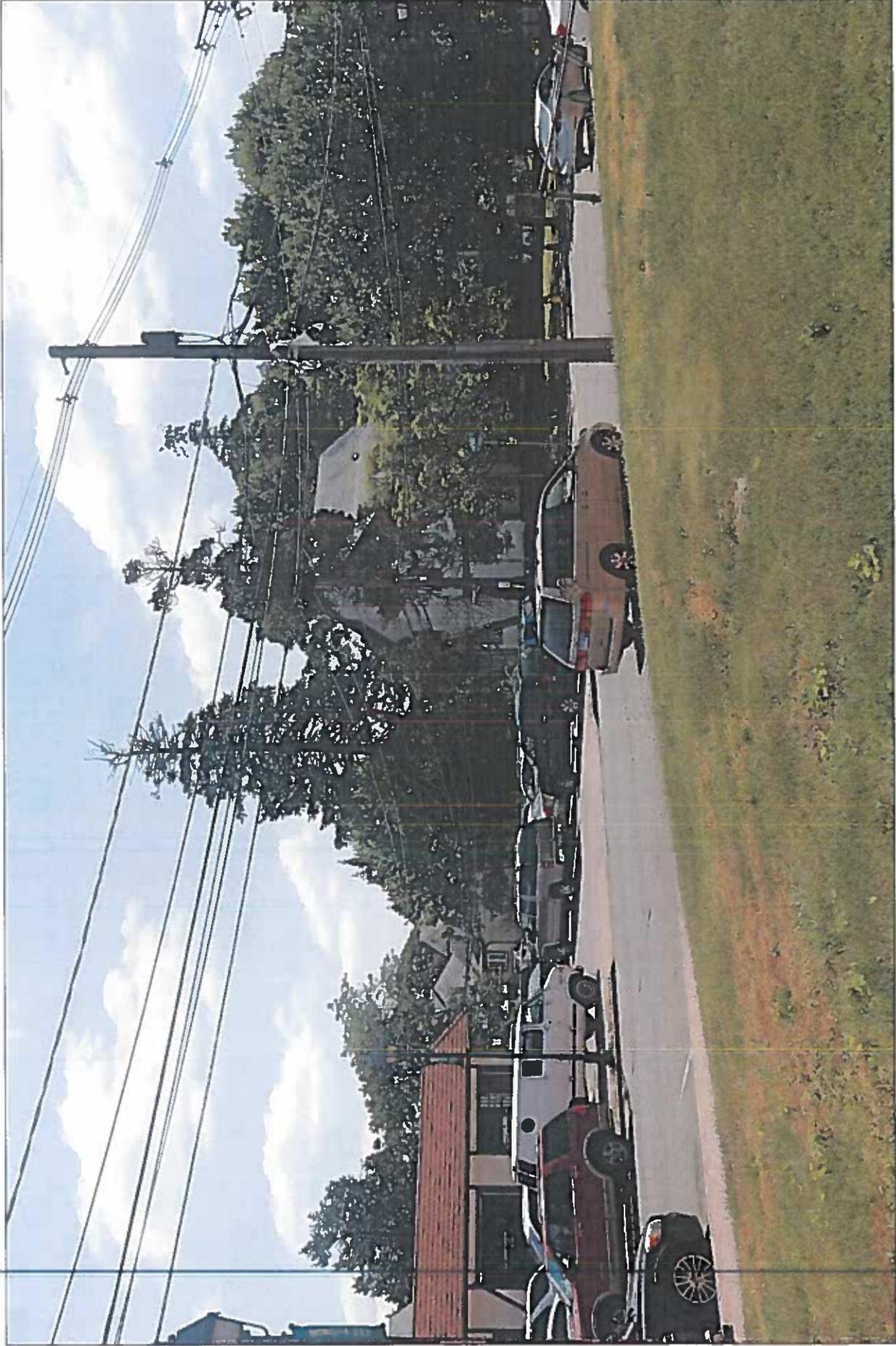
HOST PROPERTY

ORIENTATION

N



verizon



PHOTO

6

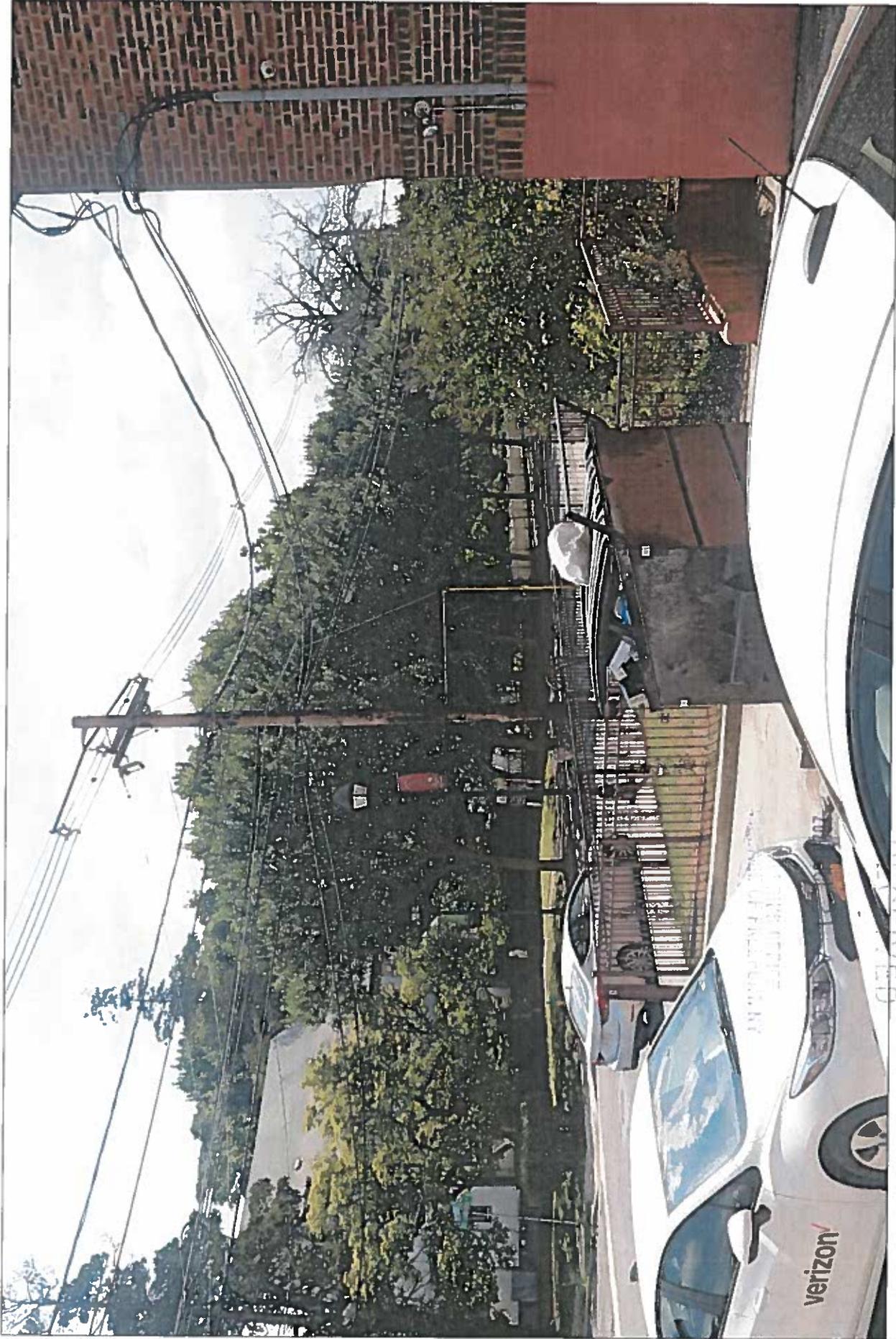
LOCATION

HOST PROPERTY

ORIENTATION

SE





PHOTO

7

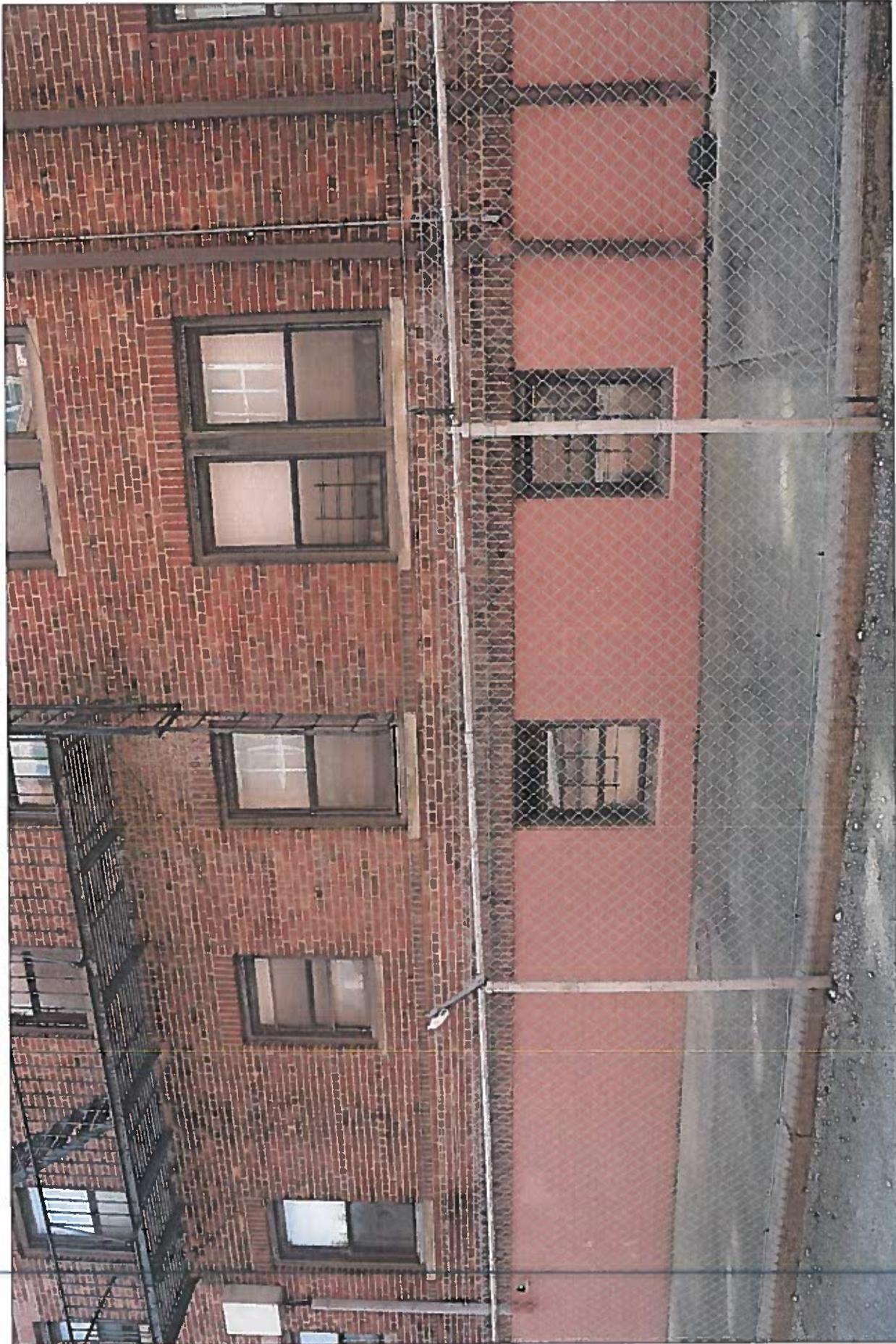
LOCATION

HOST PROPERTY

ORIENTATION

SE





PHOTO

8

LOCATION

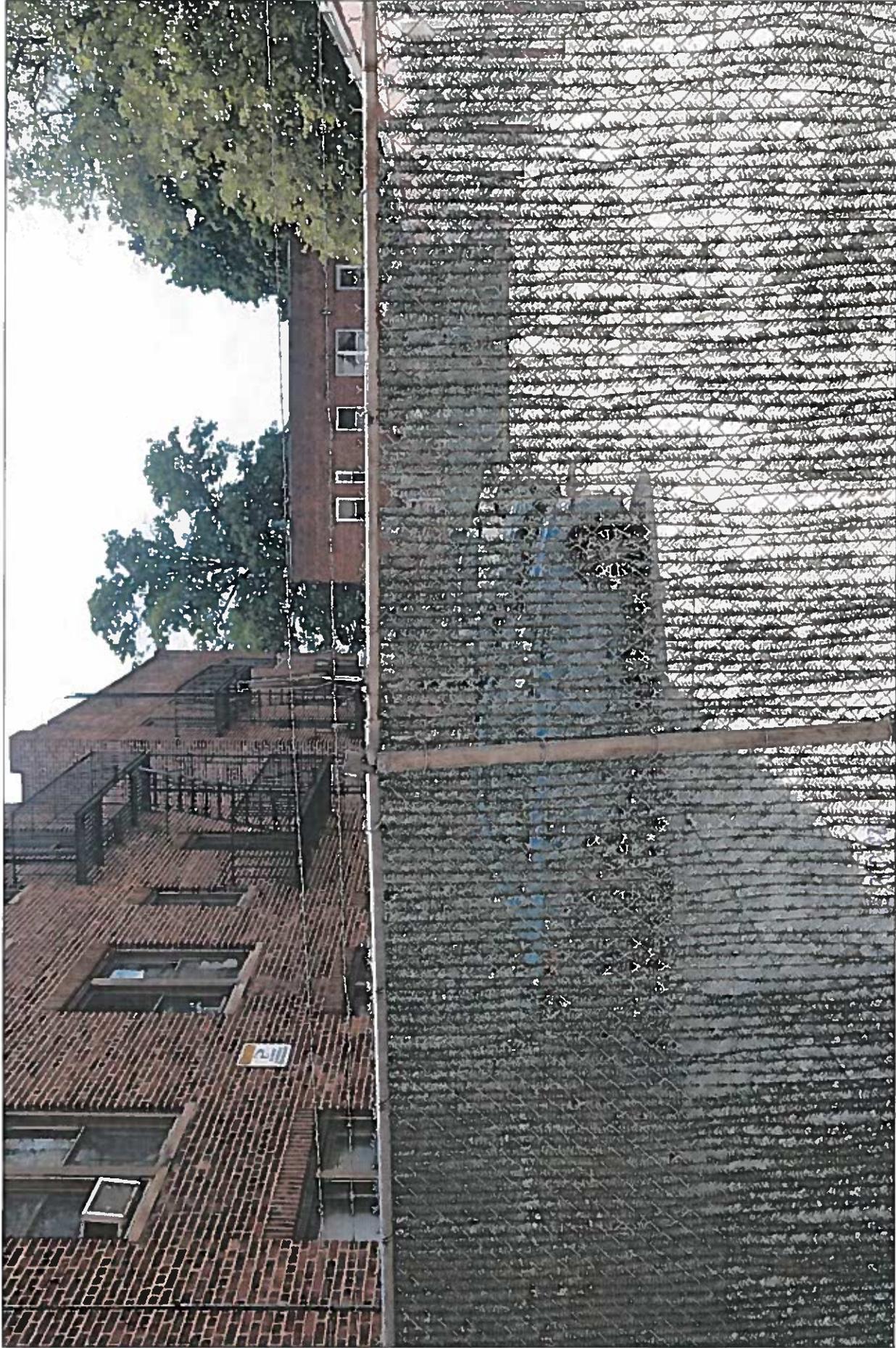
HOST PROPERTY

ORIENTATION

5



verizon



PHOTO

9

LOCATION

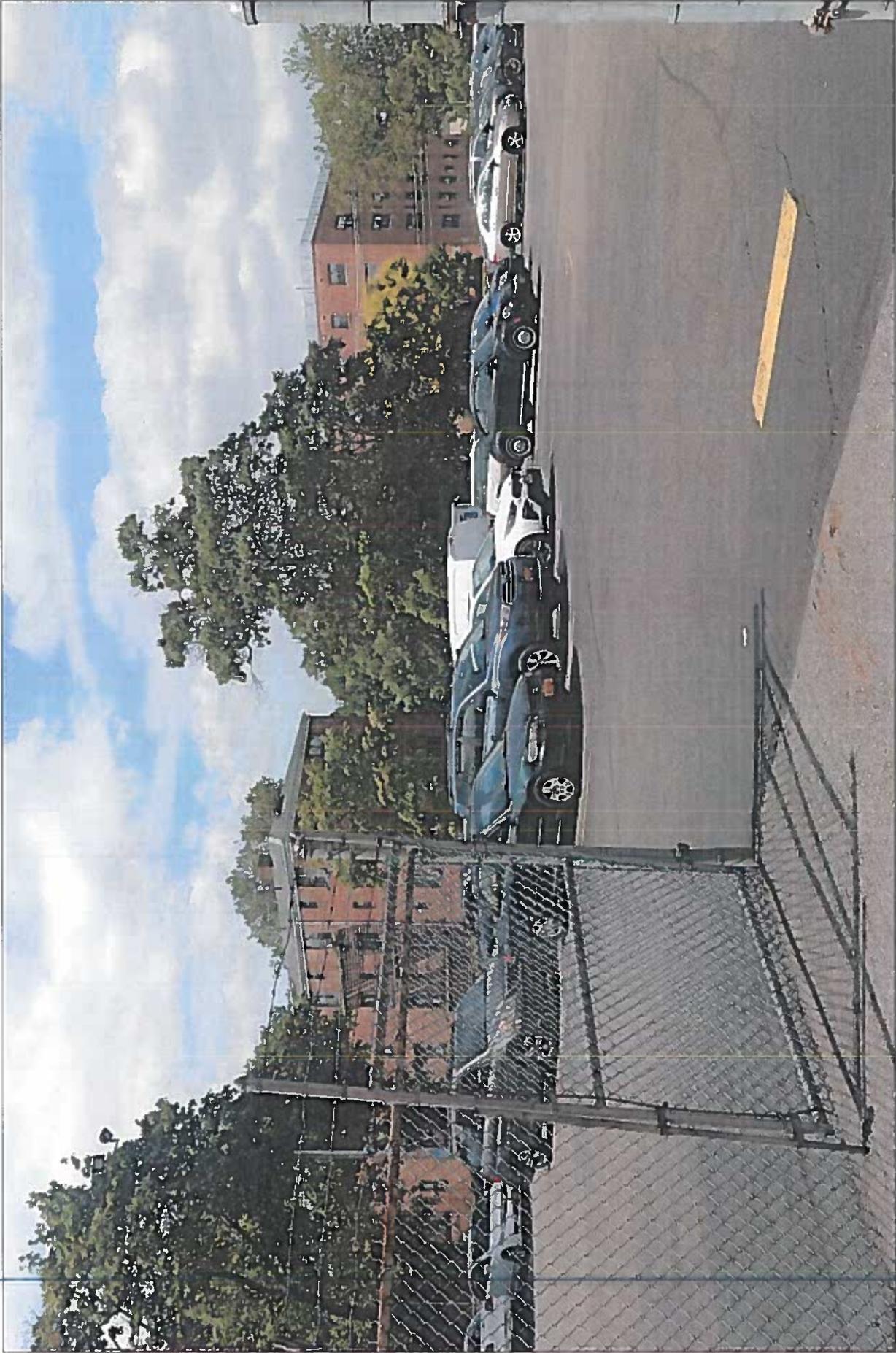
HOST PROPERTY

ORIENTATION

5



verizon



PHOTO

10

LOCATION

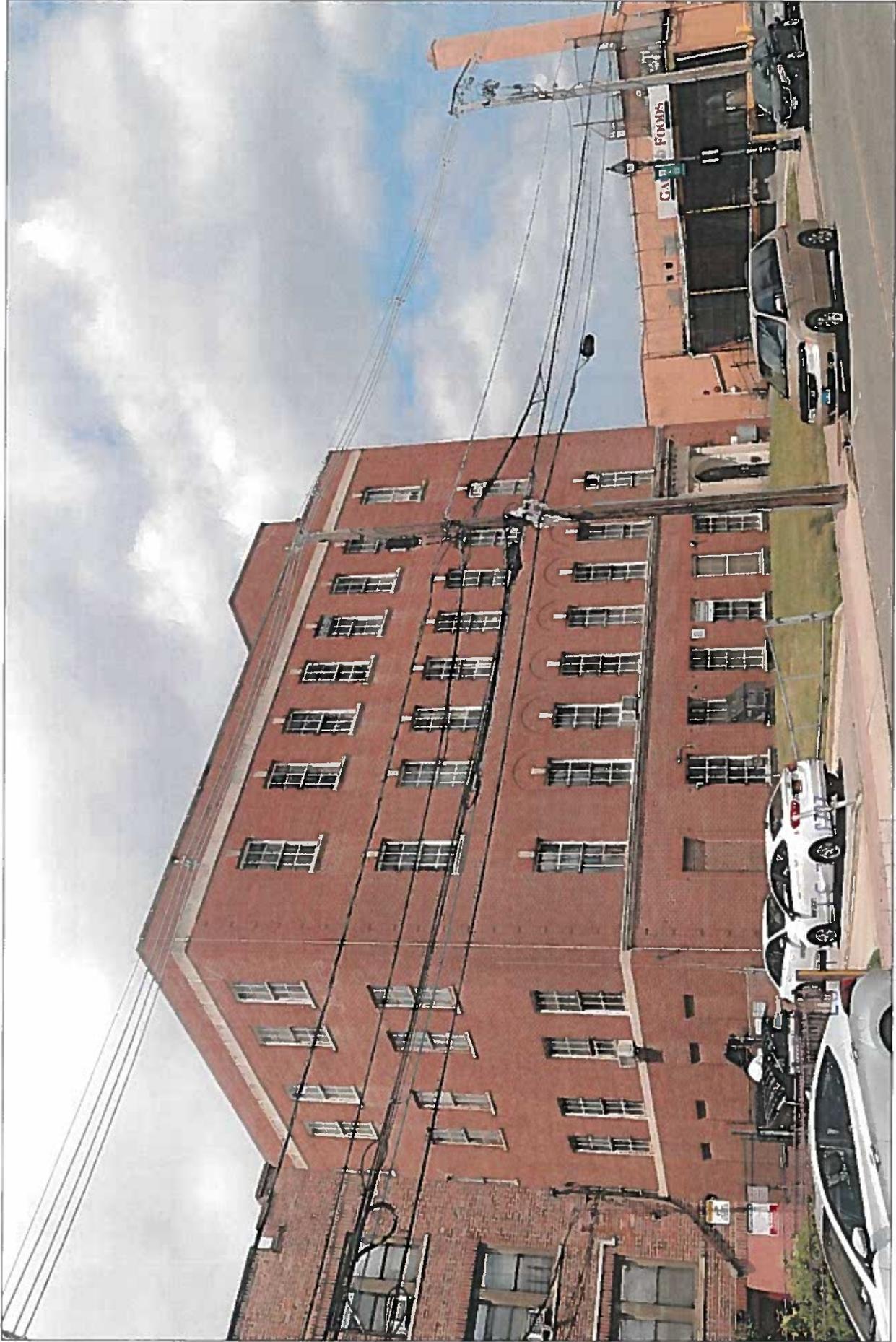
HOST PROPERTY

ORIENTATION

SW



verizon



PHOTO

11

LOCATION

GUY LOMBARDO AVENUE AT COTTAGE STREET

ORIENTATION

NW





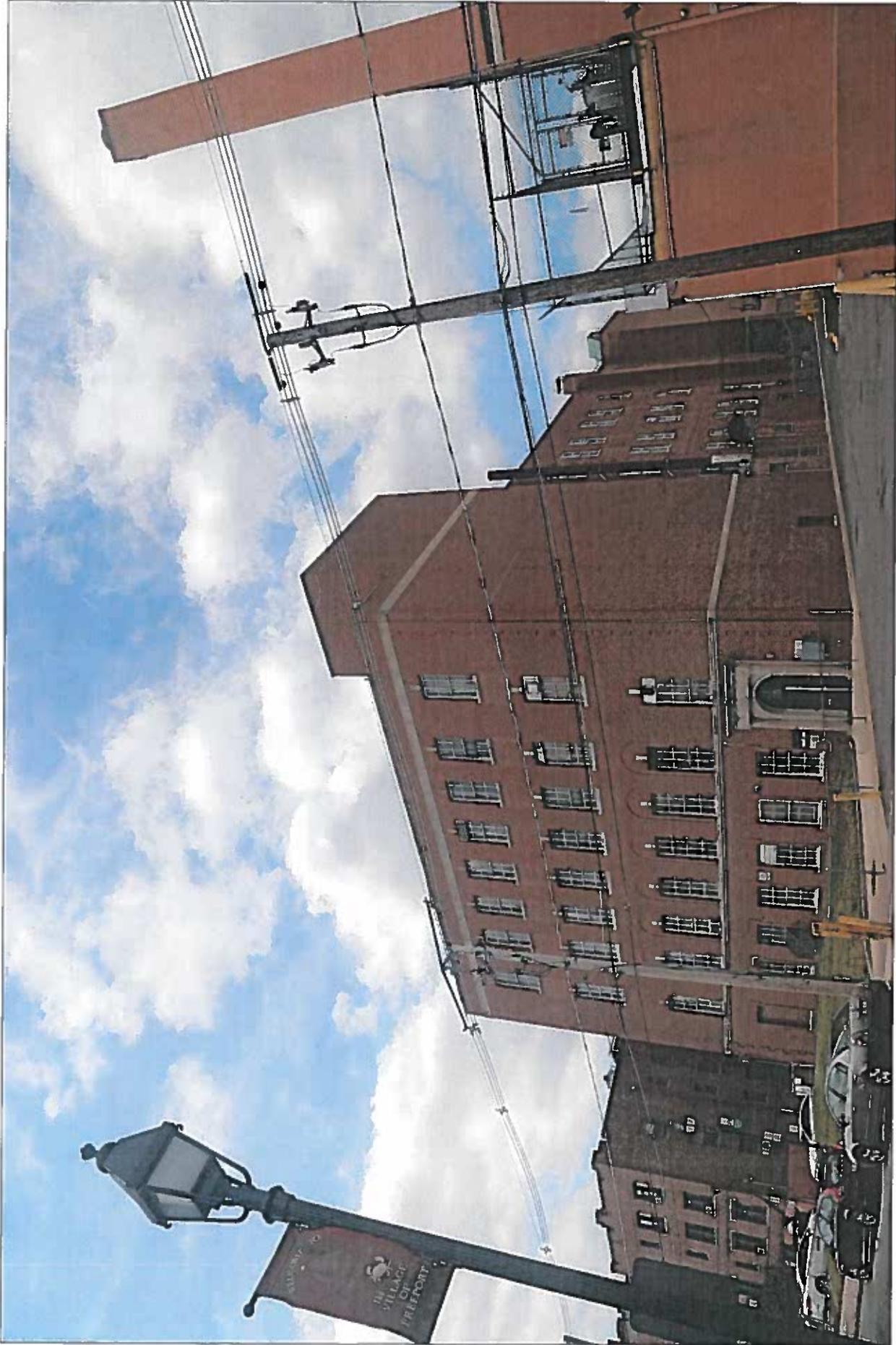
PHOTO
12

LOCATION
GUY LOMBARDO AVENUE

ORIENTATION
W



verizon



PHOTO

13

RECEIVED

LOCATION

GUY LOMBARDO AVENUE

ORIENTATION

SW

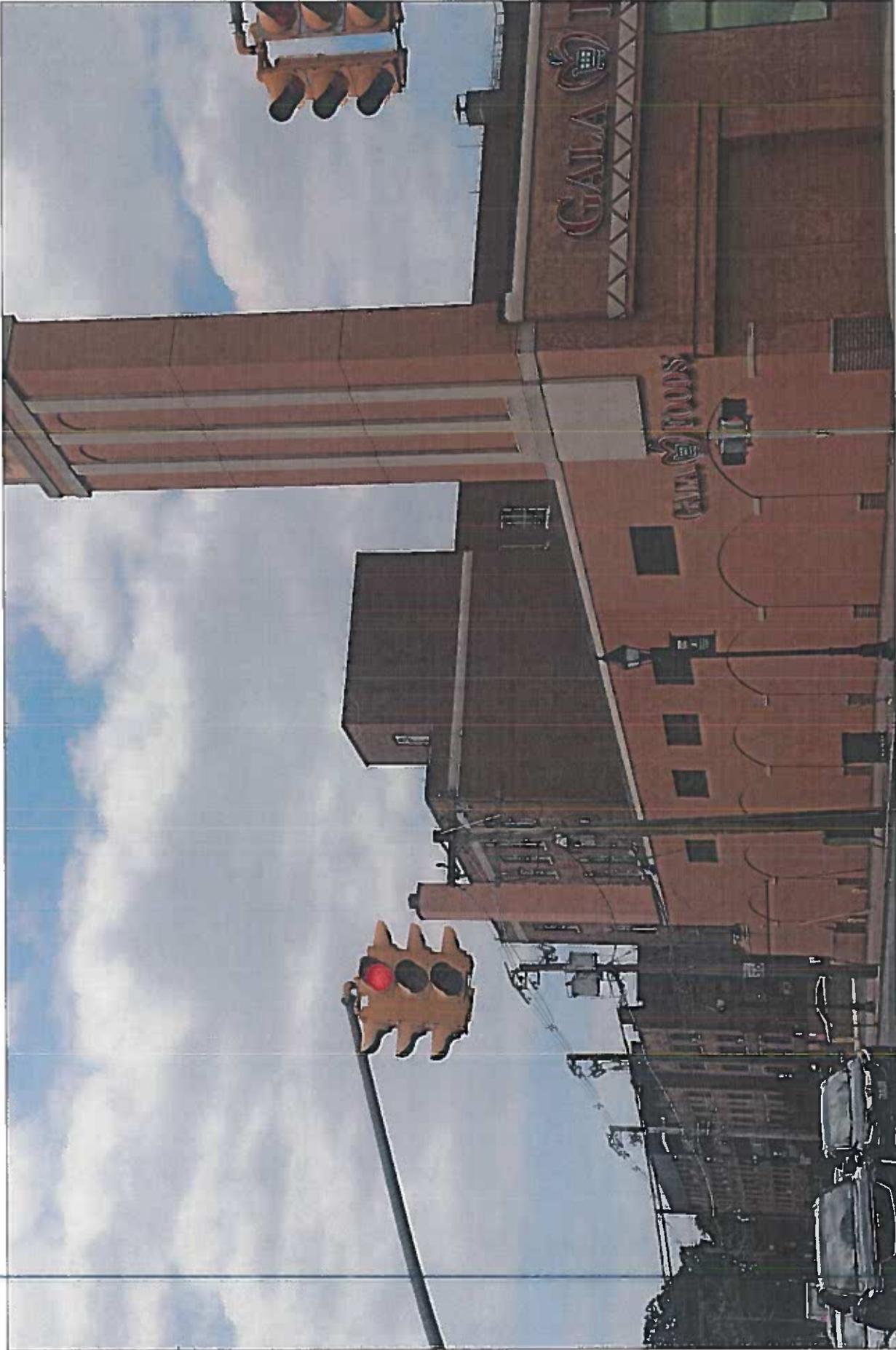


PHOTO
14

LOCATION
GUY LOMBARDO AVENUE AT WEST MERRICK ROAD

ORIENTATION
SW





PHOTO

15

LOCATION

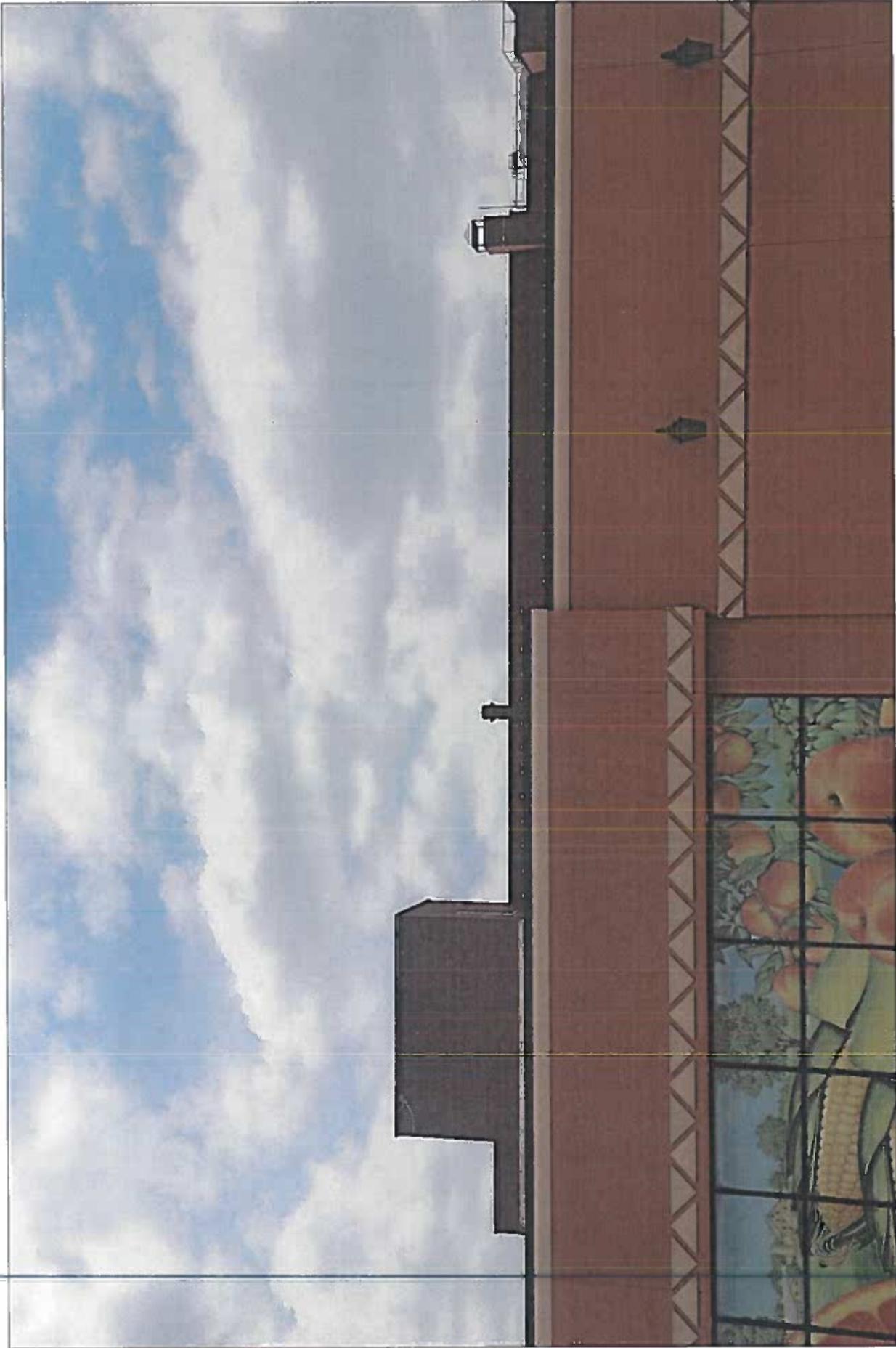
WEST MERRICK ROAD

ORIENTATION

S



verizon



PHOTO

16

LOCATION

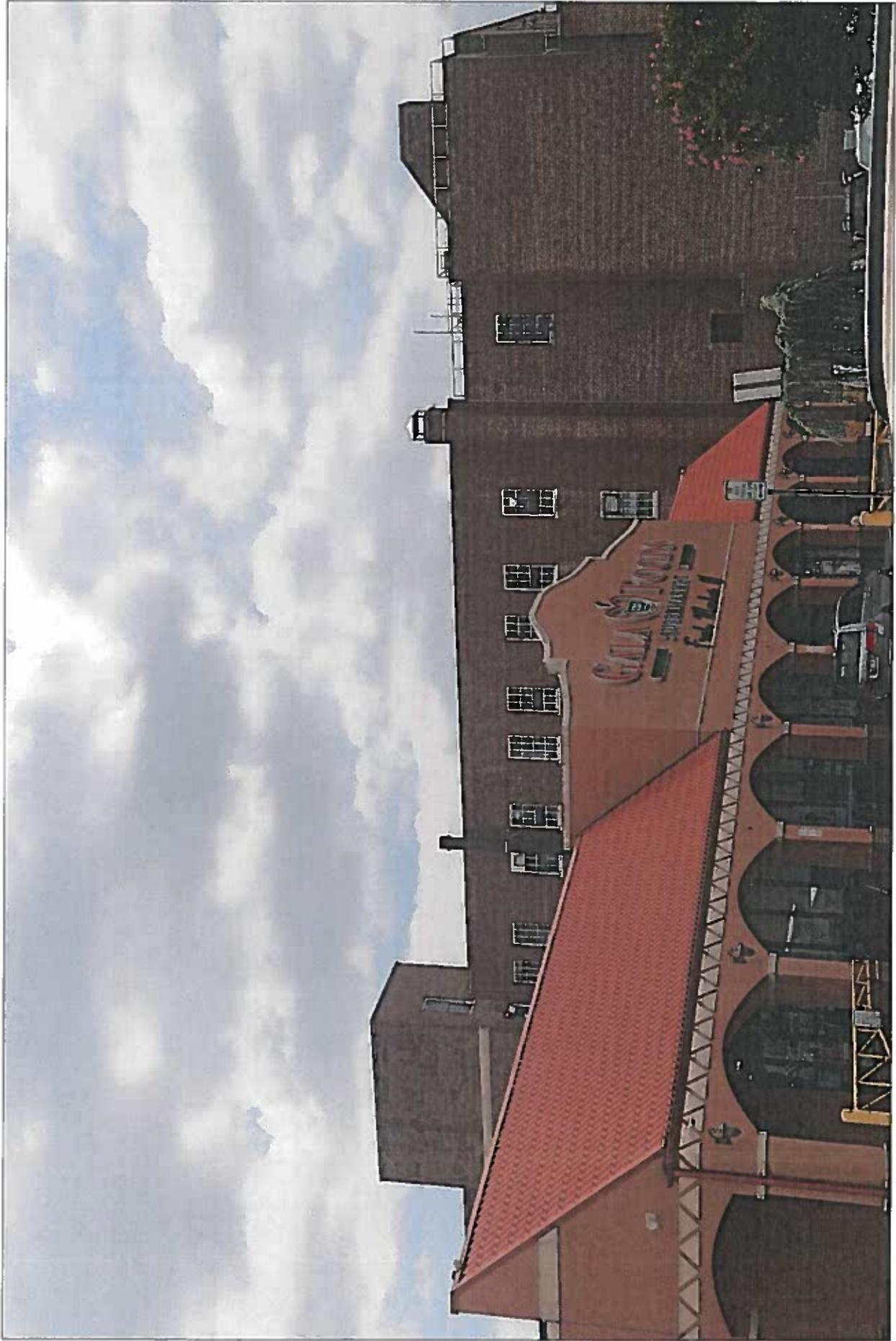
WEST MERRICK ROAD

ORIENTATION

5



verizon



PHOTO

17

LOCATION

WEST MERRICK ROAD

ORIENTATION

SE



verizon



PHOTO
18

LOCATION
POST OFFICE - WEST MERRICK ROAD

ORIENTATION
SE





PHOTO

19

LOCATION

FREEPORT MEMORIAL LIBRARY - WEST MERRICK ROAD

ORIENTATION

SE



verizon



PHOTO

20

LOCATION

SOUTH OCEAN AVENUE

ORIENTATION

E

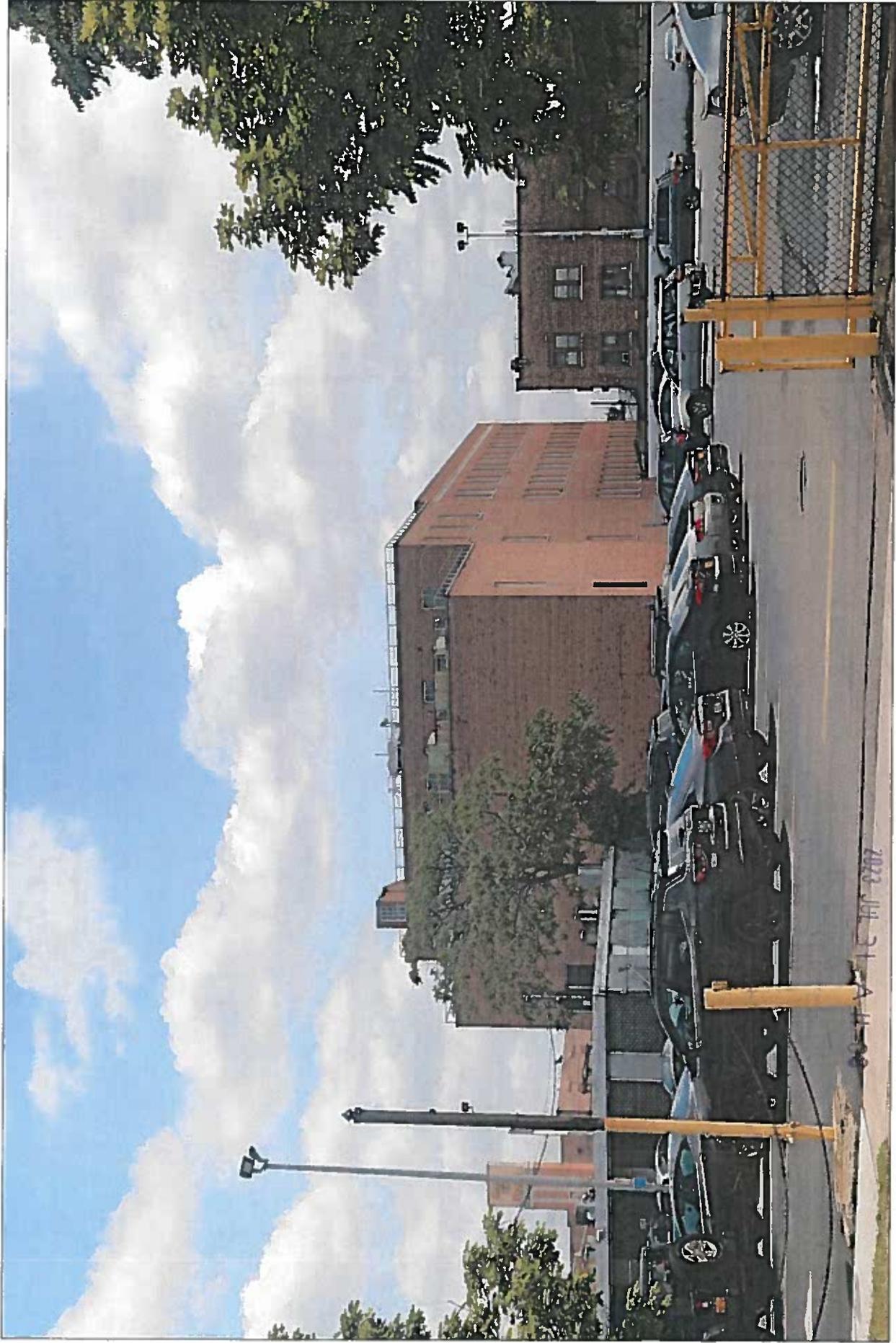


PHOTO
21

LOCATION
SOUTH OCEAN AVENUE

RECEIVED
2023 JUL 31 AM 11:00

ORIENTATION
E

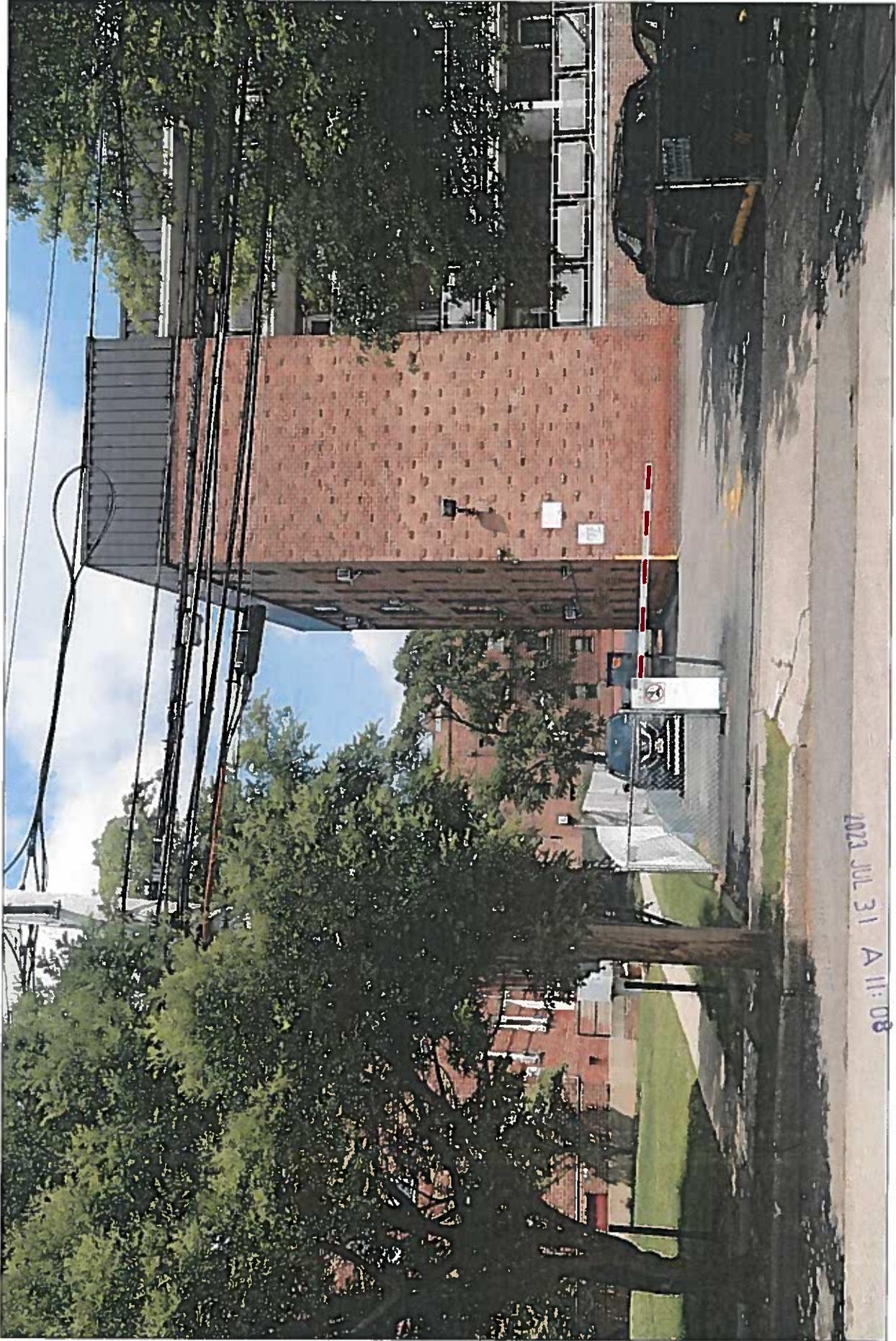


PHOTO
22

LOCATION
SMITH STREET AT SOUTH OCEAN AVENUE

ORIENTATION
NE





PHOTO

23

LOCATION

SMITH STREET

ORIENTATION

N



verizon



PHOTO

24

LOCATION

GUY LOMBARDO AVENUE

ORIENTATION

N



verizon



ZONING DRAWINGS FOR WIRELESS COMMUNICATIONS FACILITY:

"FREEPORT RELO"

120 GUY LOMBARDO AVENUE, FREEPORT, NY 11520

VZW PROJECT ID: 16331986

WFC PROJECT NO: 21-14632



12-1 TECHNOLOGY DRIVE, SETAUKET, NY 11711
P: 631.689.8450 | F: 631.689.8459 | www.wfcata.com



SITE INFORMATION

VERIZON WIRELESS SITE NAME	"FREEPORT RELO"
SITE TYPE/DESCRIPTION	ON ROOF: INSTALL (1) PROPOSED VERIZON WIRELESS ANTENNAS, (18) PROPOSED DUAL BAND RISERS AND (6) PROPOSED MAIN DISTRIBUTION BOXES MOUNTED WITHIN PROPOSED RF COMPATIBLE SCREENING ATOP OF EXISTING ROOFTOP BUILDING. INSTALL (3) PROPOSED FACADE MOUNTED VERIZON WIRELESS ANTENNAS ON CORNERS OF BUILDING. INSTALL (3) PROPOSED DILTA CABINETS AND (4) PROPOSED GPS UNITS ATOP EXISTING ROOFTOP MOUNTED STEEL DUNNAGE PLATFORM.
PROJECT LOCATION	120 GUY LOMBARDO AVENUE FREEPORT, NY 11520
JURISDICTION	INCORPORATED VILLAGE OF FREEPORT
VZW PROJECT ID	16331986
VZW LOCATION CODE	319862
LATITUDE	N 40° 39' 09.73" (NAD 83)
LONGITUDE	W 73° 35' 04.85" (NAD 83)
ELEVATION	+7.8 AMSL (NGVD 29)
SECTION	67
BLOCK	108
LOTS	9.25.102
ZONING DISTRICT	BUSINESS B (B 9)

PROJECT CONTACTS

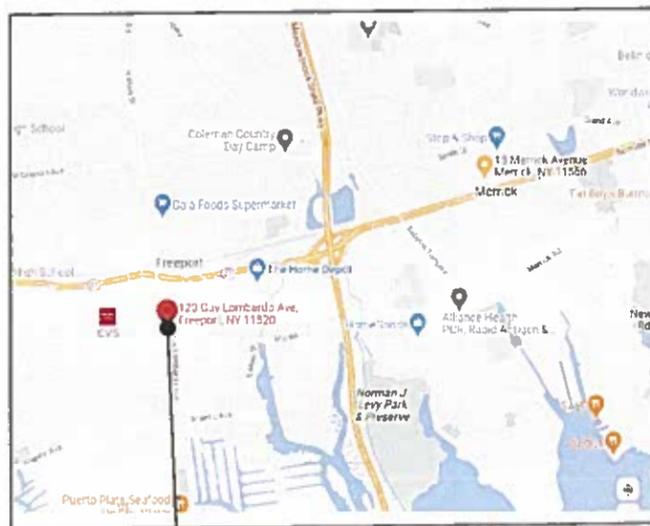
APPLICANT	NEW YORK SMSA LIMITED PARTNERSHIP d/b/a VERIZON WIRELESS 4 CENTERCITY ROAD WEST NYAC, NY 10994	(914) 714-7371
PROPERTY OWNER	JOHN LEAHY 120 GUY LOMBARDO AVENUE FREEPORT, NY 11520	(609) 972-6107
LEASING CONTACT	ROBERT MONTELEONE	(361) 3-6-4629
CONSTRUCTION CONTACT	"PENDING"	
ENGINEER	MICHAEL FERRERA	(408) 417-8125
ATE (REGISTER) CONTACT	NILA A. MACDONALD, AIA LEED AP	(631) 689-8450 EXT 115

DRAWING INDEX

DWG NO	DRAWING TITLE	INITIAL ISSUANCE	REVISION NO.	DATE
T-100.00	TITLE SHEET	10/06/22	7	07/19/23
SP-00.00	SITE PLAN	10/06/22	7	07/19/23
SP-01.00	ROOF PLAN	10/06/22	7	07/19/23
SP-102.00	ENLARGED ROOF PLAN	10/06/22	7	07/19/23
SP-03.00	ELEVATIONS	10/06/22	7	07/19/23
SP-104.00	ELEVATIONS	10/06/22	7	07/19/23
SP-105.00	ANTENNA INFORMATION AND EQUIPMENT DETAILS	10/06/22	7	07/19/23

NO.	DATE	REVISION
0	12/06/22	ISSUED FOR PRELIMINARY REVIEW
1	12/11/22	REVISED PER ATTORNEY COMMENTS
2	11/28/22	REVISED PER ATTORNEY COMMENTS
3	01/03/23	REVISED PER VZW
4	01/24/23	REVISED PER ATTORNEY COMMENTS
5	02/03/23	REVISED PER ATTORNEY COMMENTS
6	06/17/23	ISSUED FOR FILING
7	07/19/23	ISSUED FOR FILING

LOCATION MAP

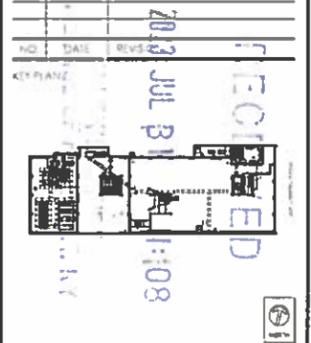


KEY MAP



GENERAL NOTES

THE ROOFTOP FACILITY WILL BE CONSTRUCTED, OPERATED, AND MONITORED OVER TIME IN ACCORDANCE WITH: (A) PLANNING BOARD RESOLUTION, INCLUDING ALL CONDITIONS CONTAINED WITHIN; (B) THE TERMS AND CONDITIONS OF THE APPROVED SITE PLAN AND SPECIAL USE PERMIT; (C) ALL APPLICABLE LOCAL, COUNTY, STATE, AND FEDERAL RULES AND REGULATIONS; AND (D) OTHER REQUIREMENTS AS ISSUED BY THE VILLAGE BUILDING INSPECTOR AS PART OF THE BUILDING PERMIT AND CERTIFICATE OF OCCUPANCY.



FREEPORT RELO
NEW BUILD ROOFTOP
VZW PROJECT ID: 16331986

120 GUY LOMBARDO AVENUE
FREEPORT, NY 11520

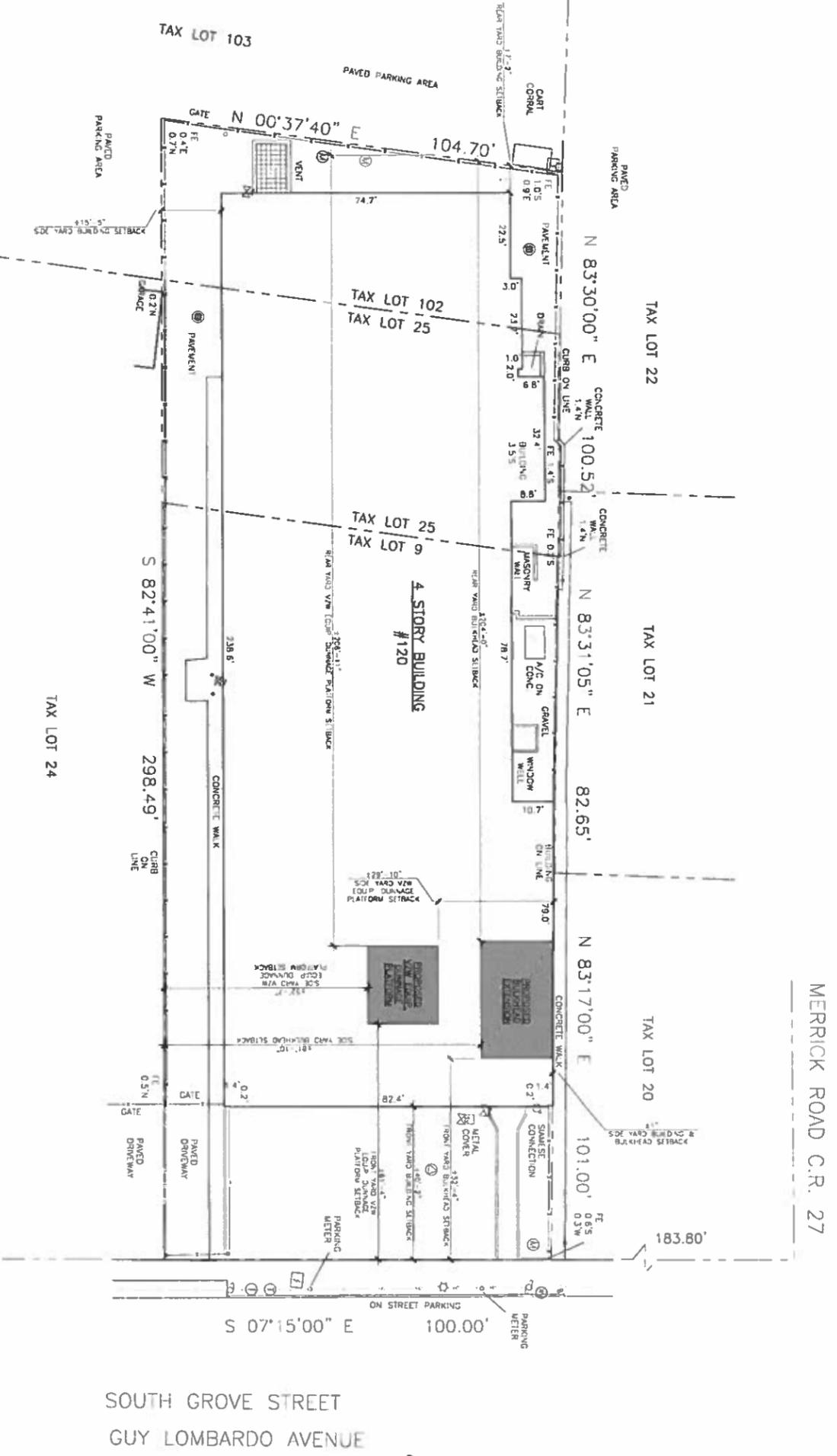
TITLE SHEET

DATE	08/29/22
PROJECT NO	21-14632
DRAWN BY	BS ALF
CHECKED BY	BS
SCALE	AS NOTED
DRAWING NO.	

T-100.00

LEGEND

SEWER MANHOLE	⊗
DRAINAGE INLET	⊕
WATER MANHOLE	⊙
WATER VALVE	⊖
GAS METER	⊛
MONITORING WELL	⊚
UNKNOWN MANHOLE	⊘
TELEPHONE MANHOLE	⊙
BOLLARD	⊙
UTILITY POLE	⊙
LIGHT POLE	⊙
GUY	⊙
TRAFFIC SIGN	⊙
CONCRETE CURB	—
DROP CURB	—
WALL	—
EDGE OF PAVEMENT	—
OVERHEAD WIRES	—
FENCE - CHAIN LINK	X



NOTE:
THE INFORMATION SHOWN HEREIN WAS TAKEN FROM A SURVEY PREPARED BY PINNACLE LAND SURVEYORS, LLP DATED SEPTEMBER 20, 2022 AND LAST REVISED WITH INTERIOR TAX LOTS ADDED ON 11/11/22.

NOTE:
THE PROPOSED BULKHEAD EXTENSION AND THE PROPOSED VZW EQUIP. DUNNAGE PLATFORM ARE SHOWN DIAGONALLY FOR SETBACK PURPOSES ONLY. REFER TO SHEET SP-101.00 FOR ADDITIONAL INFORMATION.

COORDINATES:
LATITUDE: N 40° 39' 09.73" (NAD 83)
LONGITUDE: W 73° 35' 04.85" (NAD 83)
+/- 8' AMSL (MGVD 29)
DISTRICT: BUSINESS B ("B-B")
SECTION: 62
TAX BLOCK: 108
TAX LOTS: 9, 25, 102
JURSDICTION: VILLAGE OF FREEPORT
ACREAGE OF PROPERTY: ± 0.68 ACRES



ZONING TABLE

REQUIREMENTS IN THE B-B DISTRICT:	REQUIRED:	EXISTING:	PROPOSED:	NOTES:
BULK ZONING REQUIREMENTS IN THE B-B DISTRICT AS NOTED ABOVE, THE PROPERTY IS LOCATED IN THE B-B ZONING DISTRICT PURSUANT TO §§ 210-82 - 210-87 OF THE VILLAGE CODE. THE COMMUNICATION FACILITY WILL BE SUBJECT TO THE FOLLOWING ZONING REQUIREMENTS (THE "BULK ZONING REQUIREMENTS") APPLICABLE TO NONRESIDENTIAL BUILDINGS AND STRUCTURES IN THE B-B ZONING DISTRICT.				
MAXIMUM BUILDING HEIGHT:	50'-0"	63'-3" (BUILDING) ** EXISTING NONCONFORMING 77'-0" (BULKHEAD) ** BULKHEAD HEIGHT IS EXEMPT	85'-0" ** VARIANCE REQUIRED	** NOTE THAT THE EXISTING BUILDING HEIGHT IS A NONCONFORMING CONDITION AND THE BULKHEAD HEIGHT IS EXEMPT PER TOWN CODE § 210-82.
LOT COVERAGE:	98%	64%	EXISTING NO CHANGE	
MINIMUM REQUIRED FRONT YARD:	5'-0"	40'-2"	EXISTING NO CHANGE	
VEHICULAR ACCESS:	VEHICULAR ACCESS MUST BE PROVIDED INTO THE REAR, SIDE, OR	EXISTING PAVED DRIVEWAY IS PROVIDED ON THE SOUTHERN LINE OF THE EXISTING BUILDING WHICH PROVIDES ACCESS TO THE REAR LOT.	EXISTING NO CHANGE	

1 SITE PLAN
SCALE = 1/16" = 1'-0"



NO.	DATE	REVISION
0	02/01/21	SUED FOR RELIABILITY REVIEW
1	10/01/21	REVISED PER ATTORNEY COMMENTS
2	12/01/21	REVISED PER ATTORNEY COMMENTS
3	03/02/22	REVISED PER VZW
4	07/01/22	REVISED PER ATTORNEY COMMENTS
5	08/01/22	REVISED PER ATTORNEY COMMENTS
6	08/07/22	SUED FOR FILING
7	07/09/23	SUED FOR FILING



FREEPORT RELO
NEW BUILD ROOFTOP
VZW PROJECT D: 16331986

20 GUY LOMBARDO AVENUE
FREEPORT, NY 11520

SITE PLAN

DATE:	06/29/22
PROJECT NO:	31-1442
DRAWN BY:	KS ALF
CHECKED BY:	BS
SCALE:	AS NOTED
DRAWING NO:	SP-100.00



NO.	DATE	DESCRIPTION
8	02/07/22	SUBD FOR PRELIMINARY REVIEW
7	01/27/22	REVISED PER AT ONLY COMMENTS
6	12/02/21	REVISED PER AT ONLY COMMENTS
5	09/02/21	REVISED PER VNY
4	07/23/21	REVISED PER AT ONLY COMMENTS
3	07/23/21	REVISED PER AT ONLY COMMENTS
2	07/23/21	SUBD FOR RING
1	07/23/21	SUBD FOR RING



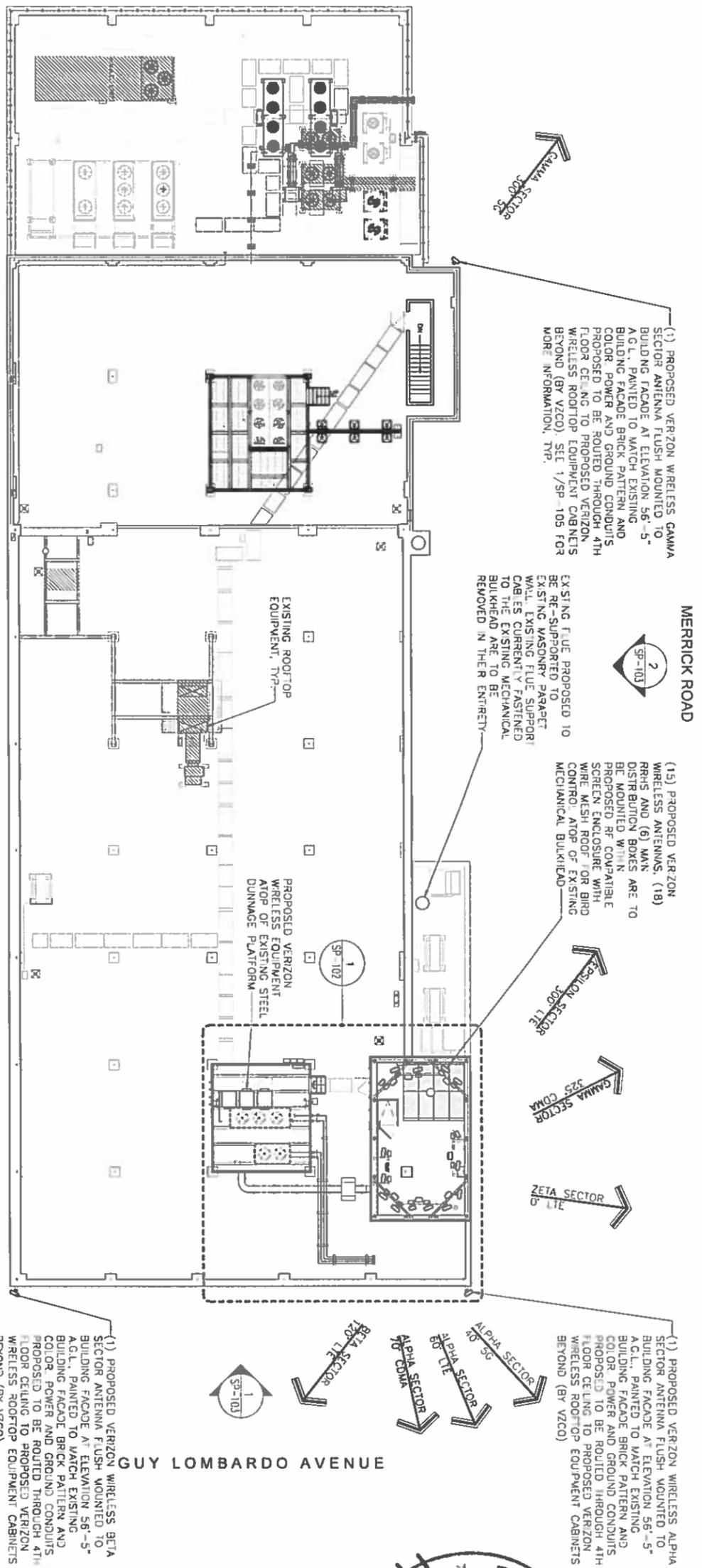
FREEPORT RELO
NEW BUILD ROOFTOP
VZW PROJECT D: 16331986

200 GUY LOMBARDO AVENUE
FREEPORT, NY 11520

ROOF PLAN

DATE:	02/07/22
PROJECTING:	21-1403
DRAWN BY:	RS, AF
CHECKED BY:	RS
SCALE:	AS NOTED

SP-101.00



NOTE:
PROPOSED FACADE MOUNTED ALPHA, BETA AND GAMMA SECTOR ANTENNAS ARE TO BE PAINTED TO MATCH EXISTING BULKHEAD BRICK COLOR AND PATTERN.

LATITUDE: N 40° 39' 09.73" (NAD 83)
LONGITUDE: W 73° 35' 04.85" (NAD 83)
+/- 8' AMSL (NGVD 29)
DISTRICT: BUSINESS B ("B-B")
SECTION: 62
TAX BLOCK: 108
TAX LOTS: 9, 25, 102
JURISDICTION: VILLAGE OF FREEPORT
ACREAGE OF PROPERTY ±: 0.68 ACRES



(15) PROPOSED VERIZON WIRELESS ANTENNAS, (18) RRHS AND (6) MAIN DISTRIBUTION BOXES ARE TO BE MOUNTED WITHIN PROPOSED RF COMPATIBLE SCREEN ENCLOSURE WITH WIRE MESH ROOF FOR BIRD CONTROL ATOP OF EXISTING ROOFTOP BULKHEAD SEE 1, 2 AND 3/SP-105 FOR MORE INFORMATION

EXISTING SKYLIGHT BELOW PROPOSED TO BE REMOVED AND ROOFED OVER WITH NEW ROOFING OVER THE ENTIRE MECHANICAL BULKHEAD BY VZCO

PROPOSED ROOF ACCESS HATCH WITH S-HIPS LADDER FROM WITHIN BULKHEAD BY VZCO

(4) EXISTING VZCO GPS UNITS TO BE RELOCATED TO TOP OF PROPOSED RF COMPATIBLE SCREENING STRUCTURE

EXISTING MECHANICAL BULKHEAD ACCESS LADDER PROPOSED TO BE REMOVED

PROPOSED RF COMPATIBLE SCREENING AND FRAMING A TOP EXISTING BULKHEAD. RF COMPATIBLE SCREENING IS TO MATCH EXISTING BULKHEAD BRICK COLOR AND PATTERN

EXISTING DUNNAGE STAIR

PROPOSED VERIZON WIRELESS POWER PANEL MOUNTED TO EXISTING HANDRAIL

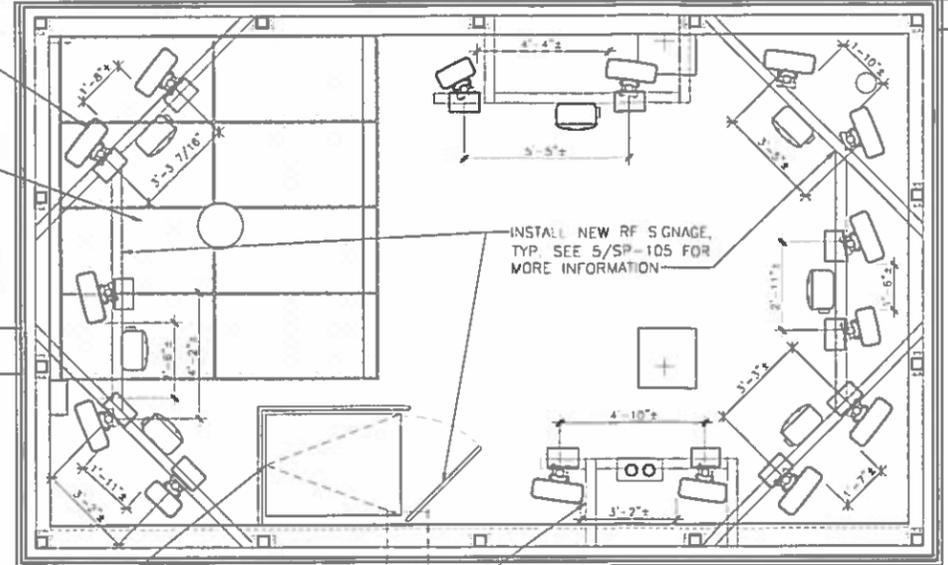
PROPOSED VERIZON WIRELESS ELECTRICAL, ELECTRICAL DISCONNECT, GROUND AND FIBER BOXES BY VZCO WITH SERVICES ROUTED INTO RESPECTIVE DEMARCS WITHIN THE BUILDING. POWER TO BE TERMINATED ON CIRCUIT(S) WITH EMERGENCY BACK UP POWER

(3) PROPOSED VERIZON WIRELESS EQUIPMENT CABINETS TO BE MOUNTED A TOP EXISTING GRATED STEEL DUNNAGE PLATFORM. SEE 6/SP-105 FOR MORE INFORMATION

PROPOSED VERIZON WIRELESS HANDRAIL MOUNTED WORK LIGHT FIXTURE TO BE OPERABLE VIA TIME SWITCH. SEE 4/SP-105 FOR MORE INFORMATION

MERRICK ROAD

ALPHA SECTOR
40' 50"



INSTALL NEW RF SIGNAGE, TYP. SEE 5/SP-105 FOR MORE INFORMATION

(1) PROPOSED VERIZON WIRELESS ALPHA SECTOR ANTENNA FLUSH MOUNTED TO BUILDING FACADE AT ELEVATION 56'-5" A.G.L., PAINTED TO MATCH EXISTING BUILDING FACADE BRICK PATTERN AND COLOR. POWER AND GROUND CONDUITS PROPOSED TO BE ROUTED THROUGH 4TH FLOOR CEILING TO PROPOSED VERIZON WIRELESS ROOFTOP EQUIPMENT CABINETS BEYOND (BY VZCO). SEE 1/SP-105 FOR MORE INFORMATION

BETA SECTOR
LITE 240
CDMA 215

GAMMA SECTOR
LITE 160

BETA SECTOR
LITE 20'

PROPOSED VERIZON WIRELESS ELECTRICAL, ELECTRICAL DISCONNECT, GROUND AND FIBER BOXES BY VZCO WITH SERVICES ROUTED INTO RESPECTIVE DEMARCS WITHIN THE BUILDING. POWER TO BE TERMINATED ON CIRCUIT(S) WITH EMERGENCY BACK UP POWER

(3) PROPOSED VERIZON WIRELESS EQUIPMENT CABINETS TO BE MOUNTED A TOP EXISTING GRATED STEEL DUNNAGE PLATFORM. SEE 6/SP-105 FOR MORE INFORMATION

PROPOSED VERIZON WIRELESS HANDRAIL MOUNTED WORK LIGHT FIXTURE TO BE OPERABLE VIA TIME SWITCH. SEE 4/SP-105 FOR MORE INFORMATION

(4) PROPOSED VERIZON WIRELESS GPS UNITS TO BE MOUNTED TO EXISTING HANDRAIL. SEE 1/SP-105 FOR MORE INFORMATION

PROPOSED CABLE TRAY STEP OVER

EXISTING CONDUITS TO REMAIN, TYP.

INSTALL NEW RF SIGNAGE. SEE 5/SP-105 FOR MORE INFORMATION

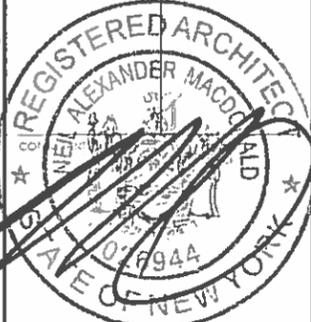
PROPOSED VERIZON WIRELESS ROOFTOP MOUNTED COVERED CABLE TRAY WITH (6) 12X24 HBRIFLEX CABLES ROUTED ALONG ROOFTOP AND UP TO MECHANICAL BULKHEAD ROOF

DASHED LINES REPRESENT (2) EXISTING DUNNAGE MOUNTED CONDENSER UNITS PROPOSED TO BE REMOVED BY VERIZON WIRELESS

GUY LOMBARDO AVENUE



12-1 TECHNOLOGY DRIVE, SETAUKET, NY 11713
P. 631.689.8450 | F. 631.689.8459 | www.wfcata.com



NO	DATE	SUBMISSION
0	12/06/22	SUED FOR PRELIMINARY REVIEW
1	1/11/23	REVISED PER ATTORNEY COMMENTS
2	1/28/23	REVISED PER ATTORNEY COMMENTS
3	01/03/23	REVISED PER VZCO
4	01/24/23	REVISED PER ATTORNEY COMMENTS
5	02/03/23	REVISED PER ATTORNEY COMMENTS
6	06/22/23	SUED FOR FILING
7	07/19/23	SUED FOR FILING



FREEPORT RELO
NEW BUILD ROOFTOP
VZCO PROJECT ID: 16331986

120 GUY LOMBARDO AVENUE
FREEPORT, NY 11520

ENLARGED ROOF PLAN

DATE:	08/29/22
PROJECT NO:	71 14637
DRAWN BY:	BS, ALI
CHECKED BY:	BS
SCALE:	AS NOTED
DRAWING NO:	

SP-102.00

LATITUDE: N 40° 39' 09.73" (NAD 83)
LONGITUDE: W 73° 35' 04.85" (NAD 83)
+/- 8' AMSL (NGVD 29)
DISTRICT: BUSINESS B ("B-B")
SECTION: 62
TAX BLOCK: 108
TAX LOTS: 9, 25, 102
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ACREAGE OF PROPERTY: ± 0.68 ACRES



NOTE:
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1 ENLARGED ROOF PLAN
SCALE = 3/8" = 1'-0"

October 2, 2023

Incorporated Village of Freeport
Village Clerk Office
46 North Ocean Avenue
Freeport, NY 11520

Ref: Open Approved Application
Site Plan Approval January 26, 2021
SP-3434 - 435 Woodcleft Avenue, Section 62/Block 177/
Lot 334, 520, 540, 541, 542 Marine Commerce, NBD Holdings Inc.

Dear Ms. DeBourg,

We are hereby respectfully requesting the Site Plan Review Board to open the above approved application pursuant to the attached Village of Freeport Zoning Board of Appeals Decision letter dated September 21, 2023.

The Village of Freeport Zoning Board of Appeals Decision has granted the project an increase in height to add a story and increase the number of rooms from 100 to 145 guest rooms, a multi-use assembly space of 175 persons and maintain the 100-person restaurant to its original approval dated August 21, 2020.

We would like to also request a preliminary review meeting before the hearing to present the small modifications to the exterior façade, due to its increase in height with the Site Plan Review Board. Other than the increase in height and the additional story, we will maintain the same look and feel, and materials used on its original Site Plan approval.

If you have any questions about this letter, please contact my office.

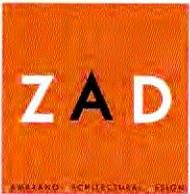
Sincerely,



Willy L. Zambrano, FAIA, LEED, AP
Principal

cc: Sergio Mauras, Building Department
NBD Holdings, Inc.
Kathleen D. Deegan, Esq

RECEIVED
2023 OCT -2 10 5 30
CLERK'S OFFICE
VILLAGE OF FREEPORT, NY



**INCORPORATED VILLAGE OF FREEPORT
ZONING BOARD OF APPEALS DECISION**

DATE: September 21, 2023

APPROVAL

Building Department Permit Application#20201438

Chairman, regarding Application #2023-16 for the premises located at 435 Woodcleft Avenue, Freeport, the Applicant comes before this Board seeking a variance from Village Ordinances §210-6A, 210-239, 210-3, 210-172(6) seeking approval for a proposed new 145 room hotel, 100 occupant restaurant, and 175 occupant banquet room and to utilize section 62 block 233, lots 2 & 3 and section 62 block 183 lot 410 for additional accessory use offsite parking

I, Ben Jackson, move that this Board make the following findings of fact:

A public hearing was held on August 17, 2023 wherein applicant was represented by attorney Kathleen Dickson. She explained that she was previously before the Board in August of 2020 where the variances were granted for a new 100 room hotel with a banquet hall, restaurant, and parking. Since that time, costs have increased, and the project, as approved, is no longer economically viable. The applicant is before the Board seeking an additional height variance to add an additional floor to the hotel (for a total of five floors, with parking at ground level and four floors of building above), adding an additional 45 hotel rooms, while reducing the capacity of the banquet hall from 300 to 175. They are seeking a variance for providing offsite parking. Parking demand has increased by three parking spaces with the reconfiguration of the project. The applicant has entered into an agreement with the Village for 41 parking spaces along Sea Breeze Park. The Village has also agreed to allow parking either at the Recreation Center or the Front Street Substation, which may be renovated into a new parking lot.

Ms. Dickson requested that the prior public hearing records be incorporated into this application, as it is an amendment to the previous application, rather than a brand new application. Overall, 262 parking spaces will be provided, all valet, but for 12 handicapped spaces under the building. The hotel is a Hilton hotel, and is one of few waterfront hotels on the south shore of Long Island. The property has 31 boat slips, not for rental, but for the use of hotel guests and guests of the banquet hall. The applicant is willing to accept a condition that the boat slips not be rented out.

Wayne Muller, the traffic engineer also spoke. He explained that in comparing the parking and traffic studies from the original and amended application, the expected parking was similar. When accounting for the synergy between the hotel rooms and the ballroom, the expected weekday parking is 160 vehicles, and 184 on weekends. There will be a shuttle for employees from the Recreation Center to the hotel.

Willy Zambrano spoke. He explained there will be a drop off area for the valet. He explained that the design flood elevation is 10 feet 7 inches. This allows fire trucks to go under the building if necessary. Mr. Zambrano agreed to meet with the fire department again to confirm that the building will be accessible for fire trucks. The height is 75 feet, the highest point of which is the cigar bar and lounge taking up 12% of the rooftop.

Ms. Dickson said that parking availability would always be maintained. They have a license agreement, and understand that it has to be maintained. Based on the plans provided and the testimony, 262 spaces are required (145 for hotel rooms, 33 for the restaurant, 25 for employees, and 59 for the banquet hall). 225 spaces are provided (79 onsite, 105 from the lots on Woodcleft and Miller, 41 at Seabreeze Park), leaving a deficit of 37 spaces which will need to be accounted for in any parking agreement with the Village for parking at the Recreation Center or at the Front Street sub-station.

In the previous application, 259 spaces were required and the plan was to provide all of them. With the new application, 262 are required, and again, the plan is to provide all of them, with some off-site spaces. The building height will be 75 feet ½ inches, to allow for a 4th floor of rooms in this elevated building.

All findings made by the Board in the previous decision from August 2020 are incorporated by reference.

As for the parking space size and height variances:

1. On balance, the benefit to the applicant by the granting of this variance is not outweighed by the detriment to the health, safety and welfare of the neighborhood or community if such variance were to be granted. The Board has determined:
 - a. that an undesirable change will not be produced in the character of the neighborhood and a detriment to nearby properties will not be created by the granting of the area variance;
 - b. that the benefit sought by the applicant cannot be achieved by some method, feasible for the applicant to pursue, other than an area variance;
 - c. that the requested area variance is insubstantial;
 - d. that the proposed variance will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district; and that the alleged difficulty was not self-created.

Under §210-12K, the Board has the power to permit the parking spaces provided for by this chapter for nonresidential use to be located elsewhere than as required, provided that such other location is no more than 500 feet distant from the location as set forth in the chapter. This power specifically applies to the request to use the lot adjacent to the subject property and to the parking spaces located along Seabreeze Park. As such, the Board is required to make the following findings of fact when approving the use of these spaces:

2. This Application as conditioned will not substantially depreciate the value of other properties.
3. This Application as conditioned will not appreciably alter the essential character of the neighborhood.
4. This Application as conditioned will not because of noise, noxious odors or other undesirable attributes, create a nuisance.
5. This Application as conditioned will secure public safety and welfare and assure substantial justice.

6. This Application as conditioned will not create or tend to create a fire hazard or endanger the structure or premises wherein or whereon such use is sought.
7. This Application as conditioned will fully comply with §87-20 and §87-21 of Chapter 87, Flood Damage Prevention, of this Code.

The lots located at the Freeport Recreation Center or the Front Street Substation and on Miller Avenue are not within a 500 foot radius, however, in its general power to grant variances, the Board grants a variance for these required spaces, subject to the conditions of continually requiring leases be in effect for these spaces. So as to the requested parking variance:

8. On balance, the benefit to the applicant by the granting of this variance is not outweighed by the detriment to the health, safety and welfare of the neighborhood or community if such variance were to be granted. The Board has determined:
 - a. that an undesirable change will not be produced in the character of the neighborhood and a detriment to nearby properties will not be created by the granting of the area variance. Applicant has gone to great lengths to provide for all of the parking required under the code.
 - b. that the benefit sought by the applicant cannot be achieved by some method, feasible for the applicant to pursue, other than an area variance. Because all of the parking is not located on site, applicant is required to get permission under §210-12K for the Woodcleft and Seabreeze spaces within 500 feet and a variance for the remaining Miller Avenue and Recreation Center or Front Street Substation spaces outside of the 500 foot radius. All of these spaces offsite however will use valet parking.
 - c. that the requested area variance is insubstantial. No additional burden is being placed on the surrounding neighborhood to provide these spaces, so as such this is an insubstantial variance
 - d. that the proposed variance will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district; and
 - e. that the alleged difficulty was not self-created.
9. The Board, as lead agency, previously determined that this action is an unlisted action under SEQRA, found no environmental impact under SEQRA, and issued a negative declaration. Nothing is changed under SEQRA by this amendment.

I further move that this application be granted subject to the following conditions from both the previous hearing and this hearing:

1. Applicant/Owner must comply with all the Rules and Regulations of the Village of Freeport.
2. Applicant must obtain the required permits from the Building Department and any other local, state or federal agencies.
3. Applicant/Owner must execute an Affidavit of Compliance and return same to the Office of the Village Clerk within ninety (90) days of this approval as a prerequisite for issuance of any permit.
4. Applicant must, within 90 days of receiving its building permit, to the extent not previously provided, provide the Building Department and Village Attorney's office

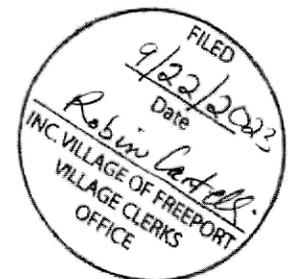
with copies of signed leases or licenses for use of the parking lot on Miller (SBL 62/183/410), for the use of space adjacent to Seabreeze Park for the parking of 41 spaces, and for the use of roughly 37 parking spaces at the Freeport Recreation Center or Front Street Substation, that when combined with the 79 onsite spaces and parking spaces on Woodcleft, will equal the 262 required parking spaces.

5. Applicant must maintain these leases year-round. To ensure that the lease is continuously valid during the height of the season when parking is at its most difficult, no later than May 1 of each year, applicant must provide a signed year-long lease or longer to the Building Department. The Zoning Board strongly recommends that the applicant sign multi-year leases/licenses because should they ever fail to provide the full amount of parking required, applicant must return to the Board for further review.
6. Signage designating the parking lots and spaces as in use by the hotel are recommended, subject to approval by the condominium and Village.
7. Valet parking to be required at all times for all off-site parking spaces and those on-site spaces designated as valet parking in the plans.
8. As parking on the Nautical Mile is a challenge on the best of days, this permission to use off-site spaces within 500 feet and the variance to provide another additional spaces further off-site is conditioned on continuously providing these spaces for parking. Should applicant fail to lease spaces, continue to lease spaces, or sell the adjacent parcel, this parking space variance is automatically revoked. As such, all operations must then cease immediately, until the impact of the loss of spaces can be considered by the Building Department in terms of overall capacity to continue operations. If needed, the applicant will have to return to the Zoning Board for further review.
9. Should the type of usage of this business/property ever change, these variances are revoked and applicant/owner would have to return to this Board for further review.
10. All deliveries must be made before 10AM to minimize disruption on the mile.
11. Applicant must meet with fire department to discuss any safety concerns of the fire department as part of the site plan process and ensure access to the building by fire apparatus.
12. Any boat slips on the property are not to be rented out. Those slips are to be reserved solely for guests of the hotel, restaurant or banquet hall.
13. A shuttle must be provided for transportation between parking spaces at the Recreation Center or the Front Street Substation and the hotel, regardless of whether those spaces are used for employees or guests.

Second by: Drew Scopelitis

The Clerk polled the Board:

Member Jackson	In Favor
Alternate Member Scopelitis	In Favor
Chairp Rhoden	In Favor





ZAD

ZAMBRANO ARCHITECTURAL DESIGN
410 ATLANTIC AVENUE
FREEPORT, NY 11520
WWW.ZAMBRANOARCHITECTS.COM

VIEW FROM SEA BREEZE PARK WATERFRONT

THE FREEPORT HOTEL
OCTOBER 1, 2023
THE NAUTICAL MILE at FREEPORT, NY
435 WOODCLEFET AVENUE
FREEPORT, NY 11520



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VIEW FROM WOODCLEFT CANAL 1

THE FREEPORT HOTEL
OCTOBER 1, 2023
THE NAUTICAL MILE at FREEPORT, NY
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WEST ELEVATION / VIEW FROM WOODCLEFT AVENUE



EAST ELEVATION / VIEW FROM WOODCLEFT CANAL

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EXTERIOR ELEVATIONS 1

THE FREEPORT HOTEL
OCTOBER 1, 2023
THE NAUTICAL MILE at FREEPORT, NY
435 WOODCLEFET AVENUE
FREEPORT, NY 11520



NORTH ELEVATION / VIEW FROM VEHICULAR ACCESS



SOUTH ELEVATION / VIEW FROM WATERFRONT



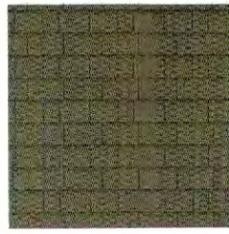
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EXTERIOR ELEVATIONS 2

THE FREEPORT HOTEL
OCTOBER 1, 2023
THE NAUTICAL MILE at FREEPORT, NY
435 WOODCLEFET AVENUE
FREEPORT, NY 11520



FIBER CEMENT PLANK BOARDS /
HARDPLANK / ARTIC WHITE



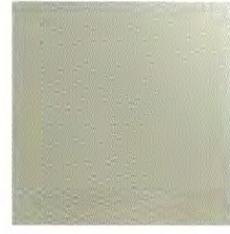
FIBER CEMENT SHINGLE BOARDS /
HARDPLANK / IRON GRAY



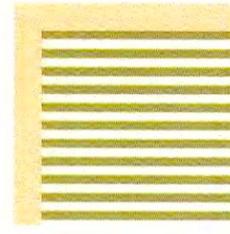
ARCHITECTURAL FINISH /
POURED-IN-PLACE CONCRETE



EXTERIOR GRADE WOOD /
EXPOSED FRAMING & LATTICE SCREENS



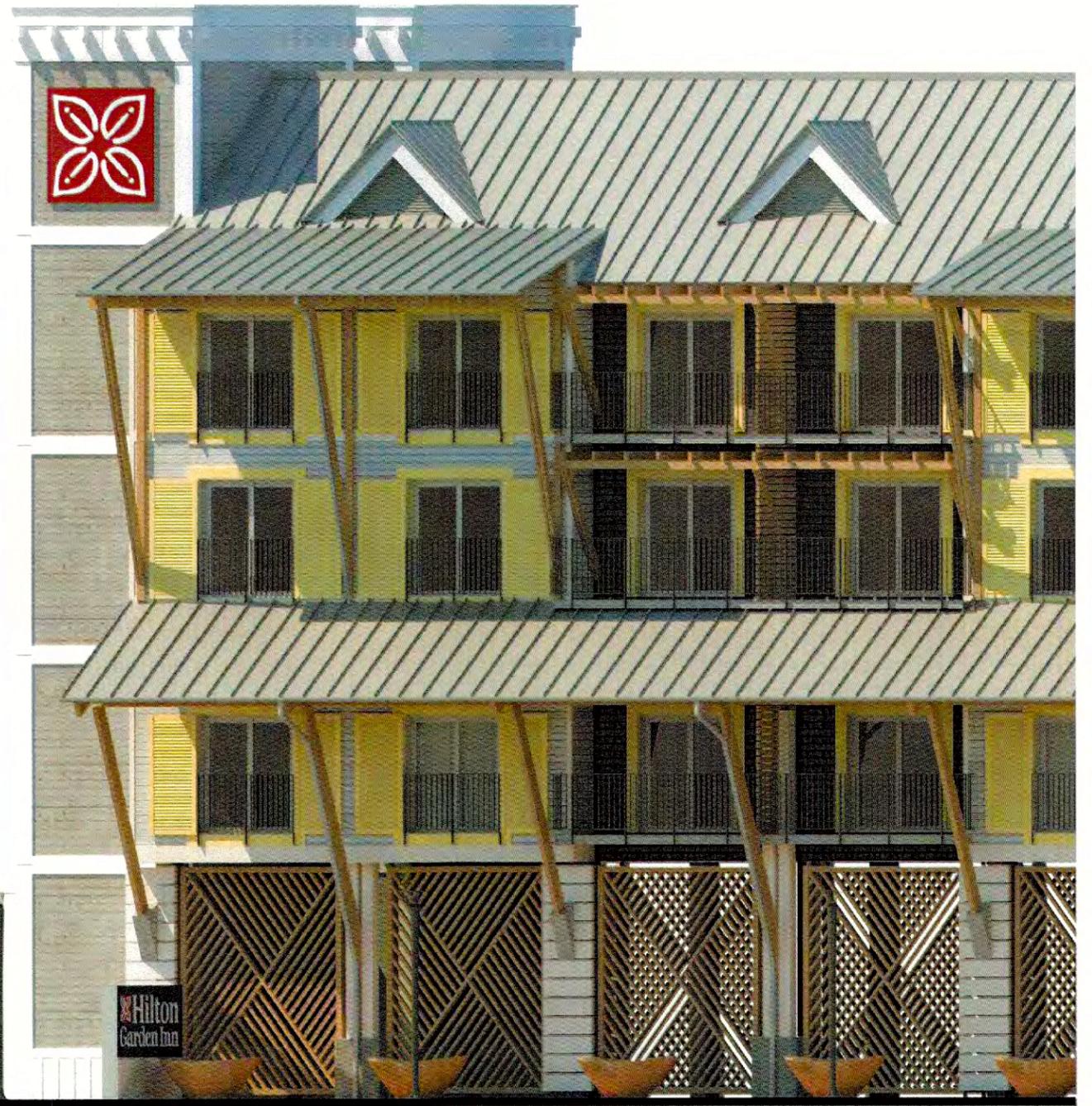
STANDING SEAM METAL ROOF /
WITH KYNAR 500 METAL FINISH



EXTERIOR SHUTTER SCREENS
WITH EXTERIOR GRADE PAINT FINISH



ALUMINUM & GLASS STOREFRONT WALL SYSTEM
WITH NATURAL BRUSHED ALUMINUM MULLIONS



ZAD

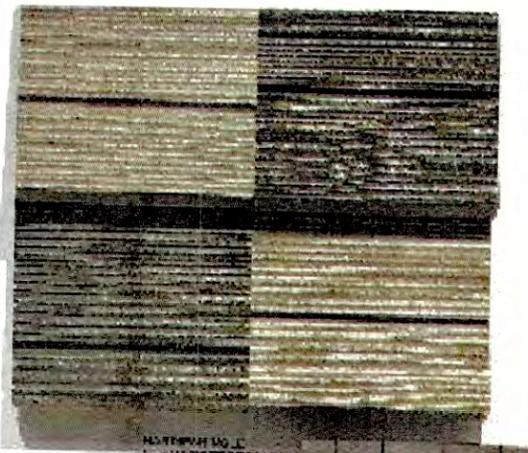
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410 ATLANTIC AVENUE
FREEPORT, NY 11520
WWW.ZAMBRANOARCHITECTS.COM

**ENLARGED WEST ELEVATION VIEWS
FROM WOODCLEFT AVENUE**

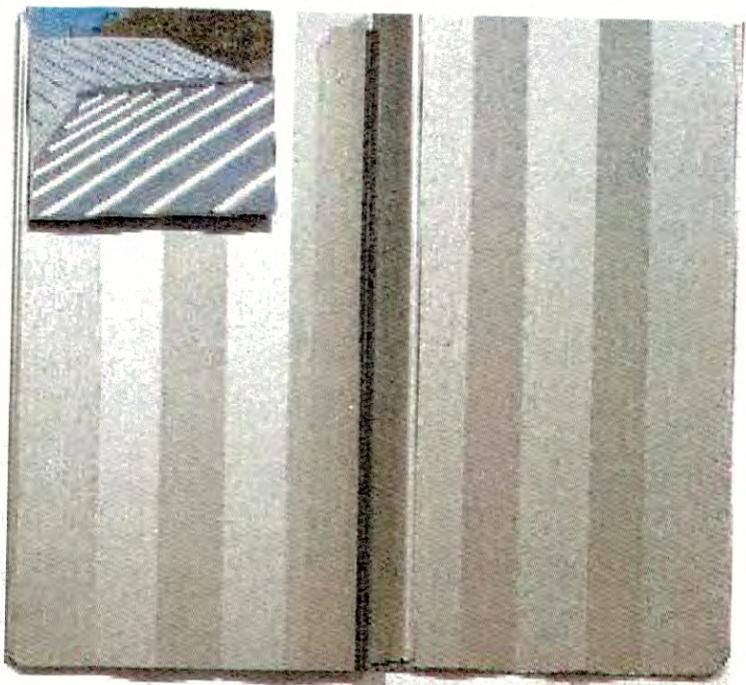
THE FREEPORT HOTEL
OCTOBER 1, 2023
THE NAUTICAL MILE at FREEPORT, NY
435 WOODCLEFET AVENUE
FREEPORT, NY 11520



CENTRO STEEL
METAL PANELS (30" x
14.5")
CUTTING SHEET
PROJECT
MATERIALS BOARD



NATURAL WOOD
SLATS (30" x 12")
CUTTING SHEET
PROJECT
MATERIALS BOARD



STANDARD
METAL PANEL SYSTEM
CUTTING SHEET
PROJECT
MATERIALS BOARD



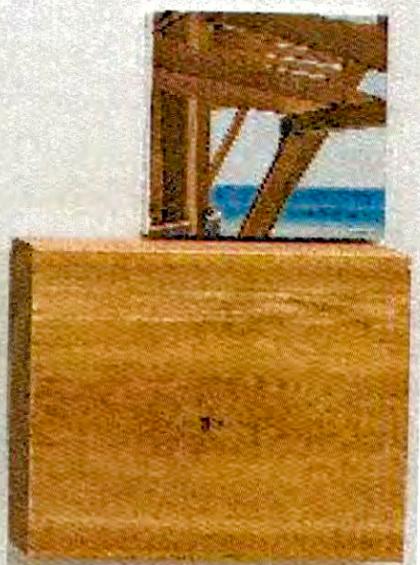
METAL PERFORATION
SHEETS (30" x 12")
CUTTING SHEET
PROJECT
MATERIALS BOARD



PERMEABLE BRICK
PAVERS (24" x 12" x 3")
CUTTING SHEET
PROJECT
MATERIALS BOARD



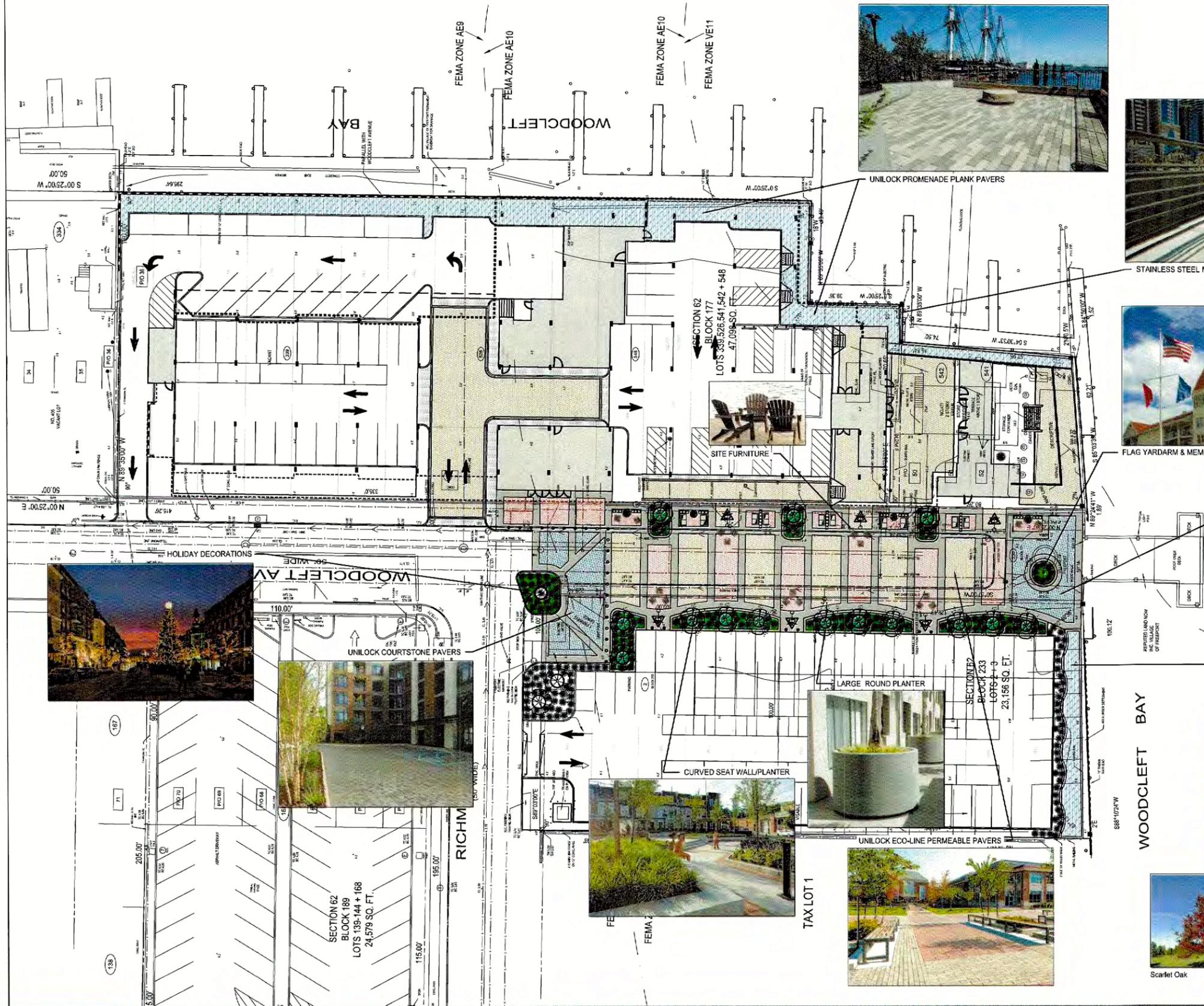
WOOD GRAIN
LAMINATE (30" x 12")
CUTTING SHEET
PROJECT
MATERIALS BOARD



NATURAL WOOD
PLANKS (30" x 12")
CUTTING SHEET
PROJECT
MATERIALS BOARD



HILTON GARDEN INN
Freeport
Exterior materials
Sample Board
January 25, 2021



UNILock PROMENADE PLANK PAVERS



STAINLESS STEEL MARINE RAILING



FLAG YARD& MEMORIAL



UNILock COURTSTONE PAVERS



CURVED PLANTERS/BOARDWALK EDGE

SAMPLE PLANT PALETTE



Scarlet Oak



Honey Locust



Ginkgo



SECTION 62
BLOCK 189
LOTS 139-144 + 168
24,579 SQ. FT.



CURVED SEAT WALL/PLANTER



LARGE ROUND PLANTER



UNILock ECO-LINE PERMEABLE PAVERS

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**SITE PLAN / HARDSCAPING & LANDSCAPING /
 TREE SPECIES & PLANTERS / LIGHTING / SEATING**

THE FREEPORT HOTEL
OCTOBER 1, 2023
 THE NAUTICAL MILE at FREEPORT, NY
 435 WOODCLEFET AVENUE
 FREEPORT, NY 11520



ZAMBRANO ARCHITECTURAL DESIGN
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VIEW FROM SEA BREEZE PARK WATERFRONT

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VIEW FROM WOODCLEFT CANAL 1

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OCTOBER 1, 2023
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435 WOODCLEFET AVENUE
FREEPORT, NY 11520



WEST ELEVATION / VIEW FROM WOODCLEFT AVENUE



EAST ELEVATION / VIEW FROM WOODCLEFT CANAL

ZAD

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EXTERIOR ELEVATIONS 1

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OCTOBER 1, 2023
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 FREEPORT, NY 11520



NORTH ELEVATION / VIEW FROM VEHICULAR ACCESS



SOUTH ELEVATION / VIEW FROM WATERFRONT

ZAD

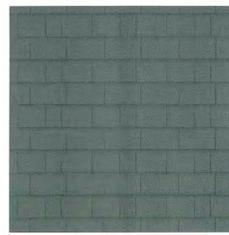
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EXTERIOR ELEVATIONS 2

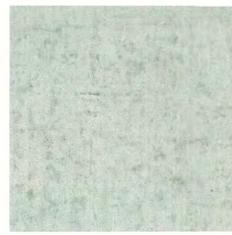
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FIBER CEMENT PLANK BOARDS /
HARDIPLANK / ARTIC WHITE



FIBER CEMENT SHINGLE BOARDS /
HARDIPLANK / IRON GRAY



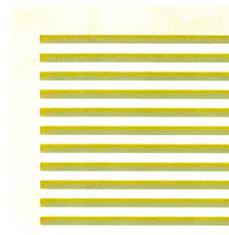
ARCHITECTURAL FINISH /
POURED-IN-PLACE CONCRETE



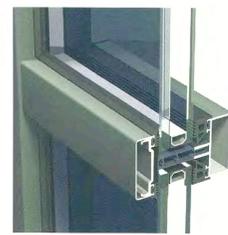
EXTERIOR GRADE WOOD /
EXPOSED FRAMING & LATTICE SCREENS



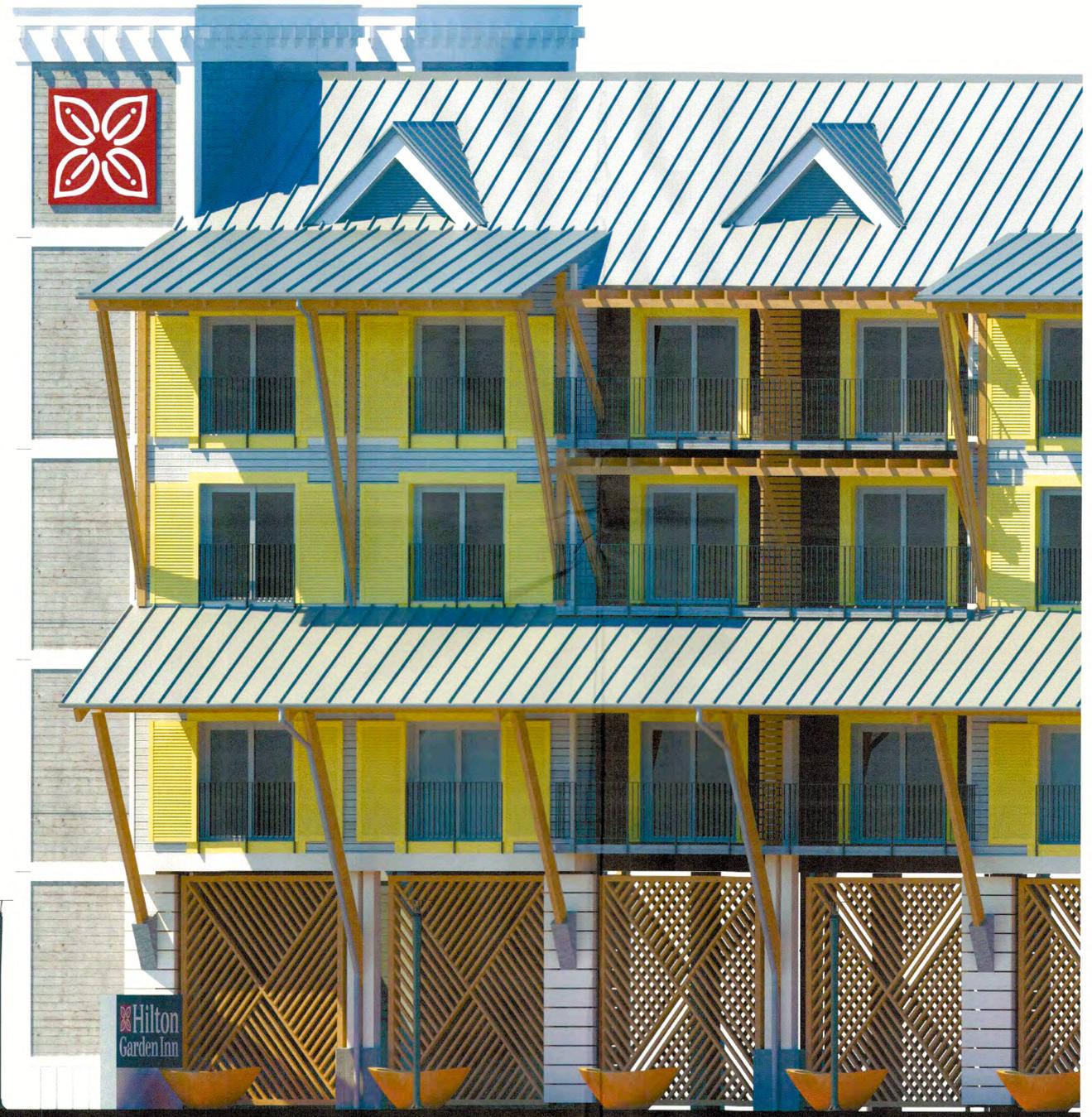
STANDING SEAM, METAL ROOF /
WITH KYNAR 500 METAL FINISH



EXTERIOR SHUTTER SCREENS
WITH EXTERIOR GRADE PAINT FINISH



ALUMINUM & GLASS STOREFRONT WALL SYSTEM
WITH NATURAL BRUSHED ALUMINUM MULLIONS

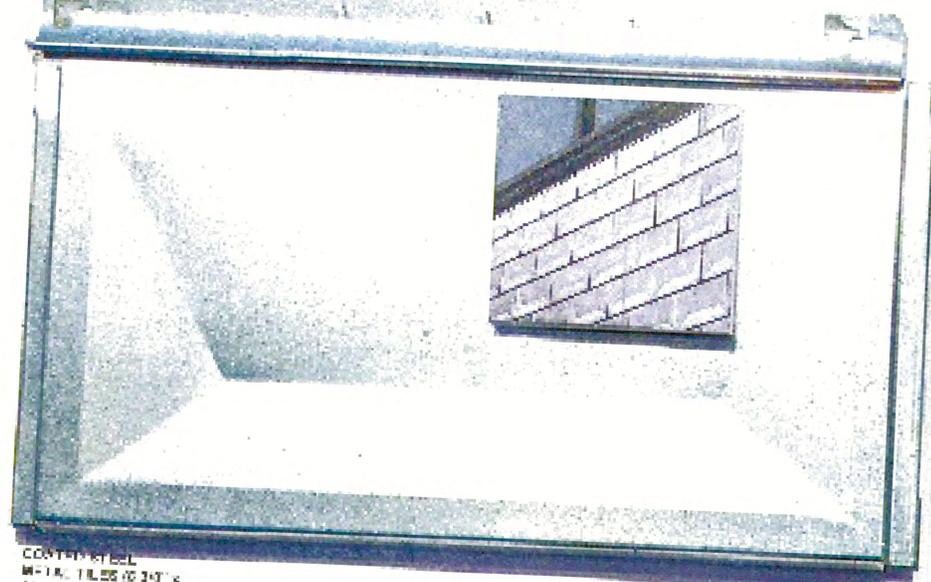


ZAMBRANO ARCHITECTURAL DESIGN
410 ATLANTIC AVENUE
FREEPORT, NY 11520
WWW.ZAMBRANOARCHITECTS.COM

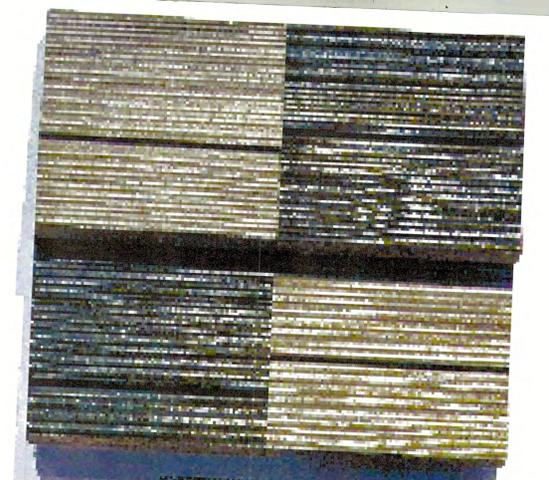


**ENLARGED WEST ELEVATION VIEWS
FROM WOODCLEFT AVENUE**

THE FREEPORT HOTEL
OCTOBER 1, 2023
THE NAUTICAL MILE at FREEPORT, NY
435 WOODCLEFET AVENUE
FREEPORT, NY 11520



CORTEX METAL
METAL TILES (24" x 24")
CANTON, OHIO
METAL TILES
METAL TILES



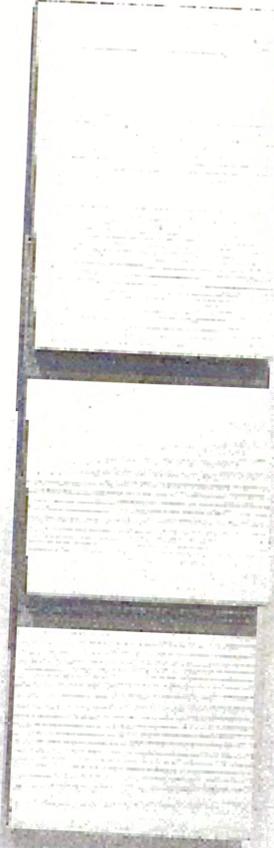
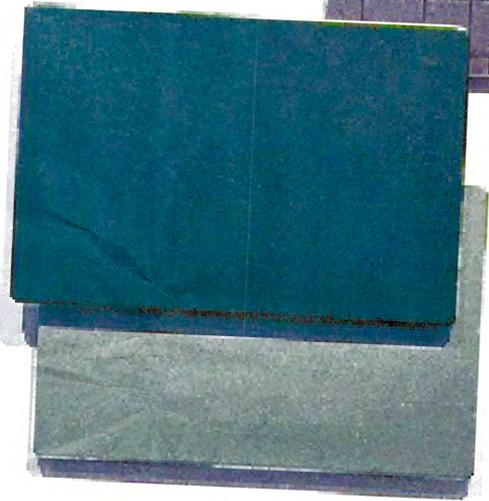
ALUMINUM
ALUMINUM
ALUMINUM
ALUMINUM



STANDARD RAIN
METAL RAIN SYSTEM
METAL RAIN SYSTEM
METAL RAIN SYSTEM



METAL VETERAN
SHINGLES (24" x 24")
METAL VETERAN
METAL VETERAN



BOARD WOOD
DIMENSIONS VARY
DIMENSIONS VARY
DIMENSIONS VARY



PERMEABLE BRICK
PAVERS (24" x 24")
PERMEABLE BRICK
PERMEABLE BRICK

HARDWOOD
SIDING (5-1/2" x 1-1/2")
HARDWOOD
HARDWOOD

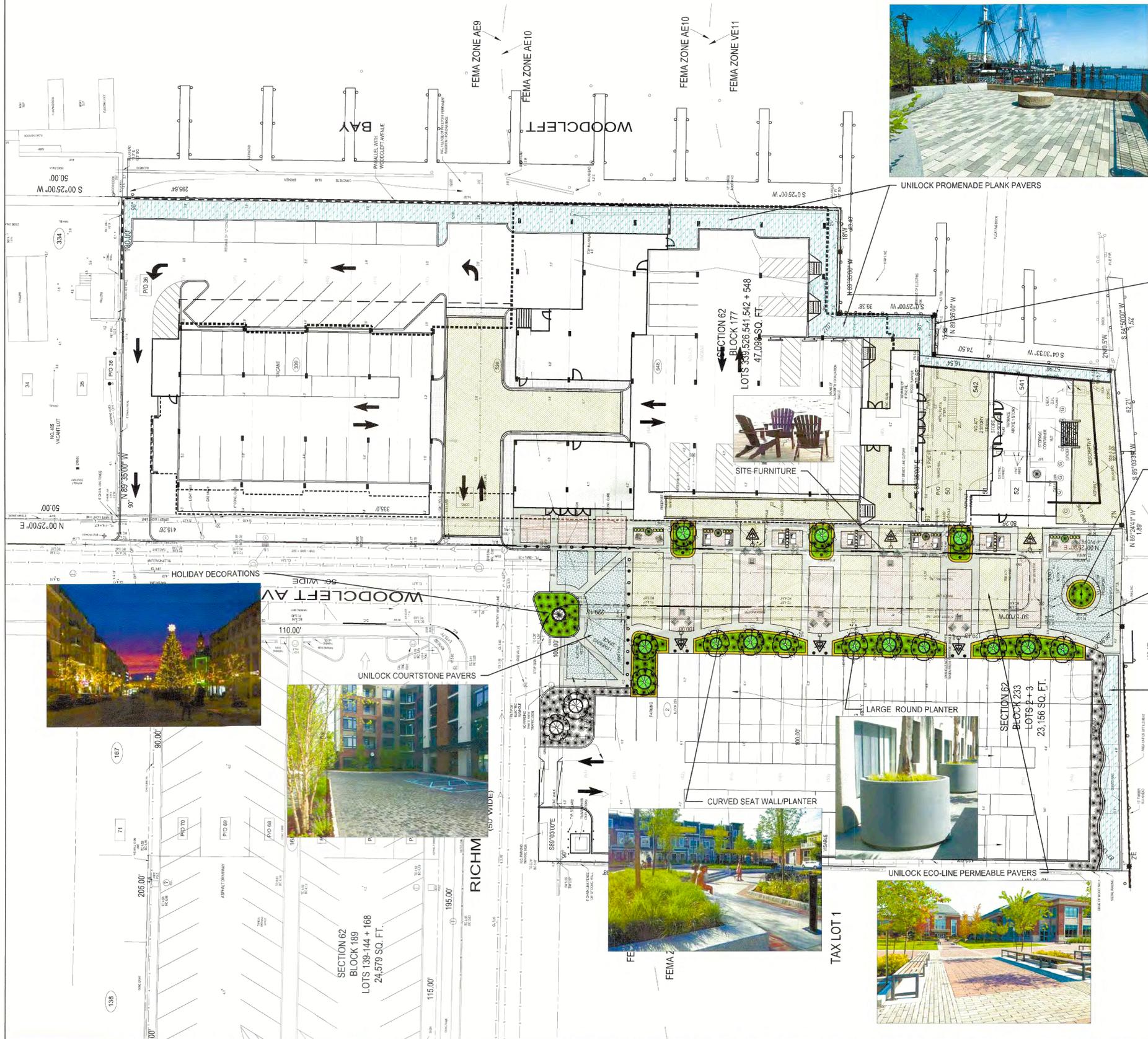


HILTON GARDEN INN
Freeport
Exterior Materials
Sample Board
January 25, 2021

ZAMBRANO ARCHITECTURAL DESIGN
410 ATLANTIC AVENUE
FREEPORT, NY 11520
WWW.ZAMBRANOARCHITECTS.COM

EXTERIOR MATERIALS SAMPLE BOARD

THE FREEPORT HOTEL
OCTOBER 1, 2023
THE NAUTICAL MILE at FREEPORT, NY
435 WOODCLEFET AVENUE
FREEPORT, NY 11520



UNILOCK PROMENADE PLANK PAVERS



STAINLESS STEEL MARINE RAILING



FLAG YARD & MEMORIAL



UNILOCK COURTSTONE PAVERS



CURVED PLANTERS/BOARDWALK EDGE



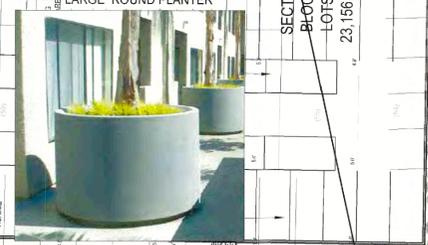
HOLIDAY DECORATIONS



UNILOCK COURTSTONE PAVERS



CURVED SEAT WALL/PLANTER



LARGE ROUND PLANTER



UNILOCK ECO-LINE PERMEABLE PAVERS

WOODCLEFT BAY

SAMPLE PLANT PALETTE



Scarlet Oak



Honey Locust



Ginkgo

ZAD
ZAMBRANO ARCHITECTURAL DESIGN
 410 ATLANTIC AVENUE
 FREEPORT, NY 11520
 WWW.ZAMBRANOARCHITECTS.COM

**SITE PLAN / HARDSCAPING & LANDSCAPING /
 TREE SPECIES & PLANTERS / LIGHTING / SEATING**

THE FREEPORT HOTEL
OCTOBER 1, 2023
 THE NAUTICAL MILE at FREEPORT, NY
 435 WOODCLEFT AVENUE
 FREEPORT, NY 11520

APPROVAL

SITE PLAN REVIEW BOARD DECISION

Date: January 26, 2021

Building Permit Application #20201438

Chairman, regarding Application **SP#3434** for the premises located at **435 Woodcleft Avenue, Freeport, NY 11520**, the applicant comes before this Board seeking approval to **construct a 90,273 sq. ft. 3-story 100-room hotel building with onsite 100 occupant load bar/restaurant, 300 occupant load multi-use public assembly space and utilize section 62 block 233 lots 2 & 3 and section 62 block 183 lot 410 for additional accessory use off-site parking.**

I, Robert Delmond, move that this Board make the following findings of fact:

1. This application **AS AMENDED** will not produce an undesirable effect on the neighborhood, if the conditions below are met.
2. This application **AS AMENDED** will produce an aesthetically and conforming positive addition to the surrounding area if the conditions below are met.
3. This application **AS AMENDED** will not negatively alter the appearance of the neighborhood, if the conditions below are met.
4. The **SITE PLAN, SURVEY PRINT & ARTIST'S RENDERING** dated by the Village Clerks' office 1/21/2021 has been submitted by the applicant, reviewed and approved by the Site Plan Review Board. Said **SITE PLAN, SURVEY PRINT & ARTIST'S RENDERING** have been stamped, approved and signed by the applicant and/or the Chairman of the Site Plan Review Board.
5. The members of this Board are familiar with the neighborhood surrounding the applicant's site and have fully considered all documents and testimony concerning this application.

I further move that this application be **GRANTED** subject to the following conditions:

1. Applicant / Owner must comply with all the Rules and Regulations of the Village of Freeport.
2. Applicant / Owner must execute an **AFFIDAVIT OF COMPLIANCE** and return same to the Office of the Village Clerk within thirty (30) days of this approval as a prerequisite for issuance of any permit.
3. Any changes and/or modifications to the approved plan are subject to further review by the Site Plan Review Board.
4. The existing transformer on the northeast corner of the parking lot is to be shielded from the street with evergreen shrubs or a green wall.
5. Applicant will review the placement of dormers to the roof and consider removing every other dormer to balance the design and if necessary, in order to maintain ventilation, adjust the size of the dormer maintaining the proportion with the remainder of the building.
6. Applicant/Owner to provide 2 sets of stamped original final plans incorporating all conditions and modifications along with the signed affidavit of compliance to the Village Clerk's Office before issuance of a Building Permit.
7. This approval is subject to any all conditions imposed by the Zoning Board of Appeals, if any, in its decision dated 8/20/2020.
8. The Zoning Board of Appeals, as lead agency, has determined that this is a Type II Action under SEQRA, and the Planning Board has no further review.

APPROVAL SITE PLAN REVIEW BOARD DECISION

Date: January 26, 2021

Building Permit Application #20201438

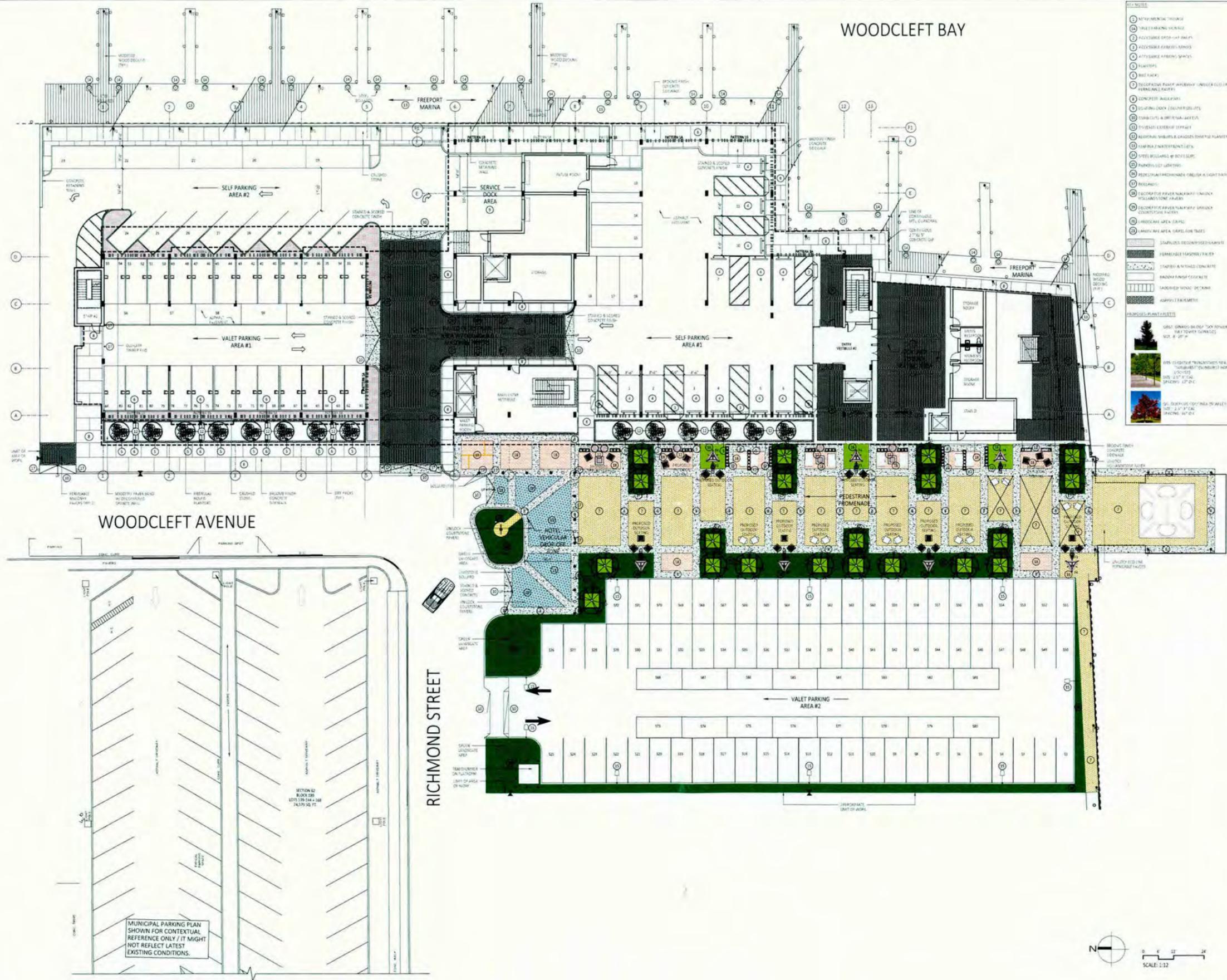
9. Applicant / Owner must obtain the appropriate permit(s) from the Building Department prior to any construction.

Second by Carole Ryan

The Clerk polled the Board as follows:

Carole Ryan	In Favor
Robert Delmond	In Favor
Annelga Weaver	In Favor
Deborah Welch	In Favor
Michael Hershberg	In Favor





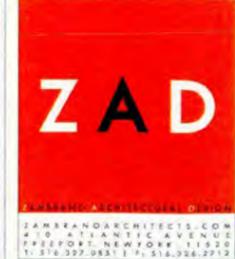
WOODCLEFT BAY

WOODCLEFT AVENUE

RICHMOND STREET

FREEPORT MARINA

- KEY NOTE**
- 1. METAL PANEL THROAT
 - 2. METAL PANEL THROAT
 - 3. METAL PANEL THROAT
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- LANDSCAPE AREA (S) (S)**
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- LANDSCAPE PLANT (S) (S)**
- 1. GASTRODIUM BULBOSUM "SUN POWER" 10' x 12' x 12'
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KEY PLAN

01.07.2021 REVISION

DOB #:

CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE BEGINNING WORK ON THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT AND ADEQUATE LIABILITY INSURANCE COVERAGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT AND ADEQUATE LIABILITY INSURANCE COVERAGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT AND ADEQUATE LIABILITY INSURANCE COVERAGE.

FREEPORT HOTEL
433 WOODCLEFT AVENUE, FREEPORT NY 11520

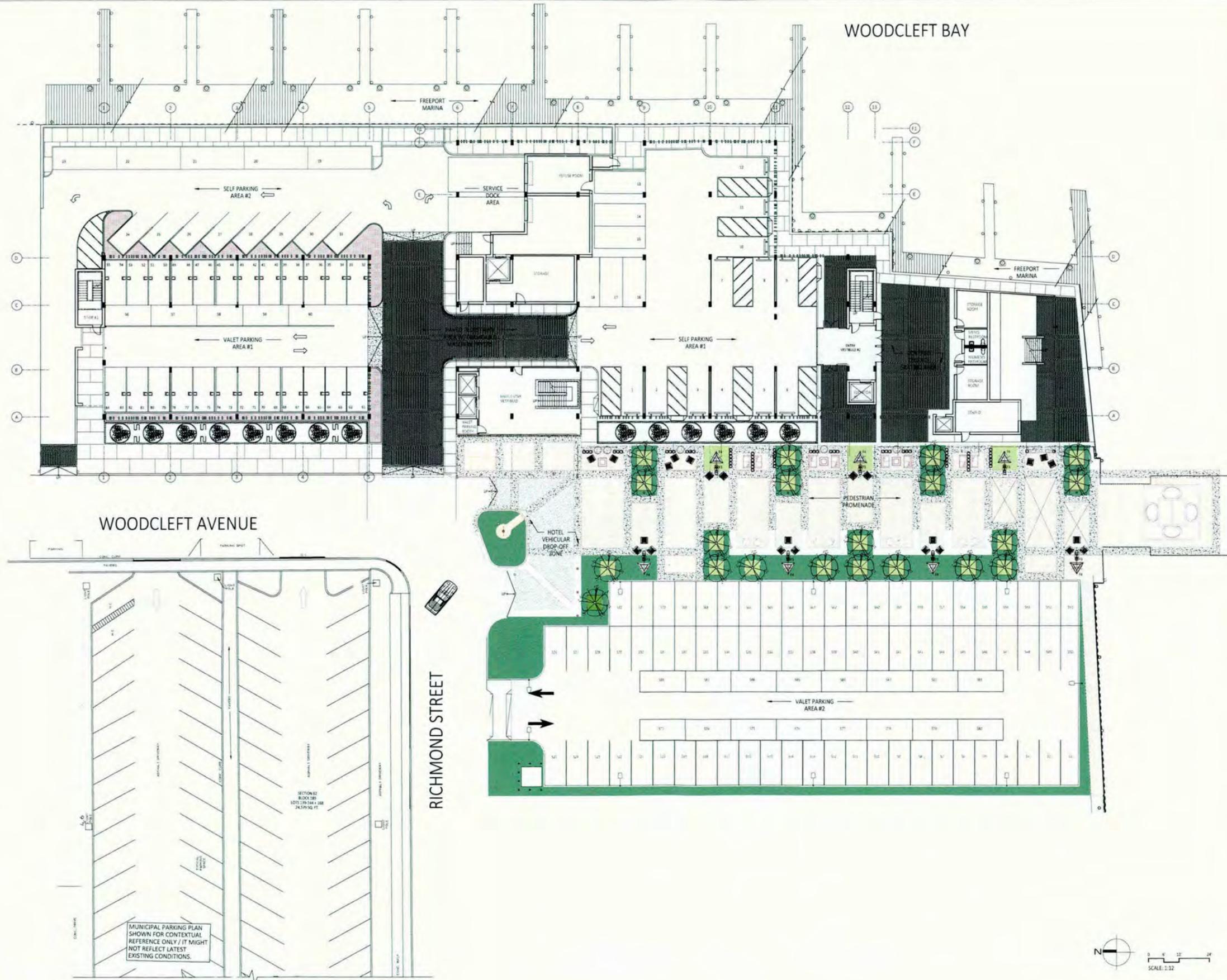
FREEPORT HOTEL
433 WOODCLEFT AVENUE, FREEPORT NY 11520

SITE PLAN



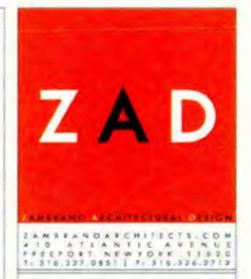
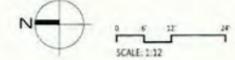
1 SITE PLAN
SCALE: 1:12

2021 JUN -7 P. 3:09



1 ROOF PLAN
SCALE: 1:12

MUNICIPAL PARKING PLAN SHOWN FOR CONTEXTUAL REFERENCE ONLY / IT MIGHT NOT REFLECT LATEST EXISTING CONDITIONS.



KEY PLAN

NO.	DATE	DESCRIPTION	BY
		ISSUED DATE	
		01.07.2021 REVISION	
		DOB #:	

FREEPORT HOTEL
435 WOODCLEFT AVENUE, FREEPORT NY 11520

FREEPORT HOTEL
435 WOODCLEFT AVENUE, FREEPORT NY 11520

SITE PLAN

Professional seal of the State of New York, dated 11/29/20, and project information including 'A-101.00' and '92 OF 93'.

VILLAGE ENGINEERING
1150 N. 10TH ST.
FREEPORT, NY 11520

2021 JAN - 7 P 3:09



1 WEST ELEVATION/ FACING WOODCLEFT AVENUE
 SCALE: 3/32"=1'-0"



2 EAST ELEVATION/ FACING WATER CANAL
 SCALE: 3/32"=1'-0"



3 SOUTH ELEVATION/ FACING WATER FRONT
 SCALE: 3/32"=1'-0"

4 NORTH ELEVATION/ FACING SERVICE LANE
 SCALE: 3/32"=1'-0"

SCALE 3/32"=1'-0"

KEY PLAN

ISSUED DATE

01.07.2021 REVISION

DOB #:

PROPOSED HOTEL: 33 WOODCLEFT AVENUE, FREEPORT, NY 11520
 33 WOODCLEFT AVENUE, FREEPORT, NY 11520
 33 WOODCLEFT AVENUE, FREEPORT, NY 11520

FREEPORT HOTEL

33 WOODCLEFT AVENUE, FREEPORT, NY 11520

FREEPORT HOTEL

33 WOODCLEFT AVENUE, FREEPORT, NY 11520

EXTERIOR ELEVATIONS

1/17/2021 11:23:05
 43 WOODCLEFT AVENUE, FREEPORT, NY 11520
 A-200.00
 03 OF 02

2021 JUN - 1 P 3: 09



VILLAGE OF FREEPORT
NY

2021 JUL 11 - 7 P 3:09

RECEIVED

F R E E P O R T

A sequence of eight marine signal flags representing the word "FREEPORT". From left to right: a red diamond (F), a red field with a yellow saltire (R), a blue field with a red saltire (E), a blue field with a red saltire (E), a blue field with a white square (P), a red field with a yellow saltire (O), a red field with a yellow saltire (R), and a red field with a white saltire (T).



F R E E P O R T



RECEIVED



2021 JAN -7 P 3:09
PROJECT OFFICE
VILLAGE OF FREEPORT, NY

RECEIVED

F R E E P O R T
[Nautical signal flags for F, R, E, E, P, O, R, T]

Application Date: 12/1/20
Fees Paid: \$750.00

SP# 3434

INCORPORATED VILLAGE OF FREEPORT
SITE PLAN REVIEW APPLICATION
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 435 WOODCLEFT AVE ZONING DISTRICT MARINE COMMERCIAL
SECTION 62 BLOCK 177 LOT 339,520,541 / 542,540 LOT SIZE: 47,098 SF

<input type="checkbox"/> TENANT	<input checked="" type="checkbox"/> APPLICANT	<input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>SAME AS OWNER</u>			Name: <u>Mr. Rohit Sakaria</u> <u>NBD HOLDING LLC.</u>
Address:			Address: <u>333 JERICHO TPKE, STE 120</u> <u>JERICHO NY 11753.</u>
Telephone #:			Telephone #: <u>516 938 1601.</u>

Attorney or architect:
Name: ZAMBRAND ARCHITECTURAL Address: 410 ATLANTIC AVE
Phone #: 516-327-0851 FREEPORT NY 11520

Present Land Use: VACANT Proposed Land Use: HOTEL - 100 ROOM RESTAURANT

Description of Proposed Work: 100 ROOM HOTEL WITH 100 PERSON RESTAURANT BAR, 300 PERSON MULTI USE PUBLIC ASSEMBLY SPACE OFF SITE PARKING ON LOTS 2 & 3 OF SECTION 62.

I request a concept plan conference: YES NO

I request a waiver of the public hearing and hereby certify the following:
A. The subject property is zoned Residence A or Residence AA.
B. The proposed construction is not a new building or dwelling.
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.
YES NO

APPLICANT'S SIGNATURE
Sworn to before me this _____ day of _____, 20__

DATE

Notary Public

Property Owner's Consent:
I, ROHIT SAKARIA am (are) the owner(s) of the subject property and consent to the filing of this application.

[Signature]
PROPERTY OWNER'S SIGNATURE

5/19/2020
DATE

Sworn to before me this 19th day of May, 2020

JAY I. WALDHAUSER
Notary Public, State of New York
No. 02WA6069182
Qualified in Nassau County
Commission Expires Jan. 22, 2022

Notary Public

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	Date of Hearing: <u>1/26/2021</u>
Deputy Village Clerk's Signature: <u>[Signature]</u>	Date of Decision: <u>1/26/2021</u>
Planning Board Signature: <u>[Signature]</u>	<input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied
	Date: <u>1/26/2021</u>
	Date: <u>4.26.21</u>



INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

ROBERT T. KENNEDY
MAYOR

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

JOSEPH MADIGAN
SUPERINTENDENT OF BUILDINGS

December 1, 2020
Updated SITE PLAN LETTER

NBD Holding Inc.
333 Jericho Tpke
Suite 126
Jericho, NY 11753-1105

RE: 435 Woodcleft Avenue, Freeport, New York

Zoning District – Marine Commerce Sec. 62 Blk. 177 Lot. 334,520,541,542,540.

Building Permit Application # 20201438 – Proposed Hotel and utilize lots 2 & 3 on block 233, section 62 for additional accessory use off-site parking. Lot 410 on block 183, section 62 for additional accessory use off-site parking.

Dear Sir/Madam:

Please be advised that the above captioned Building Permit Application cannot be further reviewed until Site Plan Review Board approval has been obtained from the Planning Board.

For your convenience, we enclose the necessary Site Plan Review Board Application together with an instruction sheet. Please complete the application and return same, together with the relevant documentation, to the VILLAGE CLERK'S OFFICE.

Be further advised that you must make application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not make application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fee will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the VILLAGE CLERK'S OFFICE at 377-2300.

Very truly yours,

Joseph Madigan
Superintendent of Buildings
Daniel Hinton, Senior Building Inspector
/al
c: Village Clerk

ZBA Approval Needed:

Yes: No:

Enc:

RECEIVED
2020 DEC - 1 P 2:20
CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

 The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project:

Building Permit App. # 20201438

Location: 435 Woodcleft Avenue, Freeport, New York

Applicant: NBD Holding Inc.

Description: Propose Hotel and utilize lots 2 & 3 on block 233, section 62 for additional accessory use off-site parking. Lot 410 on block 183, section 62 for additional accessory use off-site parking.

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

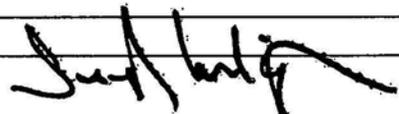
REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) _____

B) Possible environment effects identified:
(only if positive determination)

Updated DATED: Freeport, New York
December 1, 2020



Joseph Madigan
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

RECEIVED
DEC - 1 P 2:21
VILLAGE OF FREEPORT
DEPT. OF BUILDINGS

2001438

617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: <i>Freeport Hotel</i>			
Project Location (describe, and attach a location map): <i>435 Woodcleft Avenue Freeport, NY 11520</i>			
Brief Description of Proposed Action: <i>Proposed Hotel w/ sleeping rooms, restaurant, Event Hall, pool & parking.</i>			
Name of Applicant or Sponsor: <i>Pankaj Patel</i>		Telephone: <i>516-567-1135</i>	
Address: <i>337 Jendro Turnpike St. 126</i>		E-Mail:	
City/PO: <i>Jendro</i>		State: <i>NY</i>	Zip Code: <i>11753</i>
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2:		NO	YES
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: <i>illage of Freeport dtd 4 2020</i>		NO	YES
3.a. Total acreage of the site of the proposed action?		2:21	
b. Total acreage to be physically disturbed?		2:21	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		2:21	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

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	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations?		X	
b. Consistent with the adopted comprehensive plan?			X
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO		YES
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO		YES
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO		YES
b. Are public transportation service(s) available at or near the site of the proposed action?			
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?			
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO		YES
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing potable water: _____	NO		YES
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	NO		YES
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO		YES
b. Is the proposed action located in an archeological sensitive area?	X		
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO		YES
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____			X
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply. <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	X	YES
16. Is the project site located in the 100 year flood plain?	NO	X	YES
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ <input type="checkbox"/> NO <input type="checkbox"/> YES	NO		YES

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	X	
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	X	
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	X	
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>PANKAJ PATEL</u>	Date: <u>2/21/2020</u>	
Signature: _____		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?		
2. Will the proposed action result in a change in the use or intensity of use of land?		
3. Will the proposed action impair the character or quality of the existing community?		
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?		
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?		
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?		
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?		
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?		
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?		

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Freeport Planning Dept
Freeport, NY

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?		
11. Will the proposed action create a hazard to environmental resources or human health?		

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

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 VILLAGE OF FREEPORT, NY

<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
<hr/> Name of Lead Agency	<hr/> Date
<hr/> Print or Type Name of Responsible Officer in Lead Agency	<hr/> Title of Responsible Officer
<hr/> Signature of Responsible Officer in Lead Agency	<hr/> Signature of Preparer (if different from Responsible Officer)

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MAR 04 2020

**INCORPORATED VILLAGE OF FREEPORT
ZONING BOARD OF APPEALS DECISION**

DATE: August 20, 2020

APPROVAL

Building Department Permit Application# 20201438

Chairman, regarding Application #2020-09 for the premises located at 435 Woodcleft Avenue. The Applicant comes before this Board seeking a variance from Village Ordinances §210-6A, 210-239, and 210-172(A)3, 4, and 5 seeking approval for a proposed new 100 room hotel with onsite 100 occupant load bar/restaurant, 300 occupant load multi-use public assembly space and utilize section 62 block 233 lots 2 & 3 and section 62 block 183 lot 410 for additional accessory use off-site parking.

I, Ben Jackson, move that this Board make the following findings of fact:

A public hearing was held on August 13, 2020, whereon applicant NBD Holding Inc. was represented by attorney Kathleen Deegan Dickson. She explained the project being proposed: a Hilton-branded hotel with 100 rooms, 300 seat banquet hall, and a 100 seat restaurant. She explained that the biggest challenge was to provide enough parking. She explained that 259 spaces are required, and they are providing all of them. She explained a plan to revitalize the dead end street. All of the uses are permitted. All code requirements are met except some parking is off-site and a small part of the building is taller than the maximum permitted height.

Willy Zambrano, the architect, presented the plan for the building. It is a 3 story building, elevated 15 feet from grade, to prevent flood conditions and accommodate emergency vehicles. He introduced a colleague, Daniel Barrenechea, who worked with him on this design who explained that the building was designed to be an extension of the Nautical Mile. Mr. Zambrano explained the traffic flow pattern under the building and on the pedestrian area at the end of the mile. He explained that only box trucks will be used to make deliveries. He explained the flood elevation and the design flood elevation on the drawings.

Ms. Deegan Dickson explained that they have worked hard to provide all of the parking required. 84 spaces will be under the building, with a combination of self parking and valet parking. Immediately across Woodcleft Avenue is a parking lot with 88 parking spaces which is owned by the applicant as well. There are also 21 spaces on Miller Avenue which will be rented from the condominium, where the condominium swimming pool used to be. The Village also committed to creating 41 parking spaces just south of the existing spaces south of Richmond to rent out to the hotel. Additionally, there will be an agreement with the Village for the rental of 25 parking spaces for employees at the Freeport Recreation Center. No municipal parking is required. They expect some guests to arrive by boat, as the site has some boat slips as well. They also anticipate crossover, as in hotel guests will attend a function and eat in the restaurant, such that they expect excess parking capacity.

Wayne Muller, the traffic engineer, also presented. The Board was provided with a parking and traffic analysis dated June of 2020. The Nassau County Planning Commission issued a local determination for this project. A large portion of the analysis was related to parking. The parking spaces on Miller Ave. will be for long term parking. As explained later in response to a question, long term means an overnight or weekend hotel guest, as opposed to a guest eating at the restaurant or attending a function. A traffic impact analysis was also conducted. Observations were performed in and around the subject property in August of 2019. The report indicated there would be no change in service at the intersections by the introduction of the traffic generated by the project.

Ms. Deegan Dickson spoke about the height variance being requested, explaining that the code permits a building height of 40 feet and 3 stories. She explained that Mr. Zambrano measured the height of the building from the floodplain, so all of the habitable spaces are above the floodplain. She explained that part of the penthouse goes above 40 feet in building height, but it is setback from the rest of the building, so it is not visible from the street. Mr. Zambrano reminded the public that the first floor is at 15 feet elevation and the ceiling of the banquet hall on the first floor is also 15 feet. Mr. Barrenechea also explained that a lesser height could have been achieved by using a flat roof. However, they chose to make a more visually appealing building and more respectful to the architecture of the area. To conceal the infrastructure of the building and to create roofs more similar to those in the area.

Ms. Deegan Dickson explained the balancing test for area variances of the benefit to the applicant versus the cost to the surrounding neighborhood. She explained that the variances are minor in nature and scope. The parking is all provided for, but some is located off-site. The height variance is also minor and for a small portion of the building, and by virtue of the rooflines and design of the building will be almost undetectable at street view. The design was meant to keep the building feeling low and local. She explained that Hilton allowed them to design a building that would be uniquely Freeport as opposed to a more generic design.

The applicant responded to numerous questions from the Board. Members of the public also had the ability to ask questions. The majority of the questions from the public however were not related to the zoning issues at hand. The Village was not in a position to conduct its own parking and traffic analysis as recommended by the Nassau County Planning Commission due to the current Covid pandemic. Therefore, the parking study and traffic analysis conducted by applicant in August of 2019 is much more reflective of the impact of this project than anything the Village would be able to do at this time. Other questions regarding the owners of the property, police activity on the Nautical Mile, additional streets of traffic, impact on electric utility and sewer system, all of these issues are outside the scope of the Zoning Board. Questions regarding the Department of Environmental Conservation and the Army Corp of Engineers will be addressed during the permitting process. Again, these are not issues under the jurisdiction of the zoning board.

Thus, after many questions from the Board and the public, the Board finds with respect to the height variance:

1. On balance, the benefit to the applicant by the granting of this variance is not outweighed by the detriment to the health, safety and welfare of the neighborhood or community if such variance were to be granted. The Board has determined:
 - a. that an undesirable change will not be produced in the character of the neighborhood and a detriment to nearby properties will not be created by the granting of the area variance. Applicant has gone to great lengths to minimize the impact of the height of the building.
 - b. that the benefit sought by the applicant cannot be achieved by some method, feasible for the applicant to pursue, other than an area variance. In order to bring a Hilton-branded hotel to the Village, a project of a certain size and scope is required.
 - c. that the requested area variance is insubstantial.
 - d. that the proposed variance will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district; and
 - e. that the alleged difficulty was not self-created.

As to the requested parking variance:

Under § 210-12K, the Board has the power to permit the parking spaces provided for by this chapter for nonresidential use to be located elsewhere than as required, provided that such other location is no more than 500 feet distant from the location as set forth in the chapter. This power specifically applies to the request to use the lot adjacent to the subject property and to the parking spaces located along Seabreeze Park. As such, the Board is required to make the following findings of fact when approving the use of these spaces:

2. This Application as conditioned will not substantially depreciate the value of other properties.
3. This Application as conditioned will not appreciably alter the essential character of the neighborhood.
4. This Application as conditioned will not because of noise, noxious odors or other undesirable attributes, create a nuisance.
5. This Application as conditioned will secure public safety and welfare and assure substantial justice.
6. This Application as conditioned will not create or tend to create a fire hazard or endanger the structure or premises wherein or whereon such use is sought.
7. This Application as conditioned will fully comply with §§ 87-20 and 87-21 of Chapter 87, Flood Damage Prevention, of this Code.

The lots located at the Freeport Recreation Center and on Miller Avenue are not within a 500 foot radius, however, in its general power to grant variances, the Board grants a variance for these required spaces, subject to the conditions of continually requiring leases be in effect for these spaces. So as to the requested parking variance:

8. On balance, the benefit to the applicant by the granting of this variance is not outweighed by the detriment to the health, safety and welfare of the neighborhood or community if such variance were to be granted. The Board has determined:
 - a. that an undesirable change will not be produced in the character of the neighborhood and a detriment to nearby properties will not be created by the granting of the area variance. Applicant has gone to great lengths to provide for all of the parking required under the code.
 - b. that the benefit sought by the applicant cannot be achieved by some method, feasible for the applicant to pursue, other than an area variance. Because all of the parking is not located on site, applicant is required to get permission under § 210-172 (B) for the 88+41 spaces within 500 feet and a variance for the remaining 25+21 spaces outside of the 500 foot radius. All of these spaces however will use valet parking.
 - c. that the requested area variance is insubstantial. No additional burden is being placed on the surrounding neighborhood to provide these spaces, so as such this is an insubstantial variance
 - d. that the proposed variance will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district; and
 - e. that the alleged difficulty was not self-created.

Additionally, the Board adopts the following SEQRA determination:

9. The Board, as lead agency, has determined that this action is an unlisted action under SEQRA. A short environmental assessment form has been completed by the applicant and this Board. The Board finds no environmental impact under SEQRA, issues a negative declaration, and no further review is required.

I further move that this application be granted subject to the following conditions:

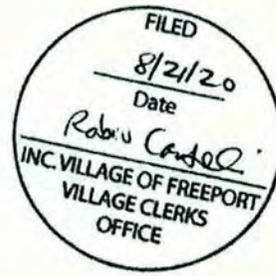
1. Applicant/Owner must comply with all the Rules and Regulations of the Village of Freeport.
2. Applicant must obtain the required permits from the Building Department and any other local, state or federal agencies.

3. Applicant/Owner must execute an Affidavit of Compliance and return same to the Office of the Village Clerk within thirty (30) days of this approval as a prerequisite for issuance of any permit.
4. Applicant must, within 90 days of receiving its building permit, provide the Building Department and Village Attorney's office with copies of signed leases or licenses for use of the parking lot on Miller (SBL 62/183/410) to provide 21 spaces, for the use of space adjacent to Seabreeze Park for the parking of 41 spaces, and for the use of 25 parking spaces at the Freeport Recreation Center.
5. Applicant must maintain these leases year-round. To ensure that the lease is continuously valid during the height of the season when parking is at its most difficult, no later than May 1 of each year, applicant must provide a signed year-long lease or longer to the Building Department. The Zoning Board strongly recommends that the applicant sign multi-year leases/licenses because should ever fail to provide the full amount of parking required, applicant must return to the Board for further review.
6. Signage designating the parking lots and spaces as in use by the hotel are recommended, subject to approval by the condominium and Village.
7. Valet parking to be required at all times for all off-site parking spaces and those on-site spaces designated as valet parking in the plans.
8. As parking on the Nautical Mile is a challenge on the best of days, this permission to use 88+41 off-site spaces within 500 feet and the variance to provide another 25+21 spaces further off-site is conditioned on continuously providing these spaces for parking. Should applicant fail to lease spaces, continue to lease spaces, or sell the adjacent parcel, this parking space variance is automatically revoked. As such, all operations must then cease immediately, until the impact of the loss of spaces can be considered by the building department in terms of overall capacity to continue operations. If needed, the applicant will have to return to the Zoning Board for further review.
9. Should the type of usage of this business/property ever change, these variances are revoked and applicant/owner would have to return to this Board for further review.
10. All deliveries must be made before 10AM to minimize disruption on the mile.
11. Applicant to meet with fire department to discuss any safety concerns of the fire department as part of the site plan process.

Second by: Charles Hawkins

The Clerk polled the Board:

Deputy Chairperson Carey	In Favor
Member Jackson	In Favor
Member Hawkins	In Favor
Alternate Scopelitis	In Favor
Chairperson Rhoden	In Favor



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FRONT STREET

WOODCLEFT AVE
(50' WIDE)

RICHMOND STREET
(50' WIDE)

WOODCLEFT AVE
(40' WIDE)

BAY

WOODCLEFT

WOODCLEFT CANAL
(WOODCLEFT BAY)

FEMA ZONE AE9
FEMA ZONE AE10

TAX LOT 1

SECTION 62
BLOCK 233
LOTS 2 + 3
23,156 SQ. FT.

SECTION 62
BLOCK 177
LOTS 339, 526, 541, 542 + 548
47,098 SQ. FT.

FEMA ZONE AE9
FEMA ZONE AE10
FEMA ZONE AE10
FEMA ZONE VE11

LITTLE SWIFT CREEK
(FREEPORT BAY)

- ⊙ = TAX LOT
- (⊙) = FILED LOT

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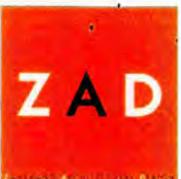
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VILLAGE OF FREEPORT, N.Y.

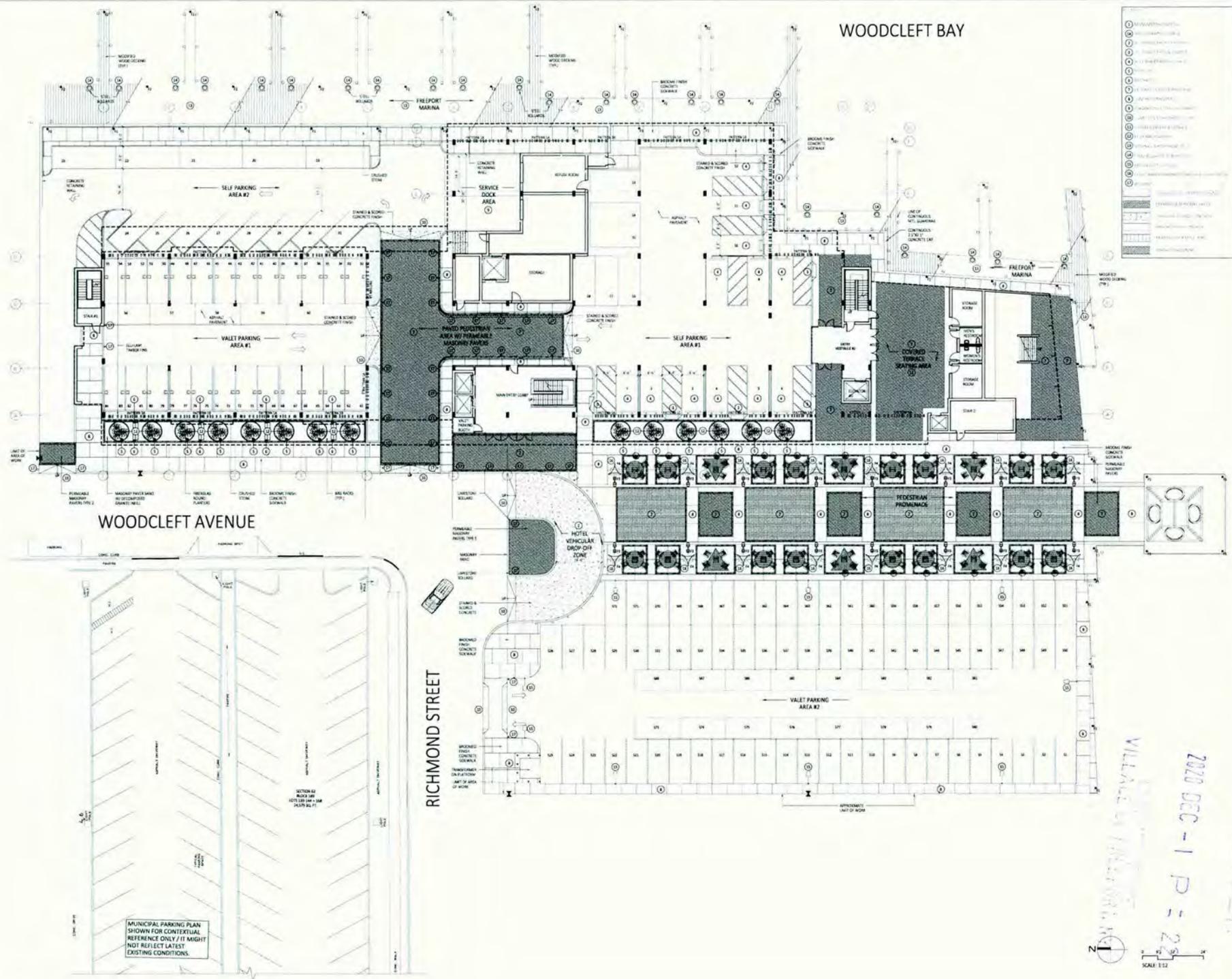


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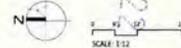


ZAD ARCHITECTS
 410 ATLANTIC AVENUE
 FREEPORT, NEW YORK 11520
 TEL: 516.227.0831 | F: 516.224.2713



WOODCLEFT AVENUE

RICHMOND STREET



MUNICIPAL PARKING PLAN SHOWN FOR CONTEXTUAL REFERENCE ONLY / IT MIGHT NOT REFLECT LATEST EXISTING CONDITIONS.

1 SITE PLAN
 SCALE: 1:12

KEY PLAN

ISSUED DATE

DOB #:
THIS PLAN IS A PRELIMINARY DESIGN AND SHOULD NOT BE USED FOR CONSTRUCTION. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS IN THIS PLAN. THE ARCHITECT'S SERVICES ARE LIMITED TO THE DESIGN AND DOCUMENTATION OF THE PROJECT AS SHOWN ON THESE PLANS. THE ARCHITECT DOES NOT PROVIDE ANY GUARANTEE OF ACCURACY OR COMPLETION OF THE PROJECT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND DOCUMENTATION OF THE PROJECT AS SHOWN ON THESE PLANS. THE ARCHITECT DOES NOT PROVIDE ANY GUARANTEE OF ACCURACY OR COMPLETION OF THE PROJECT.

FREEPORT HOTEL
 433 WOODCLEFT AVENUE, FREEPORT NY 11520

FREEPORT HOTEL
 433 WOODCLEFT AVENUE, FREEPORT NY 11520

SITE PLAN

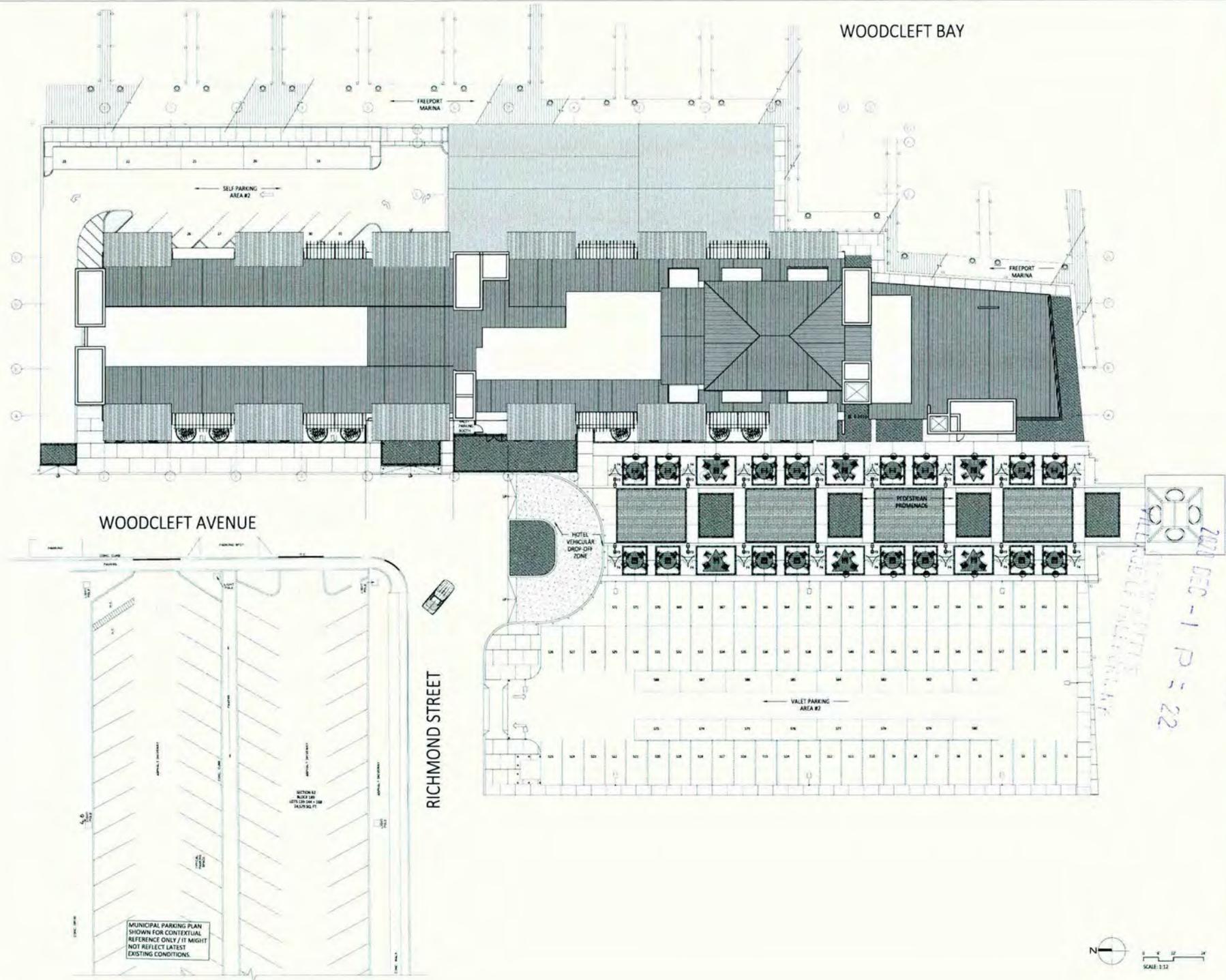
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WILLIAM W. FLETCHER, INC.
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WOODCLEFT BAY

ZAD

ZARRAND ARCHITECTS, INC.
 415 ATLANTIC AVENUE
 FREEPORT, NY 11003
 TEL: 516.337.0857 FAX: 516.334.3713



WOODCLEFT AVENUE

RICHMOND STREET

MUNICIPAL PARKING PLAN
 SHOWN FOR CONTEXTUAL
 REFERENCE ONLY / IT MIGHT
 NOT REFLECT LATEST
 EXISTING CONDITIONS.

1 ROOF PLAN
 SCALE: 1:12

KEY PLAN

ISSUED DATE

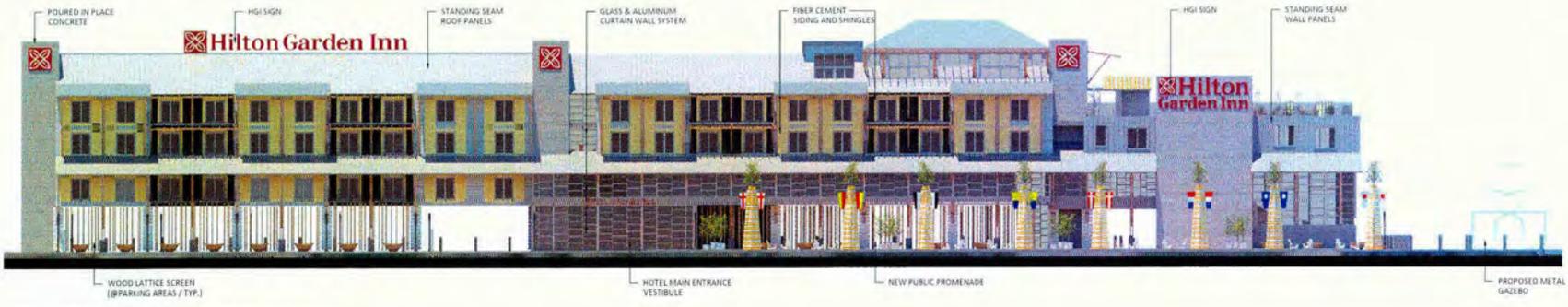
DOB #:
 CONSTRUCTION OF THIS PROJECT IS SUBMITTED AND CONSIDERED BY THE CITY OF
 FREEPORT AND DEPENDS ON THE ADOPTION OF THE PROPOSED ZONING
 ORDINANCE AND THE ADOPTION OF THE PROPOSED SUBDIVISION MAP.
 THE CITY OF FREEPORT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE
 INFORMATION CONTAINED HEREIN. THE CITY OF FREEPORT IS NOT
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FREEPORT HOTEL
 433 WOODCLEFT AVENUE, FREEPORT NY 11003

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 433 WOODCLEFT AVENUE, FREEPORT NY 11003

SITE PLAN

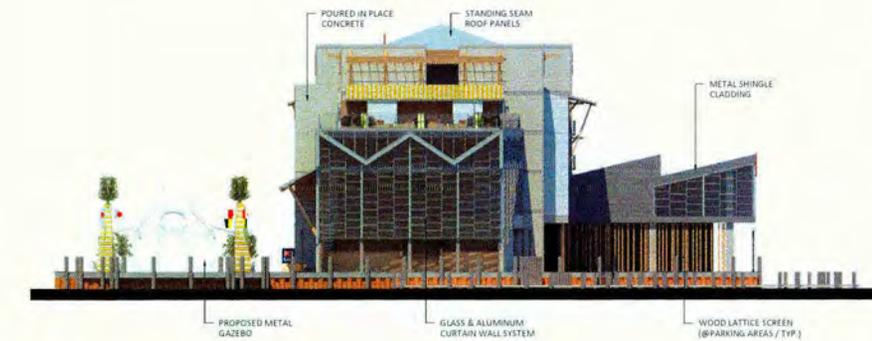
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AS NOTED	402/26
A-101.00	
02 OF 02	



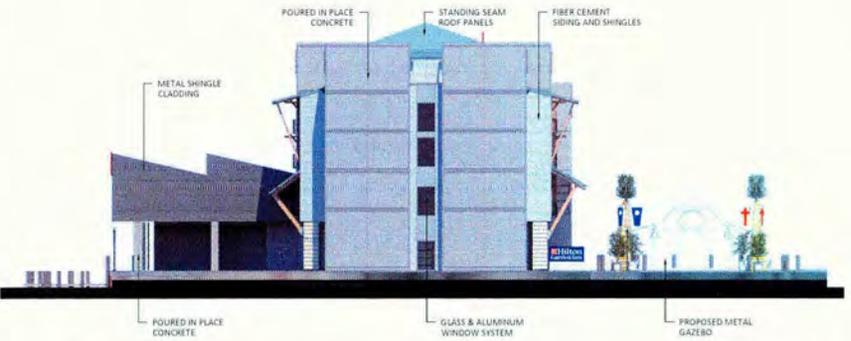
1 WEST ELEVATION/ FACING WOODCLEFT AVENUE
 SCALE: 3/32"=1'-0"



2 EAST ELEVATION/ FACING WATER CANAL
 SCALE: 3/32"=1'-0"

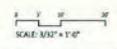


3 SOUTH ELEVATION/ FACING WATER FRONT
 SCALE: 3/32"=1'-0"



4 NORTH ELEVATION/ FACING SERVICE LANE
 SCALE: 3/32"=1'-0"

VILLAGE
 2010 DEC - 1 P 5.22
 DELIVER



KEY PLAN

ISSUED DATE

DOB #:
 PROFESSIONAL SEAL AND SIGNATURE OF THE ARCHITECT
 ARCHITECT'S SEAL AND SIGNATURE OF THE ARCHITECT
 ARCHITECT'S SEAL AND SIGNATURE OF THE ARCHITECT
 ARCHITECT'S SEAL AND SIGNATURE OF THE ARCHITECT

FREEPORT HOTEL
 422 WOODCLEFT AVENUE, FREEPORT NY 11520

FREEPORT HOTEL
 422 WOODCLEFT AVENUE, FREEPORT NY 11520

EXTERIOR ELEVATIONS

17-124	11/28/20
43-MT-01	NS/18
A-200.00	
03 GR 03	



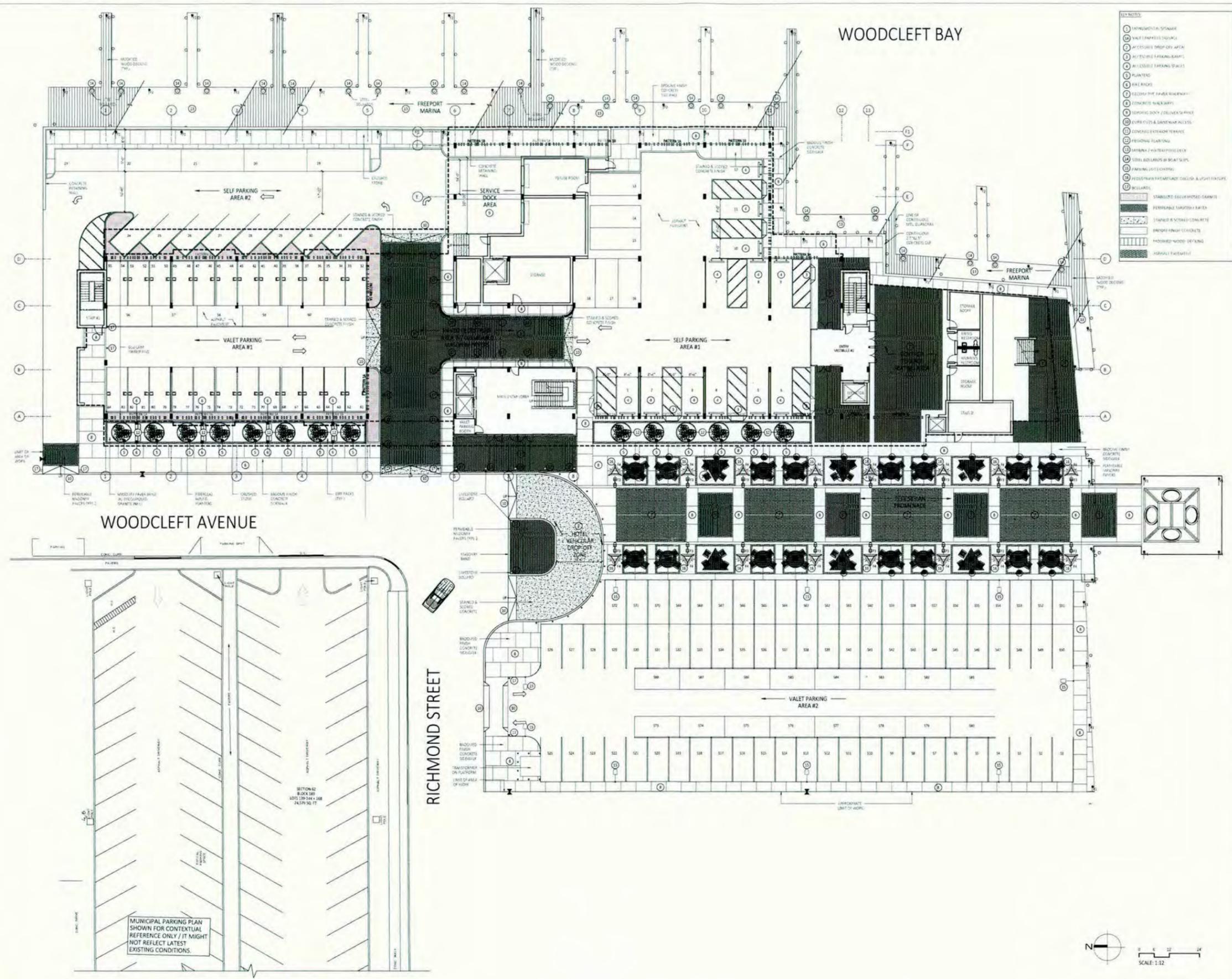
2020 DEC - 1 P 2: 20
OWNER'S OFFICE
VILLAGE OF FREEPORT, NY

RECEIVED

ZAMBRANO ARCHITECTURAL DESIGN
410 ATLANTIC AVENUE
FREEPORT, NY 11520
WWW.ZAMBRANOARCHITECTS.COM

VIEW FROM SEA BREEZE PARK WATERFRONT

THE FREEPORT HOTEL
RESTAURANT . ROOFTOP LOUNGE . BANQUET HALL
THE NAUTICAL MILE at FREEPORT, NY
435 WOODCLEFET AVENUE
FREEPORT, NY 11520



- KEY NOTES**
- 1 IMPROVED ASPHALT
 - 2 VALET PARKING SIGNAGE
 - 3 ACCESSIBLE DROP OFF AREA
 - 4 ACCESSIBLE PARKING SPACES
 - 5 PLANTED
 - 6 TREE TRUCKS
 - 7 CONCRETE PAVED SIDEWALK
 - 8 CONCRETE WALKWAY
 - 9 CONCRETE BONY / CONCRETE WALKWAY
 - 10 CONCRETE & SANDSTONE ACCESS
 - 11 CONCRETE EXTENSION TERRACE
 - 12 FINISHING FLOORING
 - 13 GRANITE / POLISHED FLOOR
 - 14 STEEL GRILLS IN BRICKS / STAIRS
 - 15 FINISHING FLOORING
 - 16 PERFORATED METAL GRATE / LIGHT FIXTURE
 - 17 BRICKS
 - 18 STAINLESS STEEL / POLISHED GRANITE
 - 19 PERFORATED METAL GRATE
 - 20 STAINLESS STEEL / POLISHED GRANITE
 - 21 FINISHING FLOORING
 - 22 HORIZONTAL WOOD / FINISHING
 - 23 GRANITE / FINISHING

ZAD
 ZAMBRANO ARCHITECTURAL DESIGN
 ZAMBRANO ARCHITECTS, C.O.
 415 ATLANTIC AVENUE
 FREEPORT, NEW YORK 11520
 P: 516.337.0831 | F: 516.326.2712

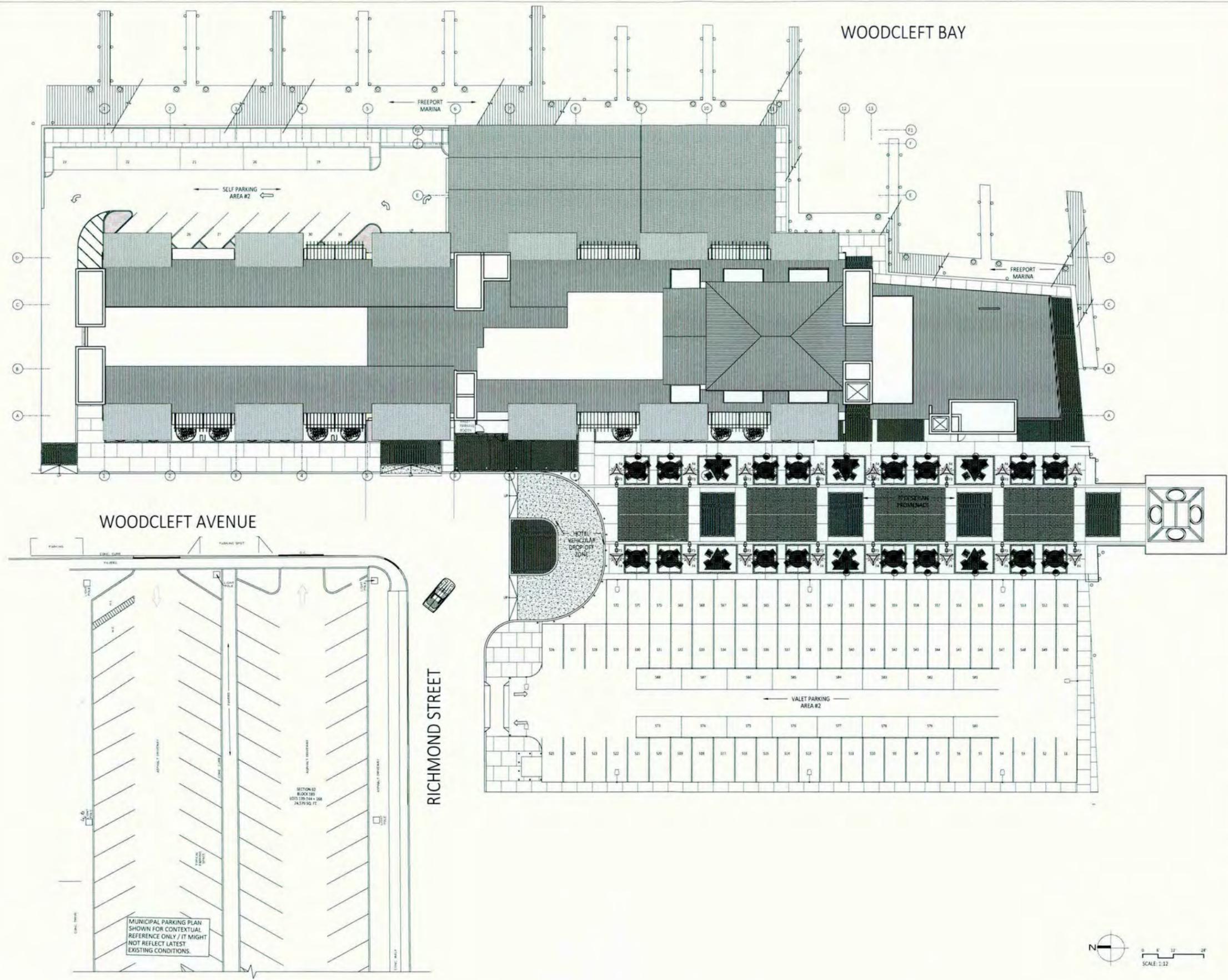
KEY PLAN

NO.	DATE	DESCRIPTION	BY
		ISSUED DATE	
<p>DOB #:</p> <p>PROJECTOR TO: CITY OF FREEPORT AND CHAIRMAN OF THE BOARD OF FREEPORT AND BOARD OF COMMONS FOR THE CITY OF FREEPORT, NY. THE PROJECTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF FREEPORT AND BOARD OF COMMONS. THE PROJECTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF FREEPORT AND BOARD OF COMMONS. THE PROJECTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF FREEPORT AND BOARD OF COMMONS.</p>			
<p>FREEPORT HOTEL</p> <p>433 WOODCLEFT AVENUE, FREEPORT NY 11520</p>			
<p>FREEPORT HOTEL</p> <p>433 WOODCLEFT AVENUE, FREEPORT NY 11520</p>			
<p>SITE PLAN</p>			
DATE	SCALE	NO.	DATE
12/14/24	1:12	NO. 08	11/29/20
<p>A-100.00</p>			

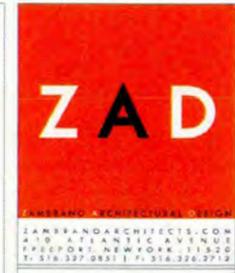
1 SITE PLAN
SCALE: 1:12

MUNICIPAL PARKING PLAN SHOWN FOR CONTEXTUAL REFERENCE ONLY / IT MIGHT NOT REFLECT LATEST EXISTING CONDITIONS.

RECEIVED
 2020 DEC - 1 P 2:20
 WILLIAMSBURG



1 ROOF PLAN
SCALE: 1:12



KEY PLAN

NO.	DATE	DESCRIPTION
1	11/25/20	ISSUED DATE
2	11/25/20	WILLAGE DEPARTMENT
3	11/25/20	DOB #:

SECTION 43
BLOCK 789
LOTS 130-144 & 158
63,79 SQ. FT.

FREEPORT HOTEL
433 WOODCLEFT AVENUE, FREEPORT NY 11520

FREEPORT HOTEL
433 WOODCLEFT AVENUE, FREEPORT NY 11520

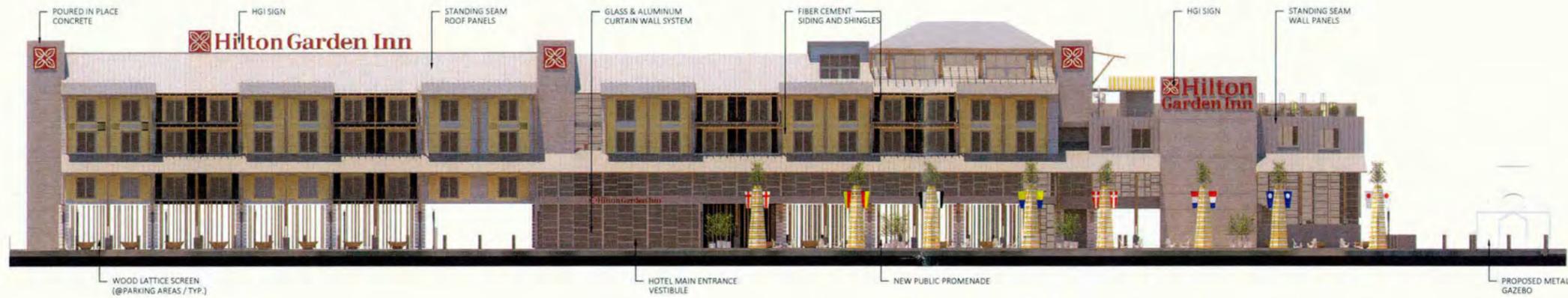
SITE PLAN

NO.	DATE	DESCRIPTION
1	11/25/20	ISSUED DATE
2	11/25/20	WILLAGE DEPARTMENT
3	11/25/20	DOB #:
4	11/25/20	SCALE: 1:12

2020 DEC - 1 P 2: 20

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A-101.00



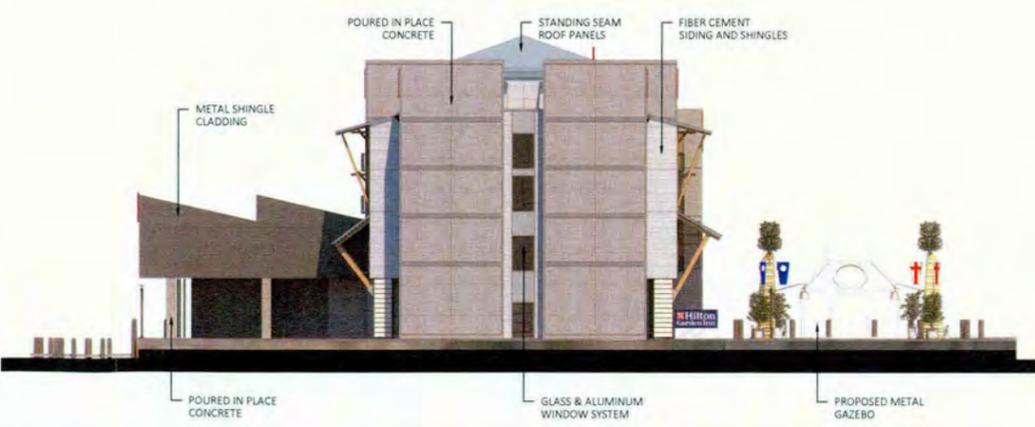
1 WEST ELEVATION/ FACING WOODCLEFT AVENUE
 SCALE: 3/32"=1'-0"



2 EAST ELEVATION/ FACING WATER CANAL
 SCALE: 3/32"=1'-0"



3 SOUTH ELEVATION/ FACING WATER FRONT
 SCALE: 3/32"=1'-0"



4 NORTH ELEVATION/ FACING SERVICE LANE
 SCALE: 3/32"=1'-0"

0' 10' 20'
 SCALE: 3/32"=1'-0"

KEY PLAN

NO.	DATE	DESCRIPTION
1	11/24/20	ISSUED DATE

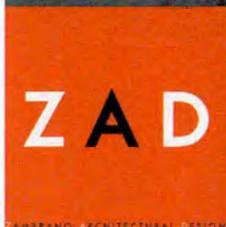
2020 DEC -1 P 2:20
 RECEIVED

DOB #:
 CONTRACTOR: ZAMKANG ARCHITECTS CO.
 PROJECT: FREEPORT HOTEL
 SHEET: EXTERIOR ELEVATIONS

FREEPORT HOTEL	
433 WOODCLEFT AVENUE, FREEPORT NY 11729	
FREEPORT HOTEL	
433 WOODCLEFT AVENUE, FREEPORT NY 11729	
EXTERIOR ELEVATIONS	
DATE	11/24/20
SCALE	AS NOTED
NO.	04
A-200.00	
11/24/2020 7:51:17 PM	



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PLANNING OFFICE
VILLAGE OF FREEPORT, NY



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FREEPORT, NY 11520
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VIEW FROM WOODCLEFT BAY

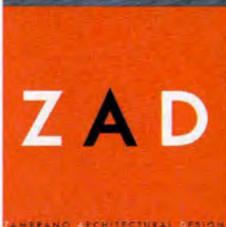
THE FREEPORT HOTEL
RESTAURANT . ROOFTOP LOUNGE . BANQUET HALL
THE NAUTICAL MILE at FREEPORT, NY
435 WOODCLEFET AVENUE
FREEPORT, NY 11520



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Hilton Garden Inn



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VIEW FROM WOODCLEFT BAY

THE FREEPORT HOTEL
RESTAURANT . ROOFTOP LOUNGE . BANQUET HALL
THE NAUTICAL MILE at FREEPORT, NY
435 WOODCLEFET AVENUE
FREEPORT, NY 11520



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ZAMBRANO ARCHITECTURAL DESIGN

**VIEW FROM PUBLIC PROMENADE TOWARDS
NORTH WOODCLEFT AVENUE**

THE FREEPORT HOTEL
RESTAURANT . ROOFTOP LOUNGE . BANQUET HALL
THE NAUTICAL MILE at FREEPORT, NY
435 WOODCLEFET AVENUE
FREEPORT, NY 11520



2020 DEC - 1 P 2:20

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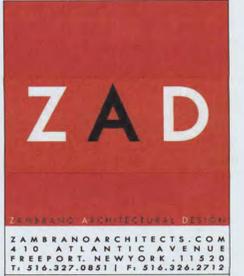
**VIEW FROM PUBLIC PROMENADE TOWARDS
SOUTH WOODCLEFT AVENUE**

THE FREEPORT HOTEL
RESTAURANT . ROOFTOP LOUNGE . BANQUET HALL
THE NAUTICAL MILE at FREEPORT, NY
435 WOODCLEFET AVENUE
FREEPORT, NY 11520

WOODCLEFT BAY



- KEY NOTES:**
- 1 MONUMENTAL SIGNAGE
 - 2 VALET PARKING SIGNAGE
 - 3 ACCESSIBLE DROP-OFF AREAS
 - 4 ACCESSIBLE PARKING RAMPS
 - 5 ACCESSIBLE PARKING SPACES
 - 6 PLANTERS
 - 7 BIKE RACKS
 - 8 DECORATIVE PAVEMENT WALKWAY: UNLOCK ECO-LINE PERMEABLE PAVERS
 - 9 CONCRETE WALKWAYS
 - 10 LOADING DOCK / DELIVER SERVICE
 - 11 CURB CUTS & DRIVEWAY ACCESS
 - 12 COVERED EXTERIOR TERRACE
 - 13 REGIONAL SHRUBS & GRASSES (DIVERSE PLANTERS USED)
 - 14 MARINA / WATERFRONT DECK
 - 15 STEEL BOLLARDS @ BOAT SLIPS
 - 16 PARKING LOT LIGHTING
 - 17 PEDESTRIAN PROMENADE OBELISK & LIGHT FIXTURE
 - 18 BOLLARDS
 - 19 DECORATIVE PAVEMENT WALKWAY: UNLOCK HOLLANDSTONE PAVERS
 - 20 DECORATIVE PAVEMENT WALKWAY: UNLOCK COURTSTONE PAVERS
 - 21 LANDSCAPE AREA: GRASS
 - 22 LANDSCAPE AREA: GRASS FOR TREES
- PROPOSED PLANT PALETTE**
- GB1: GINKGO BILOBA "SKY TOWER" (SKY TOWER GINKGO)
SIZE: 8'-10" H.
 - GTS: GLEDITSIA TRIACANTHOS VAR. "SUNBURST" (SUNBURST HONEY LOCUST)
SIZE: 2.5'-3" CAL.
SPACING: 12' O.C.
 - QC: QUERCUS COCAINE (SCARLET OAK)
SIZE: 2.5'-3" CAL.
SPACING: 30' O.C.



KEY PLAN

NO.	DATE	DESCRIPTION	BY
ISSUED DATE			
01.07.2021 REVISION			

DOB #:

CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE AND BEFORE ANY PROCEEDING TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

ARCHITECT MAKES NO WARRANTY AS TO THE ACCURACY OF THE INFORMATION PROVIDED HEREIN AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE MUNICIPAL CORPORATION OF THE WORK.

WARNING: IT IS A VIOLATION OF LAW FOR ANY PERSON TO ALTER ANY ITEMS ON THESE PLANS.

THE ARCHITECT SHALL NOT HAVE CONTROL OR CHANGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION METHODS, MATERIALS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK OR THE FACTS OR CONSEQUENCES OF THE CONTRACTOR'S SUBCONTRACTORS OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF THEM TO COMPLY WITH THE WORK OR ACCORDANCE WITH THE CONTRACT DOCUMENTS. ALWAYS USE DIMENSIONS AS SHOWN. DRAWINGS ARE NOT TO BE SCALED. WALT ZAMBRANO ARCHITECTS, P.C. AND ITS EMPLOYEES WERE NOT RETAINED FOR ANY CONSTRUCTION SUPERVISION.

FREEPORT HOTEL

435 WOODCLEFT AVENUE, FREEPORT NY 11520

FREEPORT HOTEL

435 WOODCLEFT AVENUE, FREEPORT NY 11520

SITE PLAN

	PROJECT NO.:	17-124	DATE:	11/25/20
	AS NOTED:	NO / DR		
<p>A-100.00</p>		<p>01 OF 03</p>		

1 SITE PLAN
SCALE: 1:12

MUNICIPAL PARKING PLAN SHOWN FOR CONTEXTUAL REFERENCE ONLY / IT MIGHT NOT REFLECT LATEST EXISTING CONDITIONS.

SECTION 62
BLOCK 188
LOTS 139-144 & 158
24,579 SQ. FT.

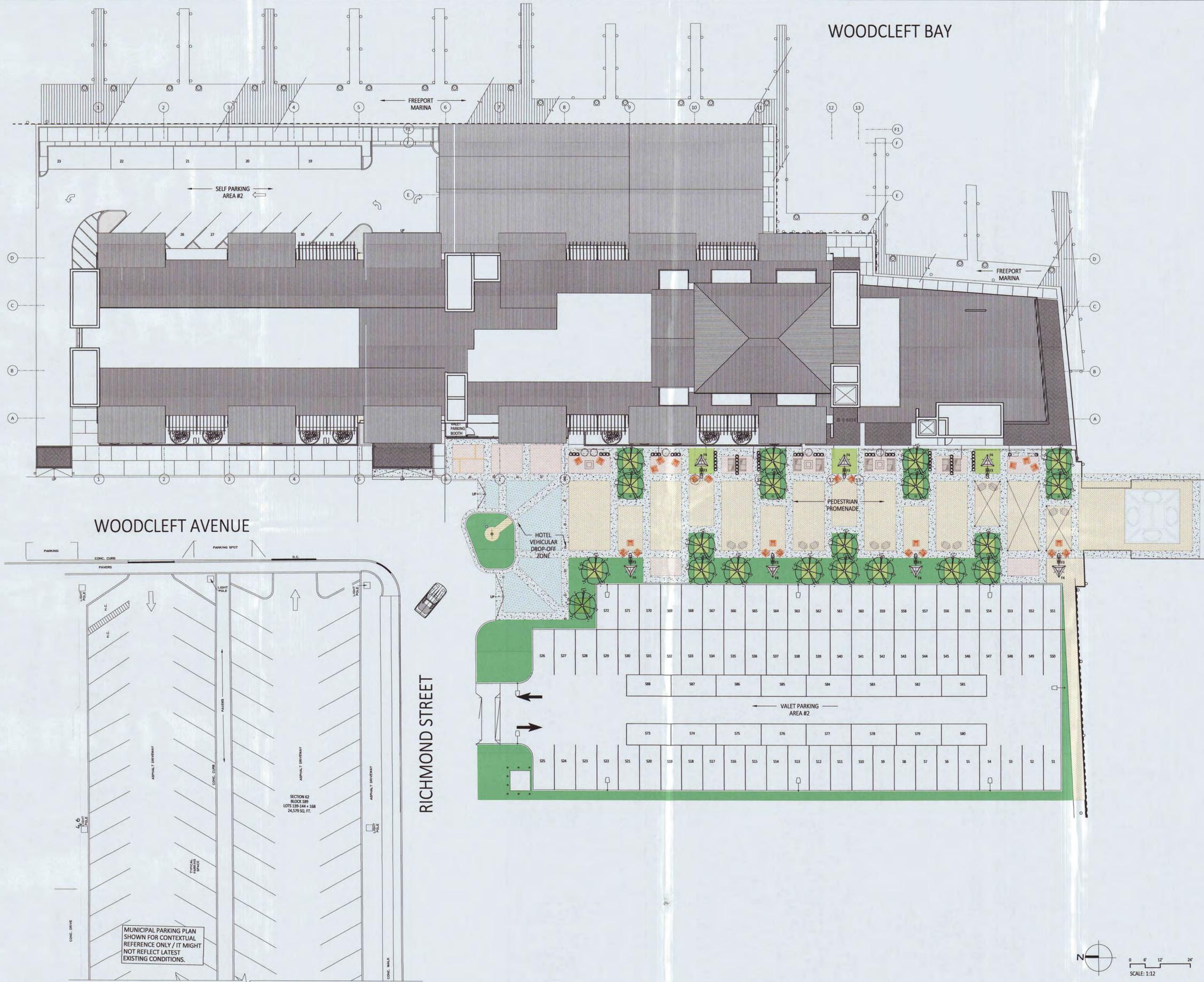
101 JUN 21 10:40:03
 WALT ZAMBRANO ARCHITECTS, P.C.
 410 ATLANTIC AVENUE
 FREEPORT, NY 11530

WOODCLEFT BAY

ZAD

ZAMBRANO ARCHITECTURAL DESIGN
 ZAMBRANO ARCHITECTS, C.O.
 410 ATLANTIC AVENUE
 FREEPORT, NEW YORK 11520
 T. 516.327.0851 | F. 516.326.2712

KEY PLAN



WOODCLEFT AVENUE

RICHMOND STREET

MUNICIPAL PARKING PLAN SHOWN FOR CONTEXTUAL REFERENCE ONLY / IT MIGHT NOT REFLECT LATEST EXISTING CONDITIONS.

SECTION 62
 RICE'S LAGO
 LOTS 139-144 + 158
 24,575 SQ. FT.

NO.	DATE	DESCRIPTION	BY
ISSUED DATE			

01.07.2021 REVISION

DOB #:
 CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
 CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE MUNICIPAL AGENCIES INVOLVED. SUBMITTER PROVIDES STAIRING VIEW AND SHALL OBTAIN OTHER A CERTIFICATE OF OCCUPANCY OR A CERTIFICATE OF COMPLETION UPON COMPLETION OF THE WORK.
 THE ARCHITECT SHALL NOT HAVE CONTROL OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION METHODS, MATERIALS, FINISHES, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK FOR THE ACT OF OMISSIONS OF THE CONTRACTOR SUBCONTRACTORS OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF THEM TO CAREFULLY OBTAIN THE WORK BY ACCORDANCE WITH THE CONTRACT DOCUMENTS. ALWAYS USE DIMENSIONS AS NOTED. DIMENSIONS ARE NOT TO BE SCALED. ONLY ZAMBRANO ARCHITECTS, C.O. AND ITS REPRESENTATIVES SHALL BE HELD RESPONSIBLE FOR ANY CONSTRUCTION SUPERVISION.

FREEPORT HOTEL
 435 WOODCLEFT AVENUE, FREEPORT NY 11520

FREEPORT HOTEL
 435 WOODCLEFT AVENUE, FREEPORT NY 11520

SITE PLAN

	PROJECT NO.	DATE
	17-124	11/25/20
SCALE	BY	
AS NOTED	NC / DB	
DRAWING NO.	A-101.00	
	02 OF 03	

1 ROOF PLAN
 SCALE: 1:12

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 JUN 21 10 03 AM '21
 VILLAGE OF FREEPORT, NY



WEST ELEVATION / VIEW FROM WOODCLEFT AVENUE



EAST ELEVATION / VIEW FROM WOODCLEFT CANAL

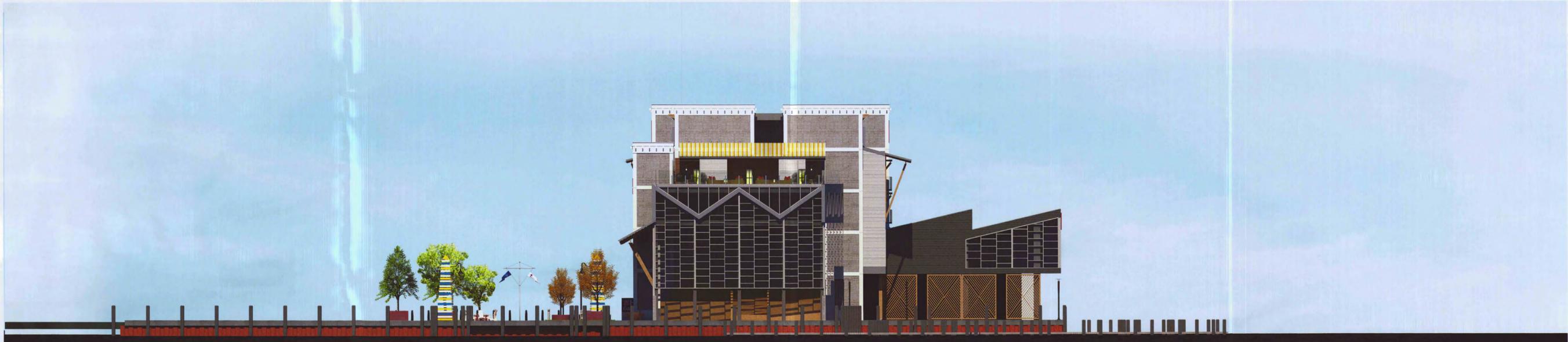
ZAMBRANO ARCHITECTURAL DESIGN
 410 ATLANTIC AVENUE
 FREEPORT, NY 11520
 WWW.ZAMBRANOARCHITECTS.COM

**VIEW FROM PUBLIC PROMENADE TOWARDS
 NORTH WOODCLEFT AVENUE**

THE FREEPORT HOTEL
 RESTAURANT . ROOFTOP LOUNGE . BANQUET HALL
 THE NAUTICAL MILE at FREEPORT, NY
 435 WOODCLEFET AVENUE
 FREEPORT, NY 11520

Michael J. ...

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SOUTH ELEVATION / VIEW FROM WATERFRONT



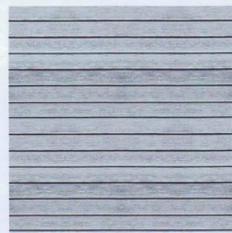
NORTH ELEVATION / VIEW FROM VEHICULAR PATH

ZAD
ZAMBRANO ARCHITECTURAL DESIGN
 410 ATLANTIC AVENUE
 FREEPORT, NY 11520
 WWW.ZAMBRANOARCHITECTS.COM

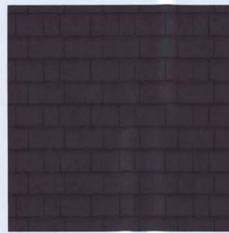
**VIEW FROM PUBLIC PROMENADE TOWARDS
 SOUTH WOODCLEFT AVENUE**

THE FREEPORT HOTEL
RESTAURANT . ROOFTOP LOUNGE . BANQUET HALL
 THE NAUTICAL MILE at FREEPORT, NY
 435 WOODCLEFET AVENUE
 FREEPORT, NY 11520

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 VILLAGE OF FREEPORT, NY



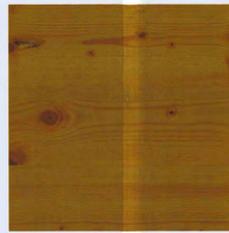
FIBER CEMENT PLANK BOARDS /
HARDIEPLANK / ARCTIC WHITE



FIBER CEMENT SHINGLE BOARDS /
HARDIEPLANK / IRON GRAY



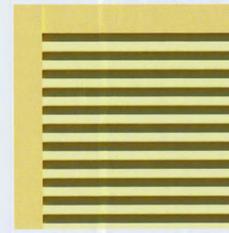
ARCHITECTURAL FINISH /
POURED-IN-PLACE CONCRETE



EXTERIOR GRADE WOOD /
EXPOSED FRAMING & LATTICE SCREENS



STANDING SEAM METAL ROOF /
WITH KYNAR 500 METAL FINISH



EXTERIOR SHUTTER SCREENS
WITH EXTERIOR GRADE PAINT FINISH



ALUMINUM & GLASS STOREFRONT WALL SYSTEM
WITH NATURAL BRUSHED ALUMINUM MULLIONS



ZAD

ZAMBRANO ARCHITECTURAL DESIGN

410 ATLANTIC AVENUE
FREEPORT, NY 11520
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ENLARGED WEST ELEVATION VIEWS
FROM WOODCLEFT AVENUE

THE FREEPORT HOTEL
RESTAURANT . ROOFTOP LOUNGE . BANQUET HALL
THE NAUTICAL MILE at FREEPORT, NY
435 WOODCLEFET AVENUE
FREEPORT, NY 11520

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2014 JUN 21 PM 4:03
WILLIAM OF HOLLAND, NY



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410 ATLANTIC AVENUE
FREEPORT, NY 11520
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VIEW FROM WOODCLEFT AVENUE

THE FREEPORT HOTEL
RESTAURANT . ROOFTOP LOUNGE . BANQUET HALL
THE NAUTICAL MILE at FREEPORT, NY
435 WOODCLEFT AVENUE
FREEPORT, NY 11520

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JUN 21 3 4 03
VALANCE ARCHITECTURE
VALANCE ARCHITECTURE



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FREEPORT, NY 11520
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VIEW FROM SEA BREEZE PARK WATERFRONT

THE FREEPORT HOTEL
RESTAURANT . ROOFTOP LOUNGE . BANQUET HALL
THE NAUTICAL MILE at FREEPORT, NY
435 WOODCLEFET AVENUE
FREEPORT, NY 11520

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2011 JUN 21 12:40:03
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