

Application Date: \_\_\_\_\_  
Fees Paid: \_\_\_\_\_

SP# 3674

INCORPORATED VILLAGE OF FREEPORT  
SITE PLAN REVIEW APPLICATION  
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 124 N Long Beach Ave ZONING DISTRICT Residence AA  
SECTION 55 BLOCK 271 LOT 19 LOT SIZE: \_\_\_\_\_

<input type="checkbox"/> TENANT <u>APPLICANT</u> <input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>Radha &amp; Rajendra Sharma</u>	Name: <u>Radha &amp; Rajendra Sharma</u>
Address: <u>124 N Long Beach Ave</u>	Address: <u>124 N Long Beach Ave</u>
<u>Freeport NY - 11520</u>	<u>Freeport NY - 11520</u>
Telephone #: <u>212-729-9440</u>	Telephone #: <u>212-729-9440</u>

Attorney Name: \_\_\_\_\_ Address: \_\_\_\_\_  
(optional) Phone #: \_\_\_\_\_

Present Land Use: Residence AA Proposed Land Use: Residence AA

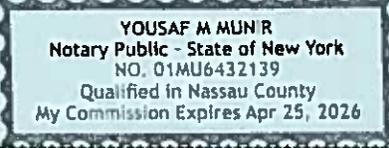
Description of Proposed Work: Install a canopy over existing balcony

I request a preliminary meeting:  YES  NO

I request a waiver of the public hearing and hereby certify the following:  
A. The subject property is zoned Residence A or Residence AA.  
B. The proposed construction is not a new building or dwelling.  
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.

[Signature]  YES  NO  
APPLICANT'S SIGNATURE DATE 9/18/23

Sworn to before me this 18  
day of SEPTEMBER, 2023  
[Signature]  
Notary Public



Property Owner's Consent:  
I, [Signature] am (are) the owner(s) of the subject property and consent to the filing of this application.  
PROPERTY OWNER'S SIGNATURE DATE 9/18/23

Notary Public  
\*\*\*\*\*

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: <input type="checkbox"/> YES <input type="checkbox"/> NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	Approved <input type="checkbox"/> Denied <input type="checkbox"/> Date: _____
Planning Board Signature: _____	Date: _____



**INC. VILLAGE OF FREEPORT**

**Department of Buildings**

46 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK 11520  
(516) 377-2242  
FAX (516) 377-2493

ROBERT T. KENNEDY  
MAYOR

E-MAIL [BUILDINGDEPT@FREEPORTNY.GOV](mailto:BUILDINGDEPT@FREEPORTNY.GOV)

SERGIO A. MAURAS  
SUPERINTENDENT OF BUILDINGS

**SITE PLAN LETTER**  
August 30, 2023

**Rajendra Sharma**  
124 N Long Beach Ave  
Freeport, NY 11520

**RE: 124 N Long Beach Avenue, Freeport, NY 11520**  
**Zoning District Residence AA. Sec 55, Blk 271, Lot 19**  
**Building Permit Application #20233385**  
**Description: Install canopy over the existing balcony (308 sq.ft)**

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the **Village Clerk's Office at 516-377-3632** to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the **VILLAGE CLERK'S OFFICE** at 377-2300.

Very truly yours,

  
Sergio A. Mauras  
Superintendent of Buildings  
/Daniela Hernandez

c: Village Clerk

ZBA Approval Needed: Yes\_\_ No\_X\_

VILLAGE OF FREEPORT  
Department of Buildings  
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.  
(See reasons below)

Project :

Building Permit App. 20233385

Location: 124 N Long Beach Ave, Freeport NY 11520

Applicant: Rajendra Sharma

Description : Install canopy over the existing balcony (308 sq.ft)

Lead Agency: Department of Buildings  
for the Board of Trustees  
Village of Freeport  
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:  
Superintendent of Buildings  
(516) 377-2242

**REASON(S) FOR DETERMINATION**

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) \_\_\_\_\_

B) Possible environment effects identified:  
(only if a positive determination)

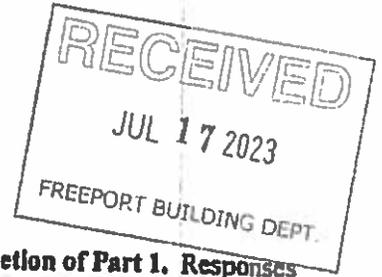
Dated: August 30, 2023

*Sergio A. Mauras*

Sergio A. Mauras  
Superintendent of Buildings

**IMPORTANT:** This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

617.20  
Appendix B  
Short Environmental Assessment Form



**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>							
Name of Action or Project: <i>Install Canopy</i>							
Project Location (describe, and attach a location map): <i>124 N Long Beach Ave</i>							
Brief Description of Proposed Action: <i>Installing the canopy over the existing Balcony</i>							
Name of Applicant or Sponsor: <i>RAJENDRA SHARMA</i>		Telephone: <i>212-729-9446</i>					
		E-Mail: <i>neelkanthdham@gmail.com</i>					
Address: <i>124 N Long Beach Ave</i>							
City/PO: <i>Freeport</i>		State: <i>New York</i>	Zip Code: <i>11520</i>				
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1" style="width: 100%; text-align: center;"> <tr> <td>NO</td> <td>YES</td> </tr> <tr> <td style="font-size: 2em;">X</td> <td></td> </tr> </table>	NO	YES	X	
NO	YES						
X							
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			<table border="1" style="width: 100%; text-align: center;"> <tr> <td>NO</td> <td>YES</td> </tr> <tr> <td style="font-size: 2em;">X</td> <td></td> </tr> </table>	NO	YES	X	
NO	YES						
X							
3.a. Total acreage of the site of the proposed action?		_____ acres					
b. Total acreage to be physically disturbed?		_____ acres					
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ acres					
4. Check all land uses that occur on, adjoining and near the proposed action.							
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland							

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EXISTING BUILT OR NATURAL  
REPORT BUILDING DEPT.

<p>5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?</p>	<p>NO</p>	<p>YES</p>	<p>N/A</p>
<p>6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?</p>	<p>NO</p>	<p>YES</p>	
<p>7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____</p>	<p>NO</p>	<p>YES</p>	
<p>8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation service(s) available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?</p>	<p>NO</p>	<p>YES</p>	
<p>9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____</p>	<p>NO</p>	<p>YES</p>	
<p>10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing potable water: _____</p>	<p>NO</p>	<p>YES</p>	
<p>11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____</p>	<p>NO</p>	<p>YES</p>	
<p>12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places? b. Is the proposed action located in an archeological sensitive area?</p>	<p>NO</p>	<p>YES</p>	
<p>13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____</p>	<p>NO</p>	<p>YES</p>	
<p>14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban</p>			
<p>15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?</p>	<p>NO</p>	<p>YES</p>	
<p>16. Is the project site located in the 100 year flood plain?</p>	<p>NO</p>	<p>YES</p>	
<p>17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES</p>	<p>NO</p>	<p>YES</p>	

<b>18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)?</b> If Yes, explain purpose and size: _____ _____ _____		RECEIVED JUL 17 2023 FREEPORT BUILDING DEP	NO	YES
			<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?</b> If Yes, describe: _____ _____ _____			NO	YES
			<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?</b> If Yes, describe: _____ _____ _____			NO	YES
			<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>				
Applicant/sponsor name: <u>RAJENDRA SHARMA</u>		Date: <u>7/14/23</u>		
Signature: _____				

**Part 2 - Impact Assessment.** The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Part 3 - Determination of significance.** The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

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 NEW YORK STATE  
 DEPARTMENT OF ENVIRONMENTAL CONSERVATION

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 JUL 17 2023  
 FREEPORT BUILDING DEPT.

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.						
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.						
<table style="width: 100%; border: none;"> <tr> <td style="width: 50%; border-top: 1px solid black; padding-top: 5px;">Name of Lead Agency</td> <td style="width: 50%; border-top: 1px solid black; padding-top: 5px;">Date</td> </tr> <tr> <td style="border-top: 1px solid black; padding-top: 5px;">Print or Type Name of Responsible Officer in Lead Agency</td> <td style="border-top: 1px solid black; padding-top: 5px;">Title of Responsible Officer</td> </tr> <tr> <td style="border-top: 1px solid black; padding-top: 5px;">Signature of Responsible Officer in Lead Agency</td> <td style="border-top: 1px solid black; padding-top: 5px;">Signature of Preparer (if different from Responsible Officer)</td> </tr> </table>		Name of Lead Agency	Date	Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer	Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)
Name of Lead Agency	Date						
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer						
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)						



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VILLAGE OF PASTICHE, NY



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11 A 9:04  
NEW YORK, NY

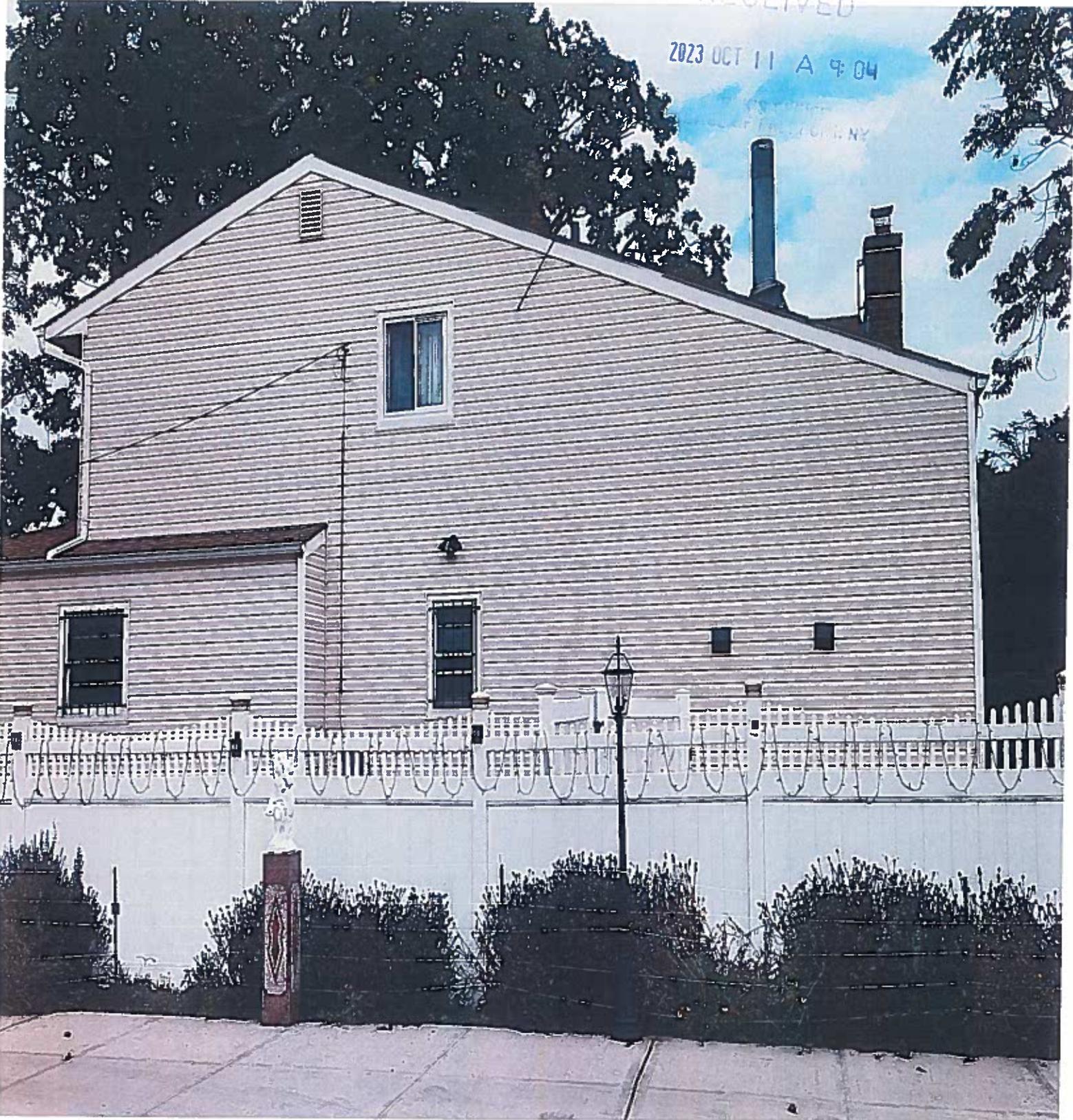


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NEW YORK STATE  
OFFICE OF TAX & FINANCE



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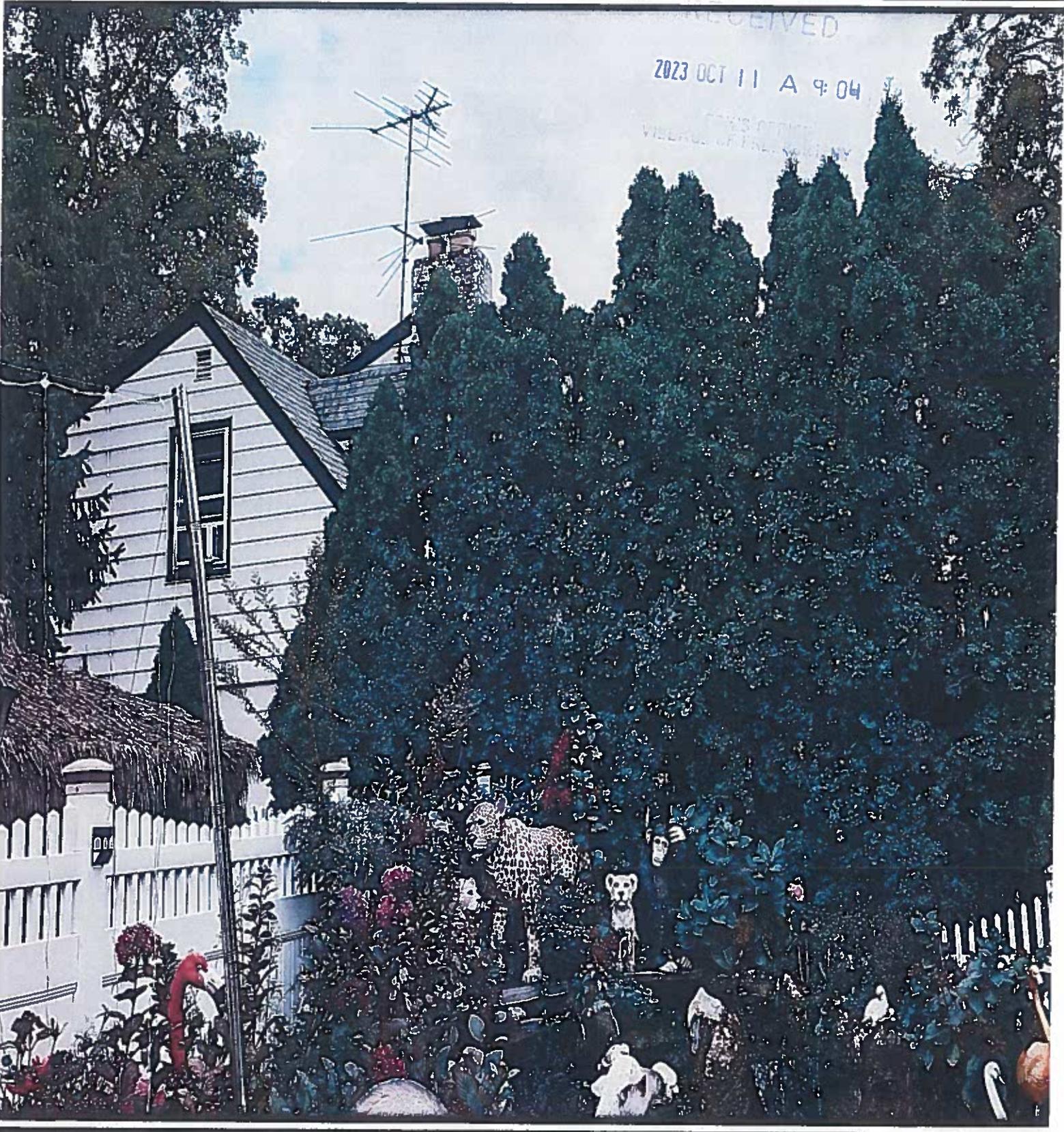
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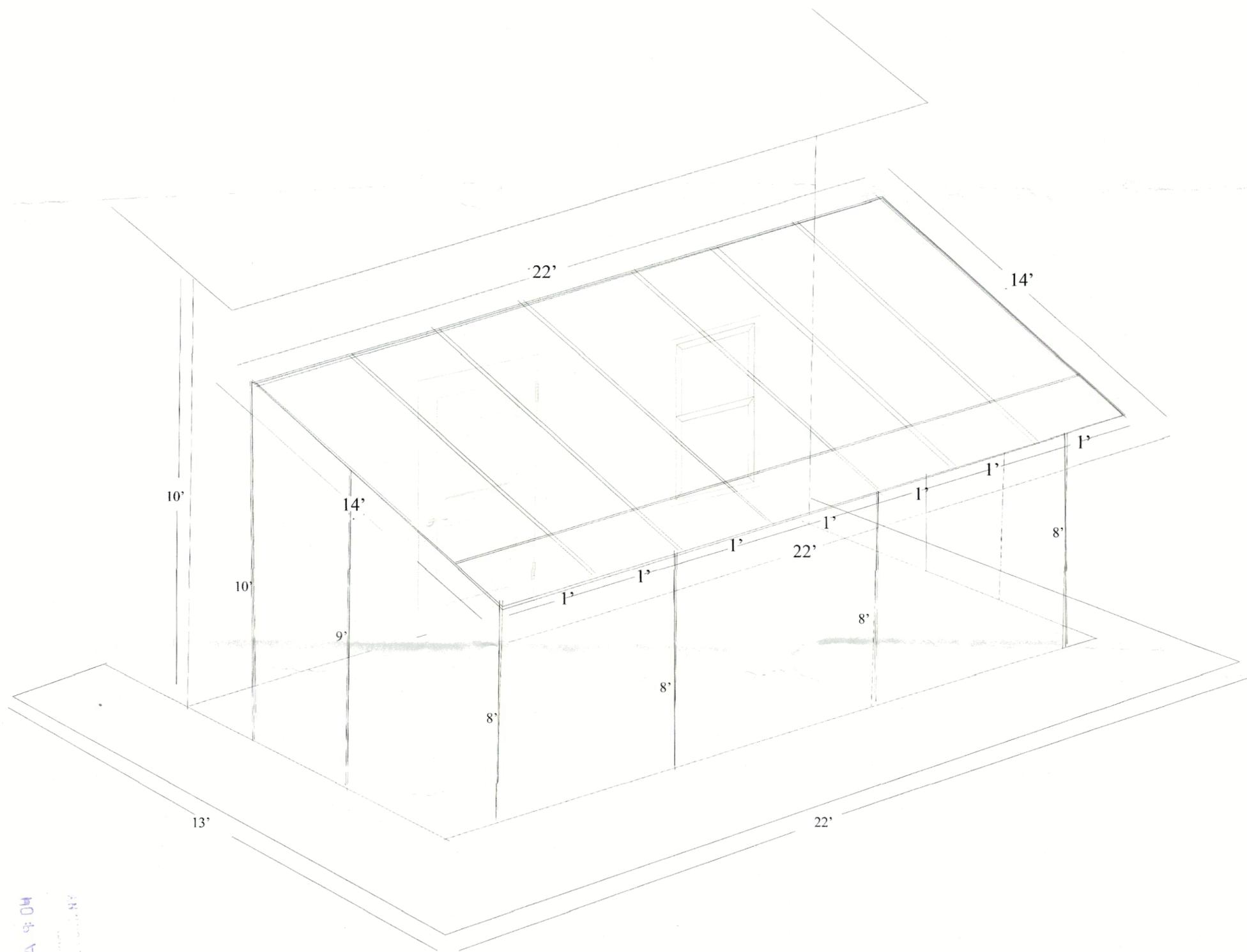


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POST OFFICE  
VICTORIA BC CANADA





Buildings and portions are constructed in accordance with the wind provisions of this code using the ultimate design wind speed. A stainless steel frame structure with open walls that is used for recreational, outdoor living purposes associated with a dwelling unit.

Transparent plastic 316 color transparent clear.  
Unit height 10' x 8'

8 Supporting Post 2"x 2" stainless steel color silver.  
24 Screw in the wall 4" stainless steel color silver.

Canopy made by stainless steel color silver.

Ceiling joint every one feet by stainless steel color silver.

Lot size 150X140=21000 Sqf

Building Size 4720 Sqf

Plan to build canopy size 22'X14'= 308Sqf

**ZONING DATA**

HOUSE #: 124 N LONG BEACH AVENUE

SECTION: 55

BLOCK: 271

LOT: 19

**IP ENGINEERING AND INSPECTION PC.**

88 NORTH MONTGOMERY STREET,  
VALLEY STREAM, NY 11580

**PROJECT ADDRESS AND PROPERTY LOCATION:**

124 N LONG BEACH AVENUE,  
FREEPORT, NY 11520

**SCOPE OF WORK**

Under Respective Plans

**TITLE:**

Installing canopy

**SEAL & SIGNATURE**



DATE: 08-21-2023

PROJECT No.:

DRAWING BY: I.P.

CHK BY: I.P.

DWG. No.:

A-001.00

CADD FILE No.

NYC DOB #:

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124 N LONG BEACH AVENUE  
FREEPORT, NY 11520

SP 3674 124 N. Long Beach Ave



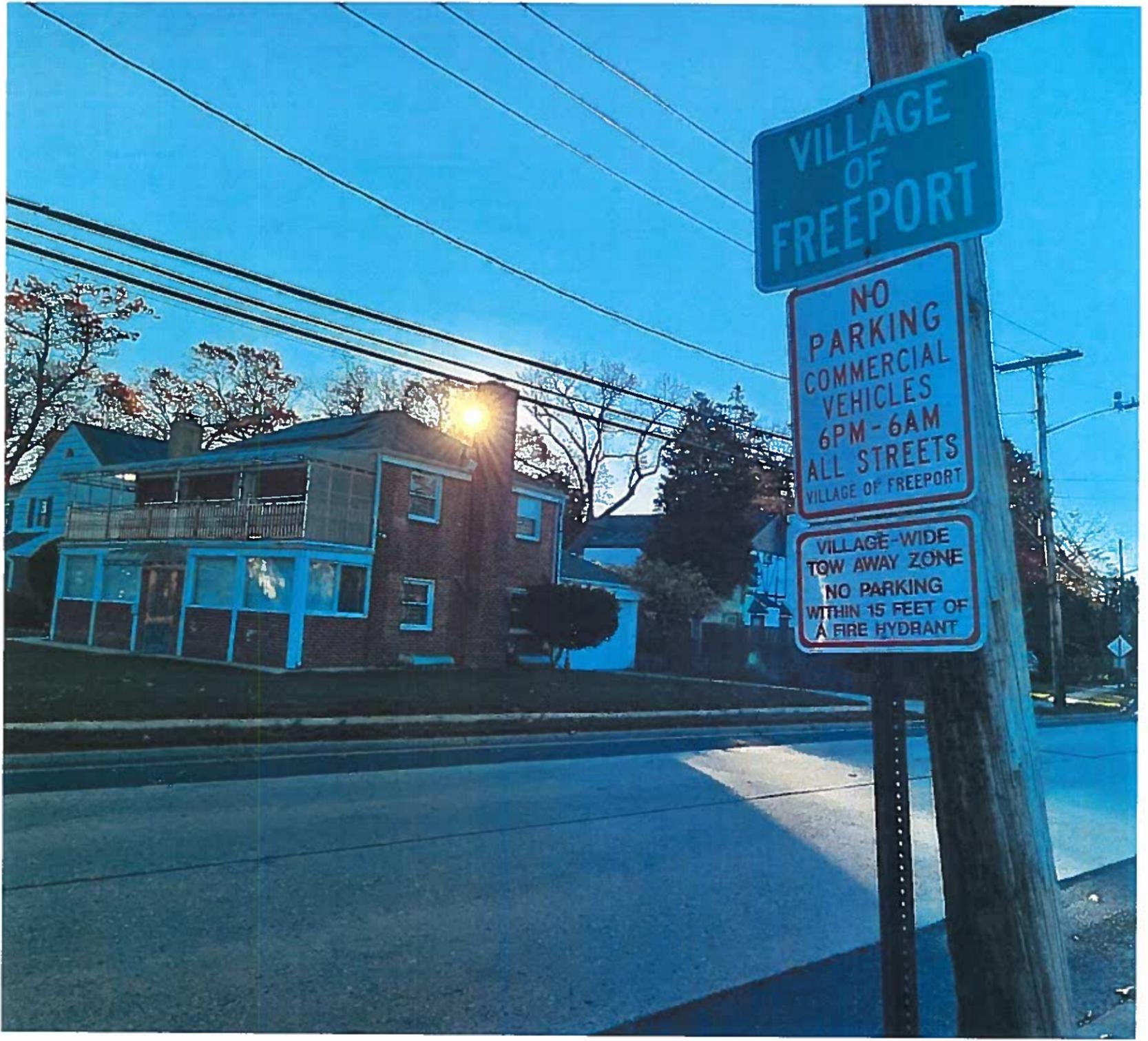


Galaxy S23 Ultra



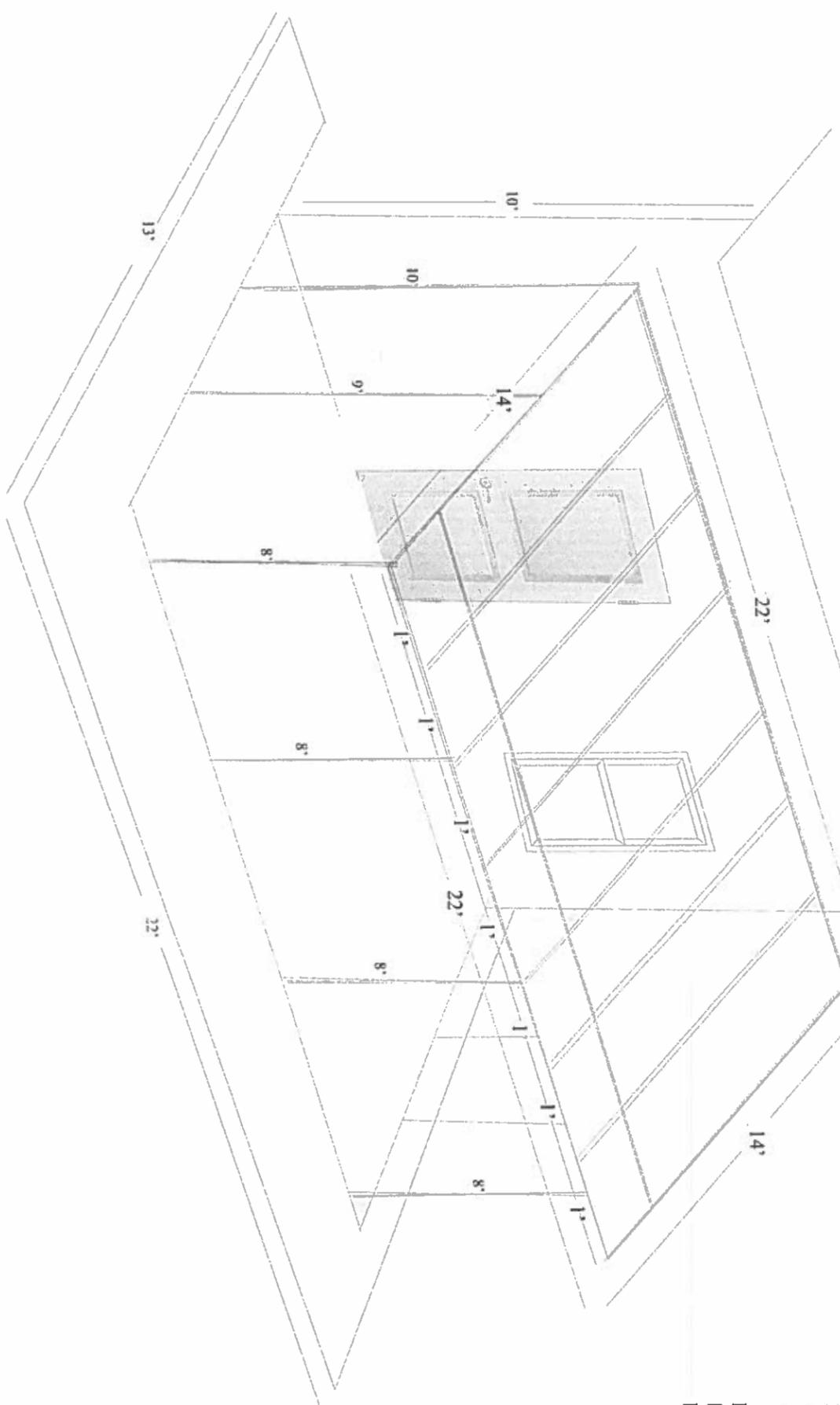
Galaxy S23 Ultra

36 Pennsylvania Ave Freeport



Buildings and portions are constructed in accordance with the wind provisions of this code using the ultimate design wind speed. A stainless steel frame structure with open walls that is used for recreational, outdoor living purposes associated with a dwelling unit.  
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 Ceiling joint every one feet by stainless steel color silver.

Lot size 150X140=21000 Sqf  
 Building Size 4720 Sqf  
 Plan to build canopy size 22'X14' = 3088sqf



**ZONING DATA**  
 HOUSE #: 124 N LONG BEACH AVENUE  
 SECTION: 55  
 BLOCK: 271 LOT: 19

**IP ENGINEERING AND INSPECTION P.C.**  
 88 NORTH MONTGOMERY STREET,  
 VALLEY STREAM, NY 11580

**PROJECT ADDRESS AND PROPERTY LOCATION:**  
 124 N LONG BEACH AVENUE,  
 FREEPORT, NY 11520

**SCOPE OF WORK**  
 Under Respective Plans

**TITLE:**  
 Installing canopy

SEAL & SIGNATURE	DATE: 08-21-2023
	PROJECT No.:
DRAWING BY: IP	DWG No.:
	CHK BY: IP
NYC DOB #:	A-001.00
	CADO FILE No.



Application Date: 10/13/23  
Fees Paid: 225.00

SP# 3677

INCORPORATED VILLAGE OF FREEPORT  
SITE PLAN REVIEW APPLICATION  
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 51 FRANKER AVE ZONING DISTRICT Residence A  
SECTION 54 BLOCK 197 LOT 0326 LOT SIZE: \_\_\_\_\_

<input type="checkbox"/> TENANT APPLICANT	<input type="checkbox"/> LESSEE	<input checked="" type="checkbox"/> PROPERTY OWNER
Name: <u>Same as owner</u>	Name: <u>Kevin Issurdatt</u>	
Address: _____	Address: <u>51 FRANKER AVE</u>	
Telephone #: _____	Telephone #: <u>(516) 998-6872</u>	

Attorney Name: \_\_\_\_\_ Address: \_\_\_\_\_  
(optional) Phone #: \_\_\_\_\_

Present Land Use: RESIDENTIAL Proposed Land Use: RESIDENTIAL

Description of Proposed Work: Replace Existing ASPHALT DRIVEWAY WITH PAVERS & EXTEND DRIVEWAY

I request a preliminary meeting: \_\_\_ YES \_\_\_  NO

I request a waiver of the public hearing and hereby certify the following:  
A. The subject property is zoned Residence A or Residence AA.  
B. The proposed construction is not a new building or dwelling.  
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.

Kevin Issurdatt  YES  NO  
APPLICANT'S SIGNATURE DATE 10/6/23

Sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

Notary Public

Property Owner's Consent: I, KEVIN ISSURDATT am (are) the owner(s) of the subject property and consent to the filing of this application.

Kevin Issurdatt 10/6/23  
PROPERTY OWNER'S SIGNATURE MESHESSNA C LITTLEDATE

Sworn to before me this 10/6/23 day of October, 2023  
Mesheena C. Little  
NOTARY PUBLIC-STATE OF NEW YORK  
No. 01LI6066956  
Qualified in Nassau County  
My Commission Expires 11-26-25

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: ___ YES ___ NO	Date of Hearing: _____
Village Clerk's Signature: _____	Date of Decision: _____
Planning Board Signature: _____	Date: _____
	Approved _____ Denied _____



**INC. VILLAGE OF FREEPORT**

**Department of Buildings**

46 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK 11520

(516) 377-2242

FAX (516) 377-2493

E-MAIL [BUILDINGDEPT@FREEPORTNY.GOV](mailto:BUILDINGDEPT@FREEPORTNY.GOV)

ROBERT T. KENNEDY  
MAYOR

SERGIO A. MAURAS  
SUPERINTENDENT OF BUILDINGS

**SITE PLAN LETTER**  
September 7, 2023

Kevin Issurdatt  
51 Frankel Ave  
Freeport, NY 11520

**RE: 51 Frankel Avenue, Freeport, NY 11520**  
**Zoning District: Residence A. Sec 54, Blk 197, Lot 326**  
**Building Permit Application #20233441**

**Description: Legalize existing driveway and replace asphalt driveway with pavers (1,158 sq.ft)**

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

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If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the VILLAGE CLERK'S OFFICE at 377-2300.

Very truly yours,

Sergio A. Mauras  
Superintendent of Buildings  
/Daniela Hernandez

c: Village Clerk

ZBA Approval Needed: Yes\_\_ No\_X\_

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SEP 11 9:09 AM  
VILLAGE OF FREEPORT, NY

VILLAGE OF FREEPORT

Department of Buildings

Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement. (See reasons below)

Project :

Building Permit App. 20233441

Location: 51 Frankel Ave, Freeport NY 11520

Applicant: Kevin Issurdatt

Description : Legalize existing driveway and replace asphalt driveway with pavers (1,158 sq.ft)

Lead Agency: Department of Buildings for the Board of Trustees Village of Freeport 46 North Ocean Avenue, Freeport, NY

Agency Contact Person: Superintendent of Buildings (516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A)

B) Possible environment effects identified: (only if positive determination)

Dated: Sept 7, 2023

Sergio A. Mauras Superintendent of Buildings

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IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

617.20  
 Appendix B  
 Short Environmental Assessment Form

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 FREEPORT BUILDING DEPT.

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
DRIVEWAY Replacement			
Name of Action or Project:			
Project Location (describe, and attach a location map):			
51 FRANKEL AVE			
Brief Description of Proposed Action:			
Replace existing driveway with pavers 1,108 sq ft.			
Name of Applicant or Sponsor:		Telephone:	
KEVIN ISSORDATT		516 998-6872	
Address:		E-Mail:	
51 FRANKEL AVE		KISSORDATT@HOTMAIL.COM	
City/PO:		State:	Zip Code:
FREEPORT		NY	11520
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?			
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO YES
			<input checked="" type="checkbox"/> <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency?			
If Yes, list agency(s) name and permit or approval:			NO YES
			<input checked="" type="checkbox"/> <input type="checkbox"/>
3.a. Total acreage of the site of the proposed action? _____ acres			
b. Total acreage to be physically disturbed? _____ acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres			
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

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 FREEPORT BUILDING DEPT.

	NO	YES	N/A
5. Is the proposed action: a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Are public transportation service(s) available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing potable water: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100 year flood plain?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ <input type="checkbox"/> NO <input type="checkbox"/> YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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FREEPORT BUILDING DEPT.

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)?  
 If Yes, explain purpose and size: \_\_\_\_\_

19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?  
 If Yes, describe: \_\_\_\_\_

20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?  
 If Yes, describe: \_\_\_\_\_

I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

Applicant/sponsor name: Kevin ISSORDATT Date: 8-30-23  
 Signature: [Signature]

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

	<b>RECEIVED</b> AUG 30 2023 <small>PLANNING &amp; BUILDING DEPT.</small>	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?		<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?		<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Part 3 - Determination of significance.** The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

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<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input checked="" type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
Name of Lead Agency	Date
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

FRONT OF SIDEWALK VIEW



RIGHT FRONT ANGLE TO SHOW STRAIGHT WITH STEPS

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PATIO BEHIND FENCE 18 X 30



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2023 OCT 11 A 9:09  
SUNSHINE REALTY

34 FRANKEL AVE



33 FRANKEL AVE



APR 11 11 A 9:09

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263 PARK AVE

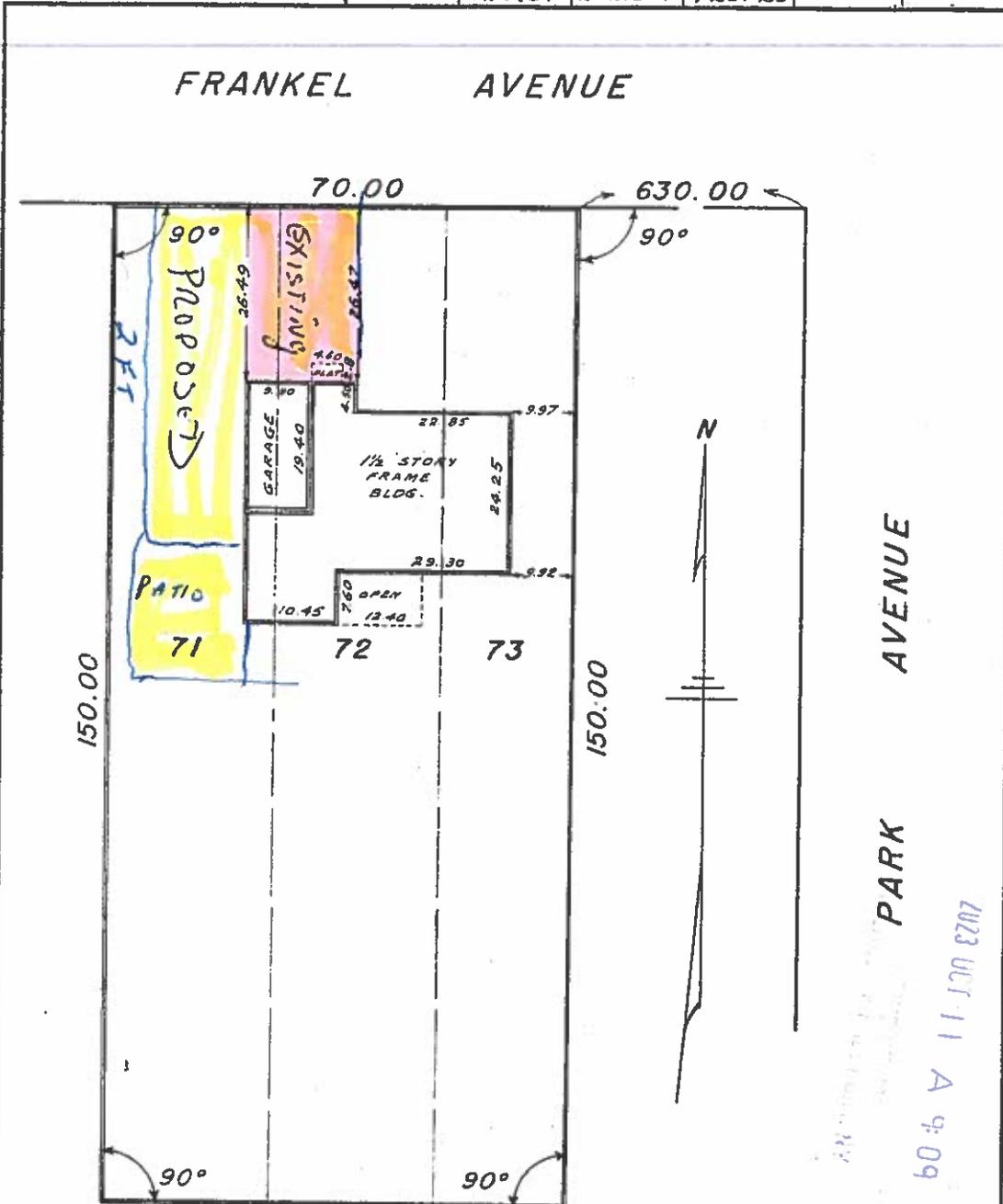


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2023 OCT 11 A  
MILWAUKEE, WI

276 S. BROOKSIDE AVE



DRAWN	CHECKED	JOB NO.	FILE NO.	SEC.	BLK.
S.A.E.	A.J.S.	22210-4	F251-25		



Guaranteed to  
 Baldwin Federal Savings &  
 Loan Association  
*Baldwin & Cornelius Co. Inc.*  
*Per JACC*

**LOTS NO 71 AND 72  
 AND PART OF 73  
 MAP OF**

**MORTON DEVELOPMENT COMPANY INC.  
 FREEPORT, N.Y.**

SURVEYED SEPT. 20, 1948  
**BALDWIN & CORNELIUS CO. INC.**  
 CIVIL ENGINEERS & SURVEYORS  
 LICENSE NO. 793 & 527  
**FREEPORT, L.I. N. Y.**  
 SCALE 1" = 20' N. Y. STATE STANDARD

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 2023 OCT 11 A 9:09  
 PARK AVENUE

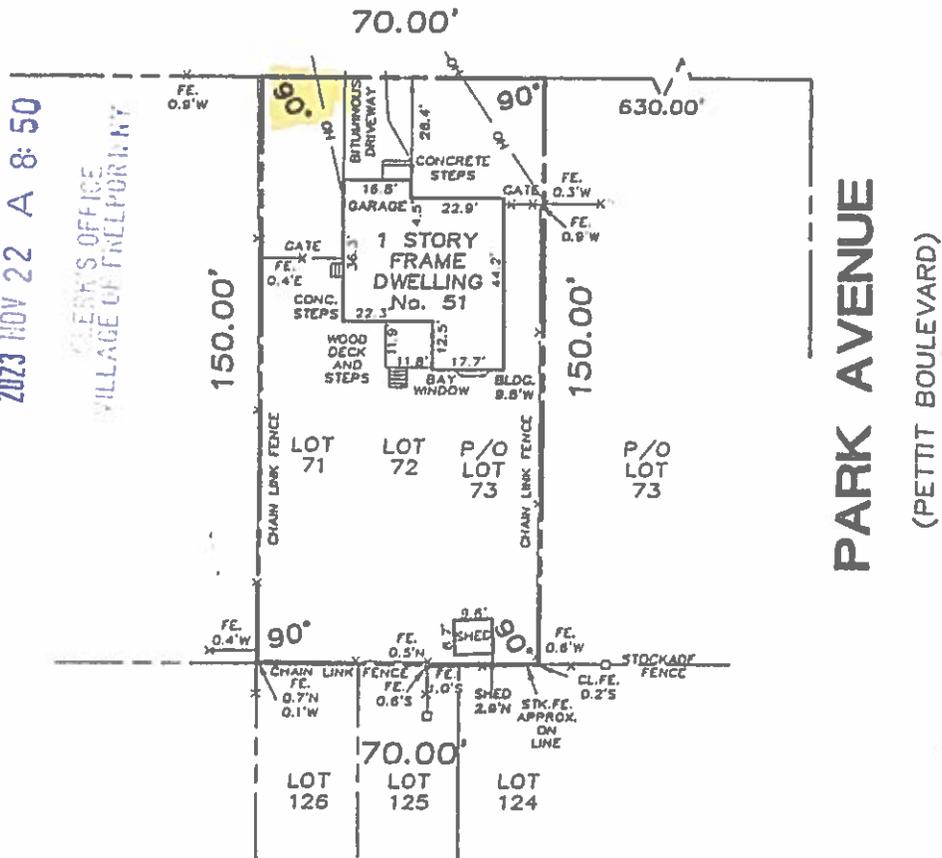
"IMPERIAL" TRADING CLOTH  
 2 & 8 DO., N. Y.

Certifications indicated hereon signify that this plat of the hereon described property is a true and correct representation of a recent survey made and plotted under my direction in accordance with the existing Code of Practice for Land Surveyors by the New York State Association of Professional Land Surveyors. Said certifications shall run only to the person for whom the survey is prepared and on their behalf to the title company, governmental agency and lending institution listed hereon. This certification is only for the lands described hereon, it's not a certification of title, zoning or freedom from encumbrances. Certifications are not transferable to additional institutions or subsequent owners.

51 Frankel Ave

12' x 3' section to be landscaped

FRANKEL AVENUE



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CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY

LM: SURVEY  
VIEW: SURVEY

The offsets or dimensions shown from the structures to the property lines are for a specific purpose and use and therefore are not intended to guide in the erection of fences, retaining walls, pools, patios, planting areas, additions to buildings and any other construction. Subsurface Conditions not shown. Easements, Rights-of-Way of Record, if any, not shown. Property owner monuments were not placed as a part of this survey. © 2000 B.B.V., P.C.



Barrett, Bonacci & Van Weele, P.C.

CIVIL ENGINEERS/SURVEYORS/PLANNERS  
175A Commerce Drive, Hauppauge, NY 11788  
TEL 631/435-1111 FAX 631/435-1022  
www.bbvpcc.com

UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY IS A VIOLATION OF SECTION 7209 OF NEW YORK STATE EDUCATION LAW

LOT: LOTS 71, 72 & P/O 73 BLOCK: --  
MAP OF: PROPERTY OF MORTON DEVELOPMENT COMPANY INC.  
FILED: DEC. 20, 1919 NO. 2328 CO. NASSAU  
SITUATED: INC. VILL. OF FREEPORT  
CERTIFIED TO: TITLE NO.: --  
DENISE ISSURDATT  
KEVIN ISSURDATT  
SOUTH BAY ABSTRACT  
LAWYERS TITLE INSURANCE COMPANY

REVISIONS:

COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S EMBOSSED SEAL AND SIGNATURE SHALL NOT BE CONSIDERED TO BE A TRUE AND VALID COPY.

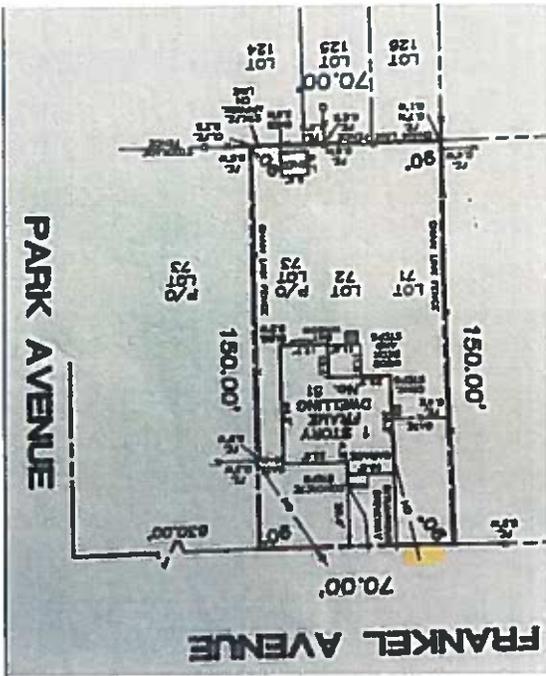
JOB NO.: A000748

DATE: OCT 12, 2000

DR. K.P.S CH.

SCALE: 1" = 40'

DIST. --- SEC. 54 BLK. 197 LOT 326



Proposed landscaping is highlighted in yellow representing an area starting at the NW corner of property right before the sidewalk and going 12 feet East and 3 feet south forming a 12 x 3 rectangle.



CLIENT'S OFFICE  
ORLANDO, NY

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- Plan 1 A-A
- Plan 2 B-A-B
- Plan 3 C-C-C
- Plan 4 D-A-D

A



B



C



D



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2023 NOV 22 A 8:50

CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY

Application Date: 10/24/23  
Fees Paid: \$235.00

SP# 3680

INCORPORATED VILLAGE OF FREEPORT  
SITE PLAN REVIEW APPLICATION  
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 65 PARK AVENUE ZONING DISTRICT RES "A"  
SECTION 54 BLOCK 85 LOT 111 LOT SIZE: 50 FT x 129 FT

<input type="checkbox"/> TENANT <u>APPLICANT</u> <input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>MIGUEL RAMIREZ</u>	Name: <u>103-24 HOLDING INC &amp; OR AUXILIADORA ASITIMBAT</u>
Address: <u>33 LAMONT PLACE WEST BABYLON, N.Y. 11704</u>	Address: <u>3508 <del>W</del> RAYOR DRIVE WAMTACH, N.Y. 11793</u>
Telephone #: <u>(631) 704-6601</u>	Telephone #: <u>(616) 528-2171</u>

(AGENT)  
Attorney Name: MIGUEL RAMIREZ Address: 33 LAMONT PLACE  
(optional) Phone #: (631) 704-6601 WEST BABYLON, N.Y. 11704

Present Land Use: 1-FAM. RESIDENCE Proposed Land Use: 1-FAM. RESIDENCE

Description of Proposed Work: 1-MAINTAIN EXISTING CONCRETE BLOCK EXTERIOR CELLAR ACCESS, extend existing Drive way 12 FT W/10E

I request a preliminary meeting: YES  NO

I request a waiver of the public hearing and hereby certify the following:  
A. The subject property is zoned Residence A or Residence AA.  
B. The proposed construction is not a new building or dwelling.  
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied. YES  NO

[Signature]  
APPLICANT'S SIGNATURE  
Sworn to before me this 23rd day of October of 2023.  
[Signature]  
Notary Public

DORIS ALEXANDRA RAMIREZ  
NOTARY PUBLIC STATE OF NEW YORK  
SUFFOLK COUNTY  
LIC. # 01RA635P978  
COMM. EXP. May 30 of 2025

10-23-2023  
DATE

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2023 OCT 24 A 2:57  
VILLAGE CLERK'S OFFICE  
OFFICE OF FREEPORT, NY

Property Owner's Consent: I, DORA ASITIMBAT am (are) the owner(s) of the subject property and consent to the filing of this application.

[Signature]  
PROPERTY OWNER'S SIGNATURE  
Sworn to before me this 23rd day of October of 2023.  
[Signature]  
Notary Public

DORIS ALEXANDRA RAMIREZ  
NOTARY PUBLIC STATE OF NEW YORK  
SUFFOLK COUNTY  
LIC. # 01RA635P978  
COMM. EXP. May 30 of 2025

10-23-2023  
DATE

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: <u>YES</u> <input type="checkbox"/> NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	<u>Approved</u> <input type="checkbox"/> <u>Denied</u> <input type="checkbox"/> Date: _____
Planning Board Signature: _____	Date: _____



## INC. VILLAGE OF FREEPORT

### Department of Buildings

46 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK 11520  
(516) 377-2242  
FAX (516) 377-2493

E-MAIL: [BUILDINGDEPT@FREEPORTNY.GOV](mailto:BUILDINGDEPT@FREEPORTNY.GOV)

ROBERT T. KENNEDY  
MAYOR

SERGIO A. MAURAS  
SUPERINTENDENT OF BUILDINGS

**SITE PLAN LETTER**  
October 11, 2023

103-24 Holdings INC  
65 Park Ave  
Freeport, NY 11520

RE: 65 Park Ave, Freeport, NY 11520

Zoning District: Residence A Sec 54, Blk 85, Lot 111

Building Permit Application #20233476

Description: Maintain existing concrete block exterior cellar access: 2 – Proposed (1,538 S.F.) Finished cellar with 3 PC bathroom and 3 – extension of exiting concrete driveway (596.SQ.FT)

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the VILLAGE CLERK'S OFFICE at 377-2300.

Very truly yours,

Sergio A. Mauras  
Superintendent of Buildings  
/Daniela Hernandez

c: Village Clerk

ZBA Approval Needed: Yes\_\_ No\_X

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2023 OCT 24 A 2:57  
VILLAGE CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY

VILLAGE OF FREEPORT  
Department of Buildings  
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.  
(See reasons below)

Project : Building Permit App. 20233476

Location: 65 Park Ave , Freeport NY 11520

Applicant: 103-24 Holdings INC

Description : Maintain existing concrete block exterior cellar access: 2 – Proposed (1,538 S.F.) Finished cellar with 3 PC bathroom and 3 – extension of exiting concrete driveway (596.SQ.FT)

Lead Agency: Department of Buildings  
for the Board of Trustees  
Village of Freeport  
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:  
Superintendent of Buildings  
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) \_\_\_\_\_

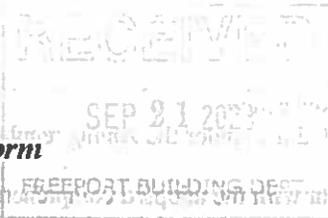
B) Possible environment effects identified:  
(only if positive determination)

Dated: October 11, 2023

*Sergio A. Mauras*  
Sergio A. Mauras  
Superintendent of Buildings

**IMPORTANT:** This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

617.20  
Appendix B  
Short Environmental Assessment Form



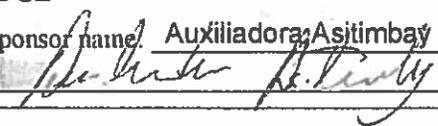
**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>			
Name of Action or Project: Maintain existing concrete block exterior cellar access, proposed finished cellar with 3-pc bathroom and extension of existing concrete driveway.			
Project Location (describe, and attach a location map): No.65 On East side of Park Avenue at 100 ft. South of Lexington Avenue, in the Inc. Village of Freeport, State of New York 11520.			
Brief Description of Proposed Action: 1.-Maintain existing concrete block exterior cellar access; 2.- Proposed (1,538 s.f.) finished cellar with 3-pc bathroom and 3.-Extension of existing concrete driveway.			
Name of Applicant or Sponsor: Dora Asitimbay		Telephone: (516)528-2171	
		E-Mail:	
Address: 3508 Roger Drive			
City/PO: Wantagh		State: New York	Zip Code: 11793
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO  YES ✓
2. Does the proposed action require a permit, approval or funding from any other governmental agency? If Yes, list agency(s) name and permit or approval:			NO  YES ✓
3.a. Total acreage of the site of the proposed action?		0.15 acres	
b. Total acreage to be physically disturbed?		0.15 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		0.15 acres	
4. Check all land uses that occur on, adjoining and near the proposed action. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations?		✓	
b. Consistent with the adopted comprehensive plan?		✓	
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO		YES ✓
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____		✓	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?		✓	
b. Are public transportation service(s) available at or near the site of the proposed action?			✓
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?		✓	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO		YES ✓
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	NO		YES ✓
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____	NO		YES ✓
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO		YES ✓
b. Is the proposed action located in an archeological sensitive area?		✓	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?		✓	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____		✓	
		✓	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO		YES ✓
16. Is the project site located in the 100 year flood plain?	NO		YES ✓
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ _____	NO		YES ✓ ✓

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	✓	
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	✓	
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	✓	
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor name: <u>Auxiliadora Asitimbay</u>	Date: <u>08/04/2023</u>	
Signature: 		

**Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"**

	No, or small impact may occur	Mo derate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	✓	
2. Will the proposed action result in a change in the use or intensity of use of land?	✓	
3. Will the proposed action impair the character or quality of the existing community?	✓	
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	✓	
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	✓	
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	✓	
7. Will the proposed action impact existing: a. public / private water supplies?	✓	
b. public / private wastewater treatment utilities?	✓	
8. Will the proposed action impair the character or quality of important historic, archeological, architectural or aesthetic resources?	✓	
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	✓	

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	✓	
11. Will the proposed action create a hazard to environmental resources or human health?	✓	

**Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impact. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.**

9 Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.

9 Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

Name of Lead Agency

Date

Print or Type Name of Responsible Officer in Lead Agency

Title of Responsible Officer

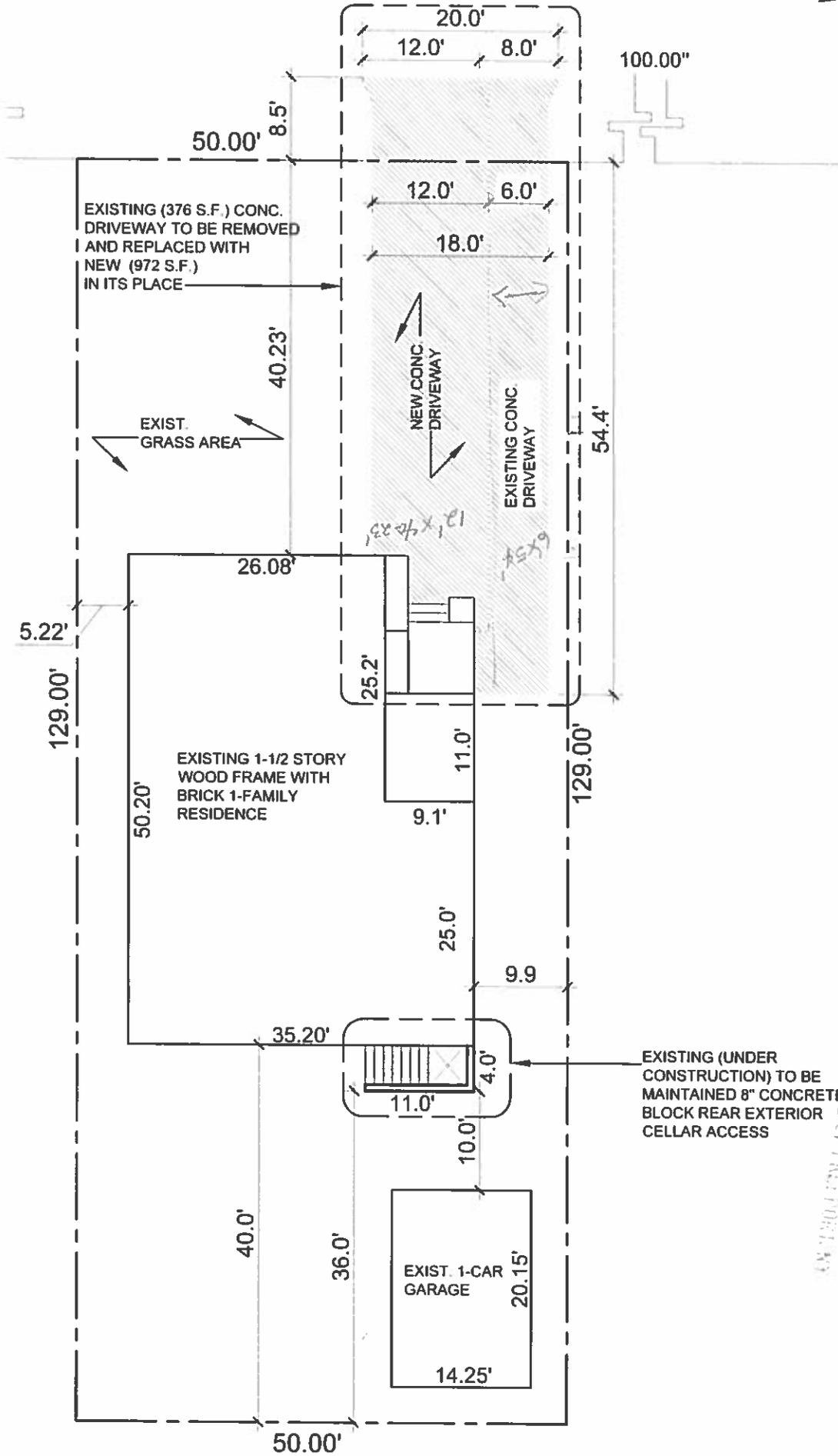
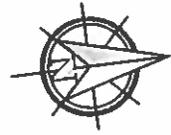
Signature of Responsible Officer in Lead Agency

Signature of Preparer (if different from Responsible Officer)

65 PARK AVENUE, FREEPORT, NEW YORK 11520

SBL.: 54 085 111

PARK AVENUE



LEXINGTON AVENUE

EXISTING (UNDER CONSTRUCTION) TO BE MAINTAINED 8" CONCRETE BLOCK REAR EXTERIOR CELLAR ACCESS

CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY

2023 OCT 24 A 2:57

RECEIVED

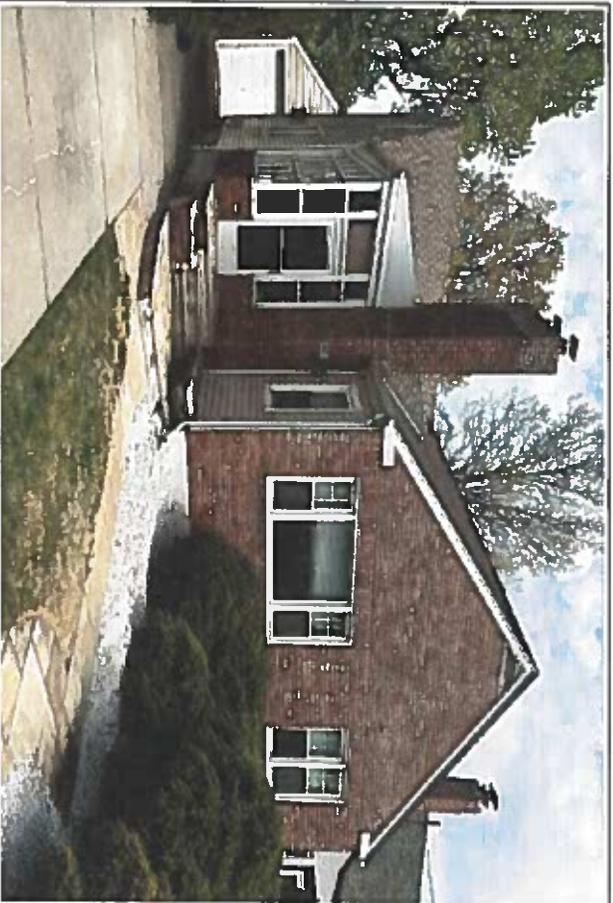
PLOT PLAN

SCALE: 1"=15 FT LOT SIZE: 6,450 S.F.

**SUBJECT PROPERTY  
PICTURES**

**65 PARK AVENUE**

SBL.: 54 085 111



**FRONT (WEST SIDE) FACADE**



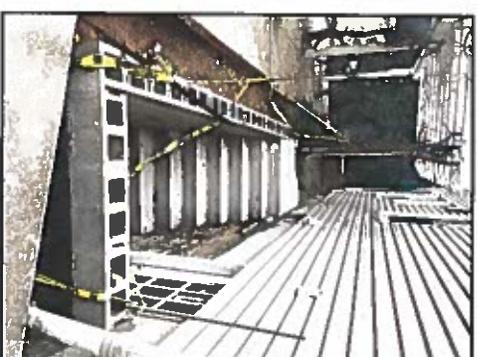
**RIGHT SIDE (SOUTH) FACADE**



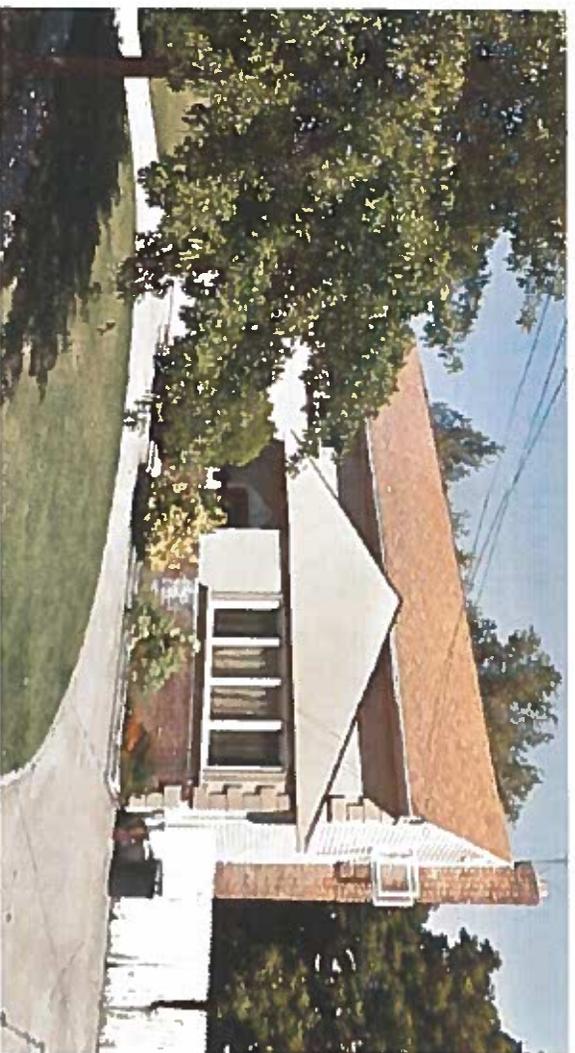
**LEFT SIDE (NORTH) FACADE**



**REAR (EAST SIDE) FACADE**



**EXISTING TO BE MAINTAINED  
(UNDER CONSTRUCTION)  
CONCRETE EXTERIOR  
CELLAR ACCESS**



61 PARK AVENUE (AT NORTH  
SIDE OF SUBJECT PROPERTY)



77 PARK AVENUE (AT SOUTH  
SIDE OF SUBJECT PROPERTY)



61 PARK AVENUE (AT SOUTH WEST  
SIDE OF SUBJECT PROPERTY)



66 PARK AVENUE (AT NORTH WEST  
SIDE OF SUBJECT PROPERTY)

**EXISTING ADJOINING  
PROPERTY PICTURES**

**65 PARK AVENUE**

SBL.: 54 085 111

RECEIVED  
3 OCT 24 A 2:  
CLERK'S OFFICE  
CITY OF FALLEN PARK, VA

**GENERAL NOTES 1**

1. Work shall be done in strict accordance with provisions of all applicable codes, laws, ordinances, and regulations. The contractor shall be held to the same standard in all cases. Drawings shall not be scaled for information.

2. The contractor shall be held to the same standard in all cases. Drawings shall not be scaled for information.

3. The contractor shall be held to the same standard in all cases. Drawings shall not be scaled for information.

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8. The contractor shall be held to the same standard in all cases. Drawings shall not be scaled for information.

9. The contractor shall be held to the same standard in all cases. Drawings shall not be scaled for information.

10. The contractor shall be held to the same standard in all cases. Drawings shall not be scaled for information.

**GENERAL CODE NOTES 2**

1. All work shall be done in strict accordance with provisions of all applicable codes, laws, ordinances, and regulations. The contractor shall be held to the same standard in all cases. Drawings shall not be scaled for information.

2. The contractor shall be held to the same standard in all cases. Drawings shall not be scaled for information.

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9. The contractor shall be held to the same standard in all cases. Drawings shall not be scaled for information.

10. The contractor shall be held to the same standard in all cases. Drawings shall not be scaled for information.

**SCOPE OF WORK**

1. Maintain existing rear 6" concrete block exterior cellar access (under construction).

2. Propose extension of existing 6 ft wide poured concrete driveway.

3. Propose extension of existing 6 ft wide poured concrete driveway up to 18 ft.

4. Propose extension of existing 6 ft wide poured concrete driveway up to 18 ft.

5. Propose extension of existing 6 ft wide poured concrete driveway up to 18 ft.

6. Propose extension of existing 6 ft wide poured concrete driveway up to 18 ft.

7. Propose extension of existing 6 ft wide poured concrete driveway up to 18 ft.

8. Propose extension of existing 6 ft wide poured concrete driveway up to 18 ft.

9. Propose extension of existing 6 ft wide poured concrete driveway up to 18 ft.

10. Propose extension of existing 6 ft wide poured concrete driveway up to 18 ft.

**2020 IECC CODE NOTES**

1. Piping from the water heater to kitchen outlets shall be installed in accordance with the provisions of the applicable codes, laws, ordinances, and regulations. The contractor shall be held to the same standard in all cases. Drawings shall not be scaled for information.

2. Piping from the water heater to kitchen outlets shall be installed in accordance with the provisions of the applicable codes, laws, ordinances, and regulations. The contractor shall be held to the same standard in all cases. Drawings shall not be scaled for information.

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10. Piping from the water heater to kitchen outlets shall be installed in accordance with the provisions of the applicable codes, laws, ordinances, and regulations. The contractor shall be held to the same standard in all cases. Drawings shall not be scaled for information.

**2020 IECC Section R403.3 Mechanical system piping installation**

1. Piping from the water heater to kitchen outlets shall be installed in accordance with the provisions of the applicable codes, laws, ordinances, and regulations. The contractor shall be held to the same standard in all cases. Drawings shall not be scaled for information.

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10. Piping from the water heater to kitchen outlets shall be installed in accordance with the provisions of the applicable codes, laws, ordinances, and regulations. The contractor shall be held to the same standard in all cases. Drawings shall not be scaled for information.

**LOCATION MAP (NTS)**



**SYMBOLS LIST**

Symbol	Description
North Arrow	North Arrow
Section Number	Section Number
Drawing No	Drawing No
80 CFM EXHAUST FAN TO EXTERIOR	80 CFM EXHAUST FAN TO EXTERIOR
EXISTING SMOKE DETECTOR	EXISTING SMOKE DETECTOR
EXISTING CARBON MONOXIDE DETECTOR	EXISTING CARBON MONOXIDE DETECTOR

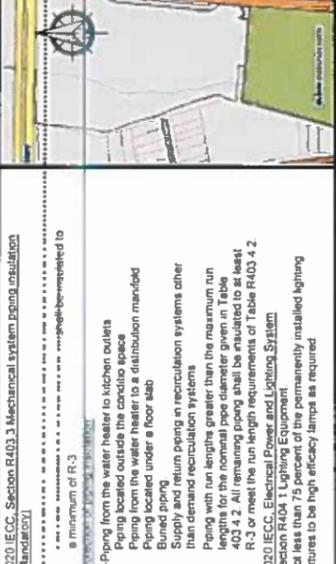
**WALL TYPE LEGEND**

WALL TYPE	DESCRIPTION
EXISTING TO MAINTAIN 8" LOAD BEARING POURED CONC. FOUNDATION WALL TO REMAIN	EXISTING TO MAINTAIN 8" LOAD BEARING POURED CONC. FOUNDATION WALL TO REMAIN
EXISTING TO MAINTAIN 8" LOAD BEARING POURED CONC. FOUNDATION WALL WITH 1" LAYER OF GREEN 1/2" GYP. BO. FASTENED TO INSUL. (R-10) IN BETWEEN	EXISTING TO MAINTAIN 8" LOAD BEARING POURED CONC. FOUNDATION WALL WITH 1" LAYER OF GREEN 1/2" GYP. BO. FASTENED TO INSUL. (R-10) IN BETWEEN
NEW NON BEARING INTERIOR WALL PARTITION CONSISTING OF (1) LAYER OF 5/8" TYPE 'X' GYP. BO. EACH SIDE OF 1/2" GYP. BO. FASTENED FROM FLOOR AND TIGHT TO THE UNDERSIDE OF STRUCTURE ABOVE	NEW NON BEARING INTERIOR WALL PARTITION CONSISTING OF (1) LAYER OF 5/8" TYPE 'X' GYP. BO. EACH SIDE OF 1/2" GYP. BO. FASTENED FROM FLOOR AND TIGHT TO THE UNDERSIDE OF STRUCTURE ABOVE
NEW NON BEARING INTERIOR WALL PARTITION CONSISTING OF (1) LAYER OF 5/8" TYPE 'X' GYP. BO. EACH SIDE OF 1/2" GYP. BO. FASTENED FROM FLOOR AND TIGHT TO THE UNDERSIDE OF STRUCTURE ABOVE (BULKER ROOM PARTITION)	NEW NON BEARING INTERIOR WALL PARTITION CONSISTING OF (1) LAYER OF 5/8" TYPE 'X' GYP. BO. EACH SIDE OF 1/2" GYP. BO. FASTENED FROM FLOOR AND TIGHT TO THE UNDERSIDE OF STRUCTURE ABOVE (BULKER ROOM PARTITION)
EXIST. 8" TO MAINTAIN CONCRETE BLOCK FOUNDATION WALL (EXT. CELLAR ACCESS)	EXIST. 8" TO MAINTAIN CONCRETE BLOCK FOUNDATION WALL (EXT. CELLAR ACCESS)

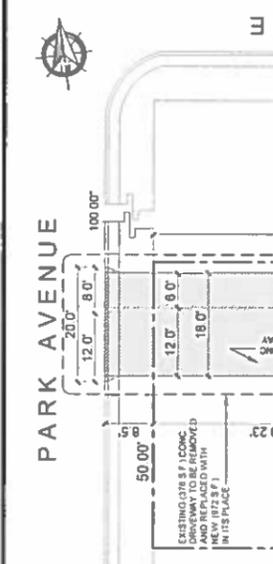
**INSULATION AND PENETRATION REQUIREMENTS BY COMPONENT**

COMPONENT	MINIMUM R VALUE	MINIMUM U VALUE	MINIMUM U VALUE (MAXIMUM PERMITTED)
ROOF	15	0.17	0.18
WALLS	15	0.17	0.18
FLOORS	15	0.17	0.18
CEILING	15	0.17	0.18
GLAZING	15	0.17	0.18
DOORS	15	0.17	0.18
WINDOWS	15	0.17	0.18
SKYLIGHTS	15	0.17	0.18
MECHANICAL PENETRATIONS	15	0.17	0.18
ELECTRICAL PENETRATIONS	15	0.17	0.18
PLUMBING PENETRATIONS	15	0.17	0.18
TELEPHONE PENETRATIONS	15	0.17	0.18
TELEVISION PENETRATIONS	15	0.17	0.18
REFRIGERATION PENETRATIONS	15	0.17	0.18
AIR CONDITIONING PENETRATIONS	15	0.17	0.18
EXHAUST PENETRATIONS	15	0.17	0.18
MECHANICAL EXHAUST PENETRATIONS	15	0.17	0.18
ELECTRICAL EXHAUST PENETRATIONS	15	0.17	0.18
PLUMBING EXHAUST PENETRATIONS	15	0.17	0.18
TELEPHONE EXHAUST PENETRATIONS	15	0.17	0.18
TELEVISION EXHAUST PENETRATIONS	15	0.17	0.18
REFRIGERATION EXHAUST PENETRATIONS	15	0.17	0.18
AIR CONDITIONING EXHAUST PENETRATIONS	15	0.17	0.18

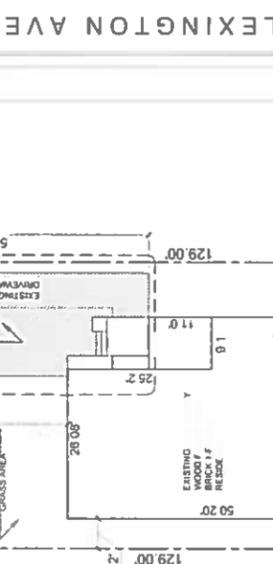
**PLOT PLAN**



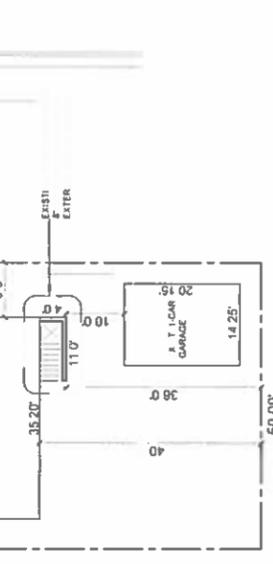
**CELLAR PARTIAL BUILDING SECTION**



**CELLAR PARTIAL BUILDING SECTION**



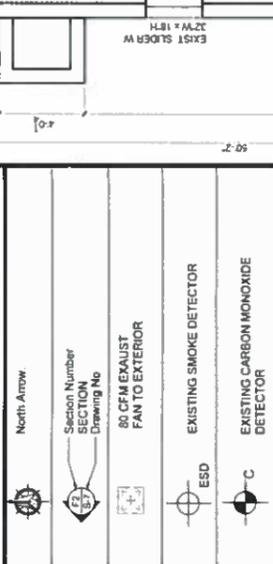
**PLUMBING RISER DIAGRAM**



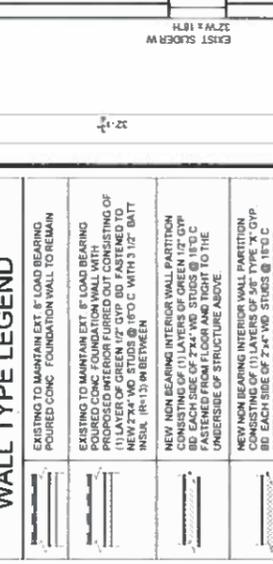
**PROPOSED FINISHED CELLAR**



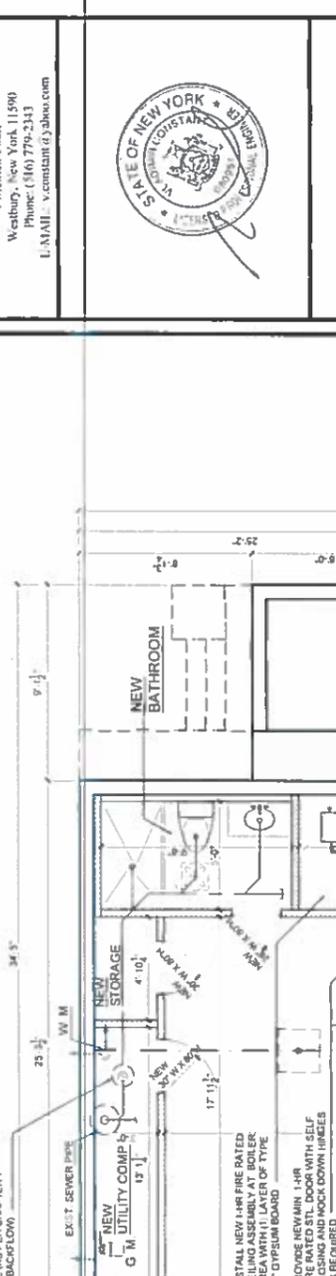
**SECTION THRU CONC. CELLAR ACCESS**



**SECTION THRU CONC. CELLAR ACCESS**



**VLADIMIR CONSTANT P.E.**  
7 Hicksville Court  
Westbury, New York 11590  
Phone: (516) 799-3143  
E-MAIL: v.constant@mar.com



**CONSULTANT**  
**MAR DRAFTING & COMMERCIAL EXPEDITING**  
33 LANOIT PLACE  
WEST BABYLON, N.Y. 11704  
OFF: (516) 331-9201-2443  
CELL: (516) 799-3143  
E-MAIL: MAR.DRAFTING@GMAIL.COM

**REVISIONS**

NO	DATE	DESCRIPTION
1	10/08/23	REVISED AS PER VILLAGE OF FREEPORT COMMENTS
2		

**OWNER/APPLICANT:**  
Auxiliadora Asitimbay  
Address: 3508 Roger Drive  
Wantagh, New York 11793  
PHONE: (516) 528-2171  
Emergency contact:  
Miguel Ramirez  
Phone: (631) 704-6601  
E-mail: mardrafting@gmail.com

**PROJECT TITLE**  
**PROP. FINISHED CELLAR**  
**MAINTAIN EXIST. EXTERIOR**  
**R CELLAR ACCESS AND**  
**PROP. EXTENSION OF**  
**EXIST. CONC DRIVEWAY**  
85 PARK AVENUE  
FREEPORT NEW YORK 11520  
SBL: 54 085 111

**TITLE INFO., GENERAL NOTES**  
**PLOT PLAN, CELLAR FLOOR**  
**PLAN AND PARTIAL BUILDING**  
**SECTIONS.**

DRAWN BY	DRAWING NO
MIGUEL RAMIREZ	T-1
CHECKED BY	PROJECT NO
MAR	202319
DATE	SCALE
10/2023	AS SHOWN

**VLADIMIR CONSTANT P.E.**  
 7 Melrick Court  
 Westbury, New York 11590  
 Phone: (516) 779-2343  
 E-MAIL: v.constant@yahoo.com



APPLICATION NO.

**OWNER/APPLICANT:**

Auxiliadora Asimbay  
 Address: 3508 Roger Drive  
 Wantagh, New York, 11793  
 PHONE: (516)528-2171  
 Emergency contact: 51  
 Miguel Ramirez  
 Phone: (631)704-6601  
 Email: mardrafting@gmail.com

**PROJECT TITLE**

**PROP. FINISHED CELLAR  
 MAINTAIN EXIST. EXTERIO  
 R CELLAR ACCESS AND  
 PROP. EXTENSION OF  
 EXIST. CONC DRIVEWAY**

65 PARK AVENUE  
 FREEPORT, NEW YORK 11520  
 SBL.: 54 085 111

**EXISTING REAR ELEVATION  
 WITH EXISTING TO MAINTAIN  
 EXTERIOR CELLAR ACCESS**

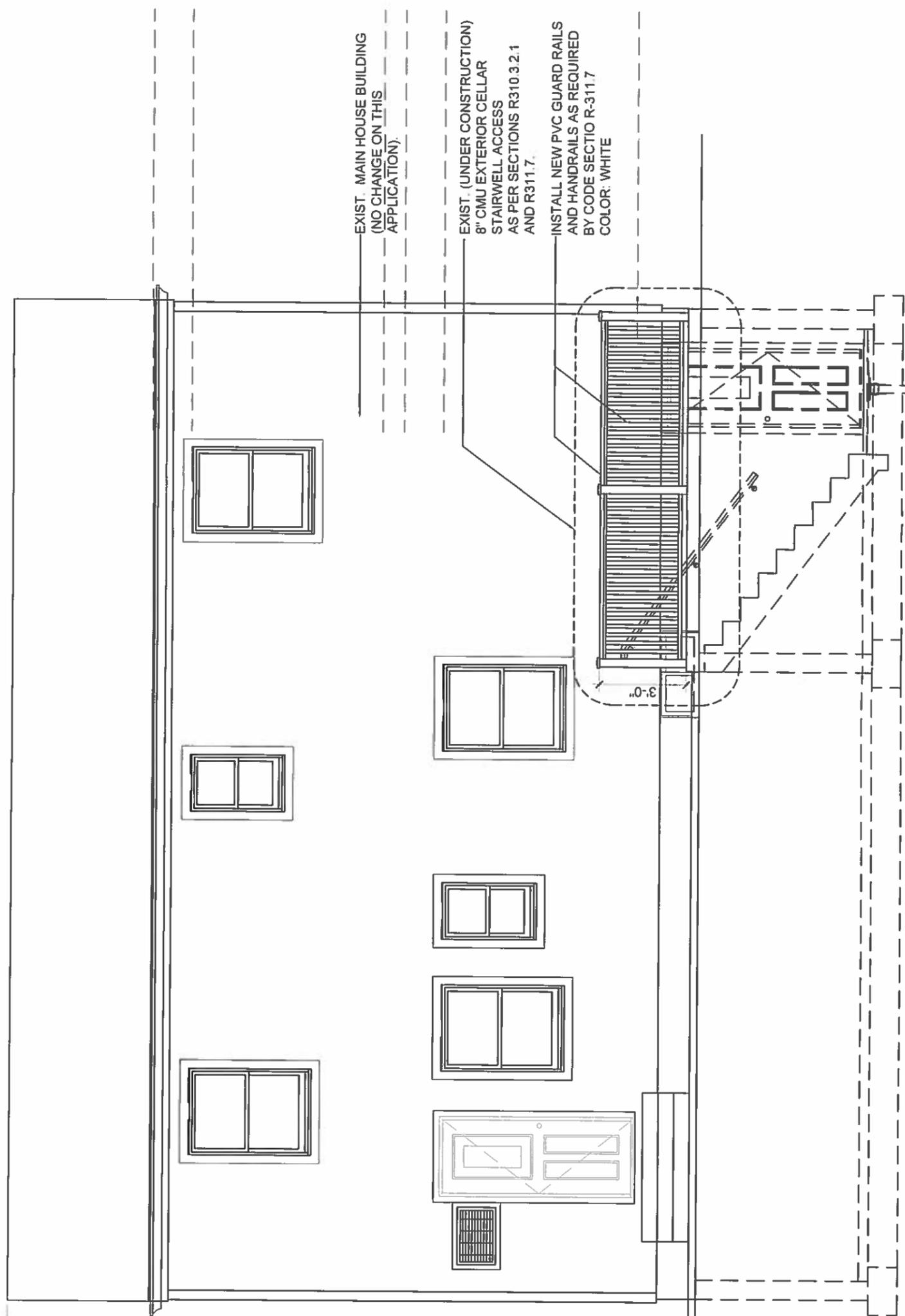
**DRAWN BY:**  
MIGUEL RAMIREZ

**CHECKED BY:**  
MAR

**DATE:**  
10/2023

**SCALE:**

**A EXISTING REAR (EAST SIDE) ELEVATION**  
 SCALE: 1/4"=1'



A  
A-1

PROJECT NO. 202319  
 SCALE: 2

Application Date: 10/26/23  
Fees Paid: \$225.00

SP# 3682

INCORPORATED VILLAGE OF FREEPORT  
SITE PLAN REVIEW APPLICATION  
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 115 WESTEND AVE ZONING DISTRICT RESIDENCE A  
SECTION 54 BLOCK 316 LOT 3 LOT SIZE: \_\_\_\_\_

<input type="checkbox"/> TENANT <u>APPLICANT</u> <input type="checkbox"/> LESSEE	<u>PROPERTY OWNER</u>
Name: <u>SAME AS OWNER</u>	Name: <u>MICHELE ELLIOTT</u>
Address: _____	Address: <u>115 WESTEND AVE</u> <u>FREEPORT, NY 11520</u>
Telephone #: _____	Telephone #: <u>516-782-3156 or 516-972-0748</u>

Attorney Name: \_\_\_\_\_ Address: \_\_\_\_\_  
(optional) Phone #: \_\_\_\_\_

Present Land Use: RESIDENTIAL Proposed Land Use: RESIDENTIAL

Description of Proposed Work: PROPOSED 2<sup>ND</sup> FLOOR ADDITION (584.65 SQ. FT.) AND  
REAR

I request a preliminary meeting: \_\_\_\_\_ YES  NO

I request a waiver of the public hearing and hereby certify the following:  
A. The subject property is zoned Residence A or Residence AA.  
B. The proposed construction is not a new building or dwelling.  
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.  
 YES \_\_\_\_\_ NO

Michele Elliott \_\_\_\_\_ 10/18/2023  
APPLICANT'S SIGNATURE PEGGY M. LESTER DATE

Sworn to before me this 18<sup>TH</sup>  
day of OCTOBER, 2023  
Peggy M. Lester  
Notary Public

Notary Public, State of New York  
No. 01LE6293122  
Qualified in Nassau County  
Commission Expires Nov. 25, 2025

Property Owner's Consent:  
I, Michele Elliott am (are) the owner(s) of the subject property and consent to the filing of this application.

Michele Elliott \_\_\_\_\_ 10/18/2023  
PROPERTY OWNER'S SIGNATURE PEGGY M. LESTER DATE

Sworn to before me this 18<sup>TH</sup>  
day of OCTOBER, 2023  
Peggy M. Lester  
Notary Public

Notary Public, State of New York  
No. 01LE6293122  
Qualified in Nassau County  
Commission Expires Nov. 25, 2025

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: _____ YES _____ NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	Approved _____ Denied _____ Date: _____
Planning Board Signature: _____	Date: _____



**INC. VILLAGE OF FREEPORT**

**Department of Buildings**

46 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK 11520  
(516) 377-2242  
FAX (516) 377-2493

ROBERT T. KENNEDY  
MAYOR

E-MAIL [BUILDINGDEPT@FREEPORTNY.GOV](mailto:BUILDINGDEPT@FREEPORTNY.GOV)

SERGIO A. MAURAS  
SUPERINTENDENT OF BUILDINGS

**SITE PLAN LETTER**  
**October 18, 2023**

**Michele Elliot**

**RE: 115 Westend Ave , Freeport, NY**

**Zoning District: Res A Sec 54 Blk 316 Lot 3**

**Building Permit Application #20233312**

**Description: Proposed 2<sup>nd</sup> floor addition (584.65 sq.ft)**

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the VILLAGE CLERK'S OFFICE at 377-2300.

Very truly yours,

Sergio A. Mauras  
Superintendent of Buildings  
/Dh

c: Village Clerk

ZBA Approval Needed: Yes \_\_\_ No x

VILLAGE OF FREEPORT  
Department of Buildings  
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.  
(See reasons below)

Project :

Building Permit App. 20233312

Location: 115 Westend Ave

Applicant: Michele Elliot

Description : Proposed 2<sup>nd</sup> floor addition (58.65 sq.ft)

Lead Agency: Department of Buildings  
for the Board of Trustees  
Village of Freeport  
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:  
Superintendent of Buildings  
(516) 377-2242

**REASON(S) FOR DETERMINATION**

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) \_\_\_\_\_

B) Possible environment effects identified:  
(only if positive determination)

Dated: October 18, 2023

*Sergio A. Mauras*

Sergio A. Mauras  
Superintendent of Buildings

**IMPORTANT:** This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

617.20  
Appendix B  
Short Environmental Assessment Form

**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>			
MICHELLE ELLIOTT			
Name of Action or Project: 115 Westwind Avenue Freeport			
Project Location (describe, and attach a location map):			
Brief Description of Proposed Action: Proposed 2nd floor addition & new porch (26.32) (584.65 sqft) INTERIOR Remodeling And Vertical extension			
Name of Applicant or Sponsor: MICHELE ELLIOTT		Telephone: 516 782 3156	E-Mail:
Address: 115 Westwind Ave			
City/PO: Freeport		State: NY	Zip Code: 11520
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO YES X
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO YES X
3a. Total acreage of the site of the proposed action?		_____ acres	
b. Total acreage to be physically disturbed?		_____ acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations?		<input checked="" type="checkbox"/>	
b. Consistent with the adopted comprehensive plan?		<input checked="" type="checkbox"/>	
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?			<input checked="" type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____			<input checked="" type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	<input checked="" type="checkbox"/>		
b. Are public transportation service(s) available at or near the site of the proposed action?	<input checked="" type="checkbox"/>		
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?			<input checked="" type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	<input checked="" type="checkbox"/>		
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing potable water: _____			
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____			
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?			
b. Is the proposed action located in an archeological sensitive area?			
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?			
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____			
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	<input checked="" type="checkbox"/>		
16. Is the project site located in the 100 year flood plain?	<input checked="" type="checkbox"/>		
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	<input checked="" type="checkbox"/>		

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	<del>NO</del>	YES
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	<del>NO</del>	YES
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	<del>NO</del>	YES
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor name: <u>RAMANAND CHANDRABALI</u>	Date: <u>05/25/23</u>	
Signature: <u>[Signature]</u>		

**Part 2 - Impact Assessment.** The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	NO	
2. Will the proposed action result in a change in the use or intensity of use of land?	NO	
3. Will the proposed action impair the character or quality of the existing community?	NO	
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	NO	
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	NO	
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	NO	
7. Will the proposed action impact existing:		
a. public / private water supplies?	NO	
b. public / private wastewater treatment utilities?	NO	
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	NO	
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	NO	

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	NO	
11. Will the proposed action create a hazard to environmental resources or human health?		

**Part 3 - Determination of significance.** The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

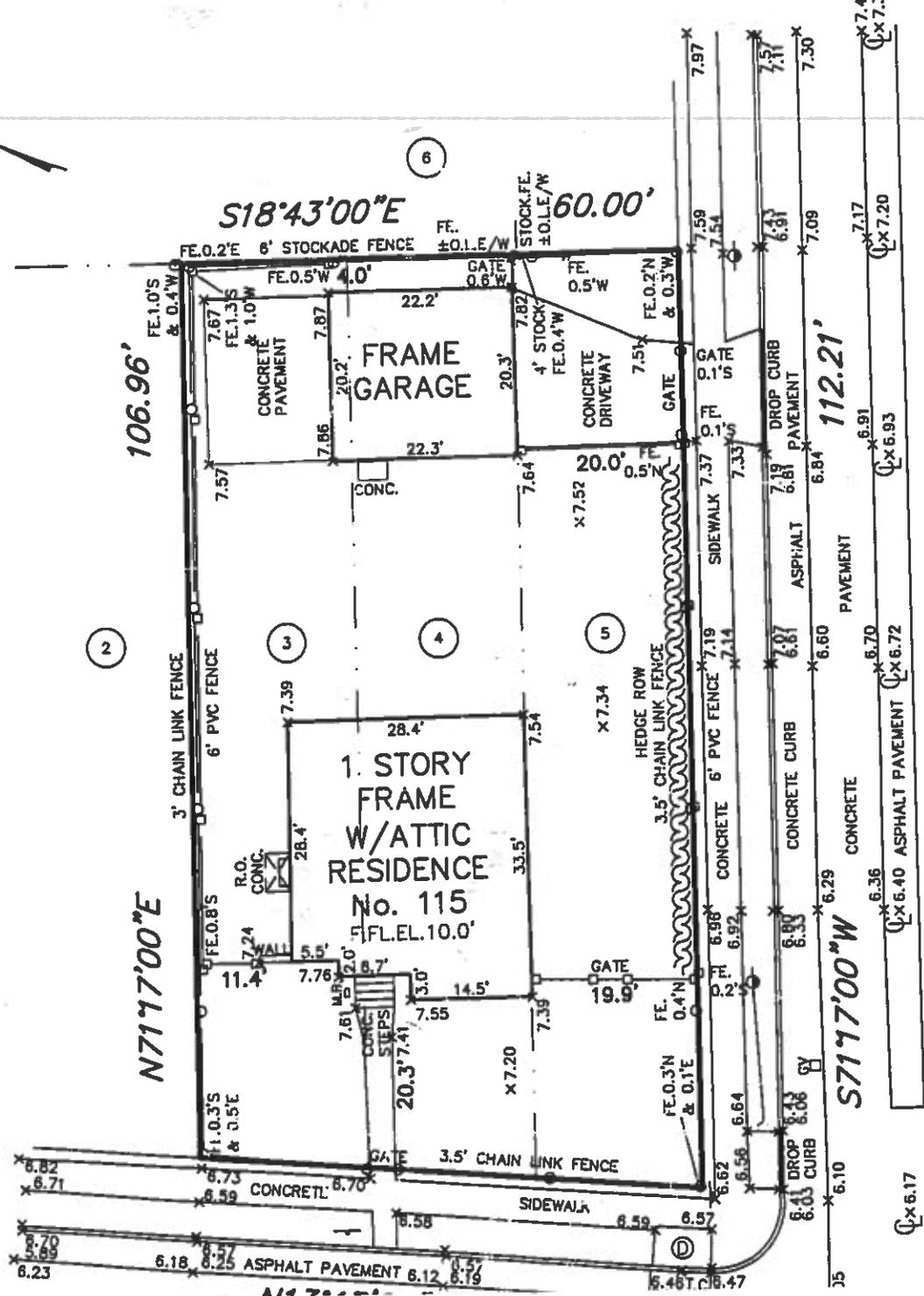
# Exterior details for 115 Westend Avenue

---

The following are the details of the exterior on the above property:

- Siding will match the existing, also blue in color.
- The front door will be black/brown in color and left swing, fiber glass.
- The roof will be dark grey same as existing.
- The windows will match the existing, also black in color. In the front will be 3 in jamb sliding windows 48"W x 48"H, and 1 of the same size on the right side of the house (Elinor place). On the left side of the house (towards the neighbor) will be 2 in jamb double hung windows 32W x 54H".
- The trim will be same as existing, black or white color.





$S18^{\circ}43'00''E$  60.00'

106.96'

(2)

$N71^{\circ}17'00''E$

(3)

(4)

(5)

(6)

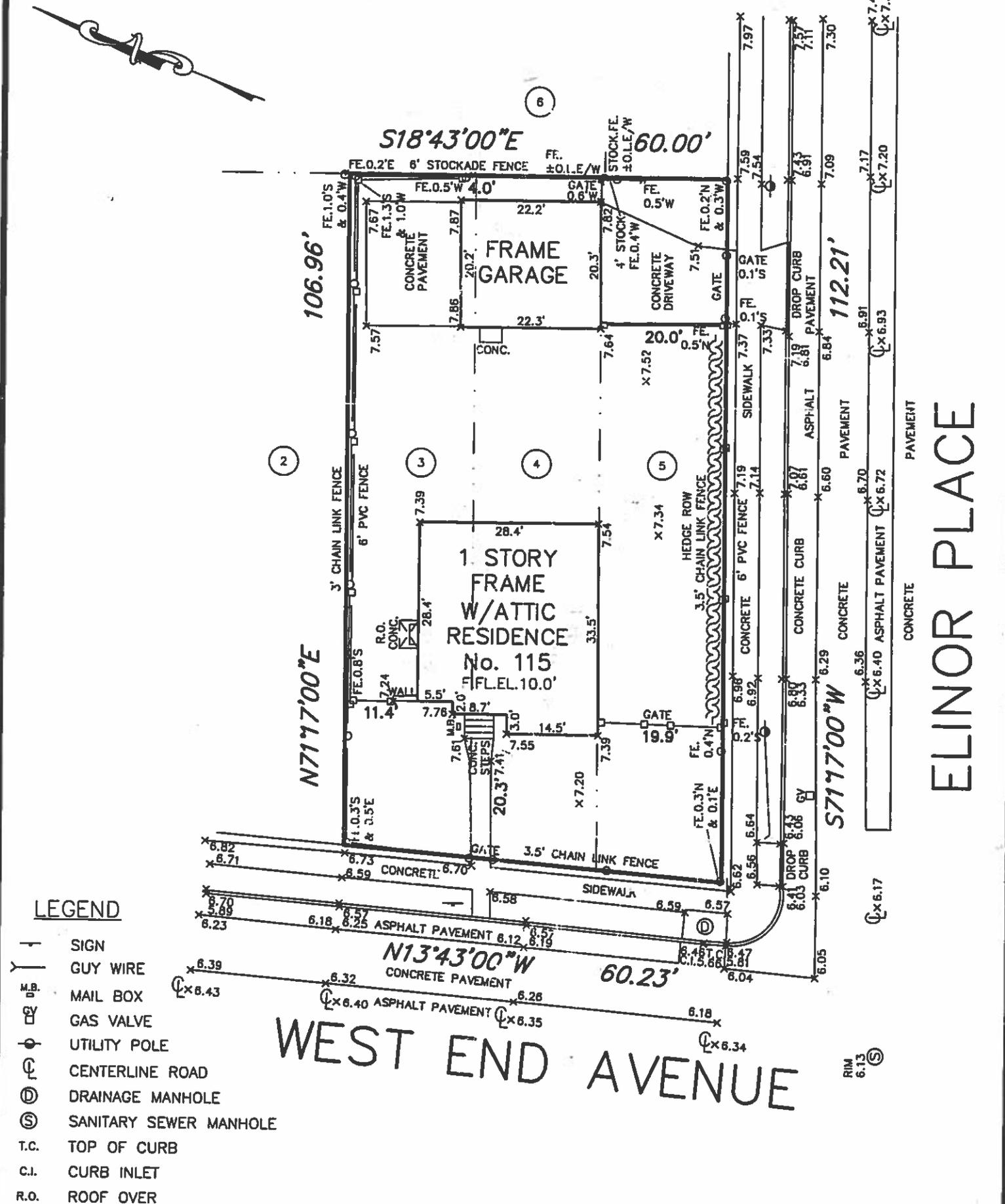
FRAME GARAGE

1 STORY FRAME W/ATTIC RESIDENCE No. 115

ELINOR PLACE

DIST: NA

SEC: 07



UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY MAP IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW. COPIES OF THIS MAP NOT BEARING THE LAND SURVEYOR'S INKED SEAL OR EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY. CERTIFICATIONS INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

PREPARED FOR: MICHELE ELLIOTT  
 MAP OF: JAMES CUNNINGHAM CO., INC.  
 LOTS 3 4 & 5

ELINOR PLACE

*Handwritten signature*





















TABLE No.01.011

FASTENING SCHEDULE

ITEM	DESCRIPTION OF FASTENING ELEMENTS	QUANTITY	UNIT
1	1/2" dia. x 3" long galvanized steel bolts	100	each
2	1/2" dia. x 3" long galvanized steel nuts	100	each
3	1/2" dia. x 3" long galvanized steel washers	100	each
4	1/2" dia. x 3" long galvanized steel anchors	100	each
5	1/2" dia. x 3" long galvanized steel bolts	100	each
6	1/2" dia. x 3" long galvanized steel nuts	100	each
7	1/2" dia. x 3" long galvanized steel washers	100	each
8	1/2" dia. x 3" long galvanized steel anchors	100	each
9	1/2" dia. x 3" long galvanized steel bolts	100	each
10	1/2" dia. x 3" long galvanized steel nuts	100	each
11	1/2" dia. x 3" long galvanized steel washers	100	each
12	1/2" dia. x 3" long galvanized steel anchors	100	each

ITEM	DESCRIPTION OF FASTENING ELEMENTS	QUANTITY	UNIT
13	1/2" dia. x 3" long galvanized steel bolts	100	each
14	1/2" dia. x 3" long galvanized steel nuts	100	each
15	1/2" dia. x 3" long galvanized steel washers	100	each
16	1/2" dia. x 3" long galvanized steel anchors	100	each
17	1/2" dia. x 3" long galvanized steel bolts	100	each
18	1/2" dia. x 3" long galvanized steel nuts	100	each
19	1/2" dia. x 3" long galvanized steel washers	100	each
20	1/2" dia. x 3" long galvanized steel anchors	100	each
21	1/2" dia. x 3" long galvanized steel bolts	100	each
22	1/2" dia. x 3" long galvanized steel nuts	100	each
23	1/2" dia. x 3" long galvanized steel washers	100	each
24	1/2" dia. x 3" long galvanized steel anchors	100	each

ITEM	DESCRIPTION OF FASTENING ELEMENTS	QUANTITY	UNIT
25	1/2" dia. x 3" long galvanized steel bolts	100	each
26	1/2" dia. x 3" long galvanized steel nuts	100	each
27	1/2" dia. x 3" long galvanized steel washers	100	each
28	1/2" dia. x 3" long galvanized steel anchors	100	each
29	1/2" dia. x 3" long galvanized steel bolts	100	each
30	1/2" dia. x 3" long galvanized steel nuts	100	each
31	1/2" dia. x 3" long galvanized steel washers	100	each
32	1/2" dia. x 3" long galvanized steel anchors	100	each

**PROJECT ISSUE** 3/6/23

**REVISIONS**

No.	Description	Date
1	Issue for construction	3/6/23

**PROJECT**  
**ROMAN RESIDENCE**

**115 WEST END AVE**  
**FREEPORT, NY**

**NAILING SCHEDULE**

**STAMP AREA**

DATE: 3/6/23  
 PROJECT NUMBER: 221401  
 DRAWING BY: PEK  
 CHK BY: PEK  
 DWG No.:  
 A-510  
 CAD FILE No.: 221401

**Pkad Design**  
 Phone: 631-643-1081  
 Email: PkadDesign@Pkad.net  
 101 Conny Street  
 Bay Shore, NY 11708

**NOT A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF ANY OTHER PERSON, TO SEAL THESE DRAWINGS IF ANY ITEM HAS BEEN ALTERED. THE SEAL OF AN ARCHITECT/ENGINEER SHALL REMAIN THE PROPERTY OF THE ARCHITECT/ENGINEER AND SHALL BE RETURNED TO HIM/HER UPON THE COMPLETION OF THE PROJECT. THE SEAL OF AN ARCHITECT/ENGINEER SHALL BE RETURNED TO HIM/HER UPON THE COMPLETION OF THE PROJECT. THE SEAL OF AN ARCHITECT/ENGINEER SHALL BE RETURNED TO HIM/HER UPON THE COMPLETION OF THE PROJECT.**

GENERAL NOTES

ALL WORK TO BE DONE IN ACCORDANCE WITH ALL APPLICABLE LOCAL AND STATE CODES

ALTHOUGH THESE PLANS ARE DRAWN TO SCALE, NO DIMENSIONS IS TO BE SCALED. CONTRACTOR SHALL NOTIFY ENGINEER PRIOR TO COMMENCEMENT OF WORK.

NO WORK SHALL BE DONE UNLESS THE CONTRACTOR SHALL BE CONSIDERED AS BEING RESPONSIBLE FOR THE DESIGN OF ALL WORK IN ACCORDANCE WITH ALL APPLICABLE LOCAL AND STATE CODES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF ALL WORK IN ACCORDANCE WITH ALL APPLICABLE LOCAL AND STATE CODES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF ALL WORK IN ACCORDANCE WITH ALL APPLICABLE LOCAL AND STATE CODES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF ALL WORK IN ACCORDANCE WITH ALL APPLICABLE LOCAL AND STATE CODES.

THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER BEFORE PROCEEDING.

THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION AND FOR SEQUENCING AND PROCEDURES TO BE USED.

ALL WORKMANSHIP AND MATERIALS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER COMPLETION BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THIS GUARANTEE.

ALL MATERIALS SHALL BE NEW, UNLESS OTHERWISE SHOWN. ALL WORKMANSHIP SHALL BE FIRST CLASS AND MUST TO THE OWNER & AT THE EXPENSE OF THE CONTRACTOR.

ALL WORK IS TO BE LEVEL, PLUMB, AND TRUE.

ALL BARBERS AND OTHER PRECAUTIONARY MEASURES SHALL BE ERECTED IN ACCORDANCE WITH THE AUTHORITIES HAVING JURISDICTION OR AS REQUIRED FOR SAFETY DURING THE ENTIRE CONSTRUCTION OPERATION.

THE CONTRACTOR SHALL USE ADEQUATE NUMBERS OF SKILLED WORKMAN WHO ARE THOROUGHLY TRAINED AND EXPERIENCED IN THE NECESSARY CRAFTS AND COMPLETELY FAMILIAR WITH THE REQUIREMENTS AND METHODS OF THE CONTRACTOR SHALL BOTH COORDINATE HIS ACTIVITIES WITH THE OWNER AND ENGINEER DURING CONSTRUCTION AND AROUND CARPENTRY.

MATERIAL FOR STRUCTURAL MEMBERS IS TO BE IDENTIFIED IN ACCORDANCE WITH 9502.1. MATERIALS FOR LOAD BEARING STUDS, PLATES AND MEMBERS ARE TO BE IDENTIFIED IN ACCORDANCE WITH 9502.1.

STRUCTURAL MEMBERS ARE NOT TO BE CUT, BORED OR NOTCHED IN EXCESS OF THE LIMITATIONS SPECIFIED IN FIGURE 9502.1. ALL CUTS AND NOTCHES SHALL BE MADE IN ACCORDANCE WITH 9502.1 AND AS PER ENGINEERED LOADS. PRODUCTS MANUFACTURER RECOMMENDATIONS. STUD DRILLING AND NOTCHING ARE ALSO TO COMPLY WITH 9502.1.

ALL LUMBER EXCEPT LAMINATED BEAMS SHALL BE K D DOUGLASS FIR, OR HEIF FIR WITH THE FOLLOWING MINIMUM VALUES: P-975 PSI, F<sub>v</sub> 73 PSI, AND E-1,800,000 PSI. WOOD PRESERVATIVE METAL JOIST HANGERS SHALL BE USED UNLESS OTHERWISE SHOWN. USE 2"x4"x12 OVER ALL BEARING OPENINGS 9' 0" OR MORE.

LAMINATED VENEER LUMBER SECTIONS SHALL HAVE THE FOLLOWING MINIMUM VALUES: F<sub>b</sub>-2800 PSI, F<sub>v</sub>-485 PSI, AND E-2,800,000 PSI. FOLLOW MANUFACTURERS RECOMMENDATIONS FOR BEARING, BRACING, AND FASTENING REQUIREMENTS.

ALL WOOD IN CONTACT WITH MASONRY SHALL BE A C D TREATED.

ALL METAL CONNECTIONS TO BE USED W/ASCO SHALL BE APPROVED FOR SUCH USE AS PER IN A MANNER TO ALLOW CONNECTION.

FRAMING TO BE ERECTED PLUMB, TRUE, AND LEVEL AND TO BE FASTENED SECURELY.

ERECT STUDS IN TRUE ALIGNMENT TO TAKE FINISH MATERIALS.

FRAME OUT FOR HEATING, PLUMBING, AND ELECTRICAL AS REQUIRED.

DOUBLE UP JOISTS AROUND ALL OPENINGS AND PARTITIONS AND UNDER PARALLEL JOISTS.

ALL NAILS, STRAPS, BOLTS, ROOF JOIST HANGERS, AND OTHER FRAMING HARDWARE TO BE HOT DIPPER GALVANIZED UNLESS OTHERWISE SHOWN. LOOSE NAILS FOR OPENINGS UP TO 4 FEET SHALL BE ONE 4X3 1/2X 5/8X 3/8 STEEL ANGLE FOR EACH 4" OF MASONRY BEARING FOR EACH STEEL UNLIT SHALL BE 6" MIN ON EACH SIDE.

ALL NAILING PATTERNS AND ATTACHMENT METHODS SHALL BE AS PER DETAILS INCLUDED IN THESE DOCUMENTS AND 2017 NYSJC WITH THE 2017 NYSJC SUPPLEMENT.

ALL REQUIREMENTS FOR ROOF COVERING SHALL BE IN COMPLIANCE WITH SECTION R905 OF THE 2017 NYSJC WITH THE 2017 NYSJC SUPPLEMENT.

BUILDER NOTES:

ALL ITEMS AS PROVIDED BY CONTRACTOR SHALL BE IN CONFORMANCE WITH ALL APPLICABLE LOCAL AND STATE CODES.

CONCRETE WALL BOARDING.

CONCRETE WALL BOARDING APPLICATION SHALL BE MADE FIRST WITH GYPSUM BOARD TO BE 1/2" ON WALLS 8' AND OVER AND UNLESS OTHERWISE INDICATED. FINISH BOARDING SHALL BE 5/8" ON WALLS 8' AND OVER. WALLS AND CEILING SHALL BE TYPED AND RECEIVE THREE COATS OF JOINT COMPOUND. ALLOW 24 HOURS TO DRY BETWEEN COATS. FINAL COAT TO BE SANDED SMOOTH. METAL CORNER BEAMS TO BE USED ON ALL CORNERS AND AROUND ALL OPENINGS.

ALL WALLS AND CEILING OF GARAGES AND MECHANICAL ROOMS TO BE SHEETED WITH 5/8" TYPE X FIRE CODE SHEETROCK.

SHOWER AND TUB ENCLOSURES TO BE LINED WITH 1/2" WONDER BOARD. ALL OTHER BATHROOMS AND LAUNDRY ROOMS TO HAVE 1/2" WATER RESISTANT SHEETROCK.

WINDOWS AND DOORS

WINDOWS AND DOORS ARE TO BE TESTED BY AN APPROVED INDEPENDENT LABORATORY AND ARE TO BEAR A LABEL INDICATING THE ACTUAL TEST RESULTS. ALL WINDOWS AND DOORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. ALL WINDOWS AND DOORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. ALL WINDOWS AND DOORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

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R312.2 GUARD OPENING





Application Date: 11/7/23  
Fees Paid: 225.00

SP# 3683

INCORPORATED VILLAGE OF FREEPORT  
SITE PLAN REVIEW APPLICATION  
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 216 GARFIELD STREET ZONING DISTRICT RES-A  
SECTION 62 BLOCK 091 LOT 225 LOT SIZE: 50 X 100

<input type="checkbox"/> TENANT	<input checked="" type="checkbox"/> APPLICANT	<input type="checkbox"/> LESSEE	<b>PROPERTY OWNER</b>	
Name: <u>PATRICIA BATUS</u>			Name: <u>PATRICIA BATUS</u>	
Address: <u>216 GARFIELD STREET</u> <u>FREEPORT, NEW YORK 11520</u>			Address: <u>216 GARFIELD STREET</u> <u>FREEPORT, NEW YORK 11520</u>	
Telephone #: <u>516 523 3440</u>			Telephone #:	

Attorney Name: \_\_\_\_\_ Address: \_\_\_\_\_  
(optional) Phone #: \_\_\_\_\_

Present Land Use: RESIDENTIAL Proposed Land Use: RESIDENTIAL

Description of Proposed Work: MAINTAIN ROOF OVER <sup>rear</sup> DECK,  
OUTDOOR SHOWER AND HOT TUB

I request a preliminary meeting: \_\_\_\_\_ YES  NO

I request a waiver of the public hearing and hereby certify the following:

- A. The subject property is zoned Residence A or Residence AA.
- B. The proposed construction is not a new building or dwelling.
- C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.

YES \_\_\_\_\_ NO

Patricia Batus  
APPLICANT'S SIGNATURE  
Sworn to before me this 6<sup>TH</sup>  
day of NOVEMBER, 2023.  
Peggy M. Lester  
Notary Public

PEGGY M. LESTER  
Notary Public, State of New York  
No. 01LE6293122  
Qualified in Nassau County  
Commission Expires Nov. 25, 2025

DATE 11-6-2023

RECEIVED  
2023 NOV 7 A 10:37  
CLERK'S OFFICE  
VILLAGE OF FREEPORT  
NY

**Property Owner's Consent:**

I, \_\_\_\_\_ am (are) the owner(s) of the subject property and consent to the filing of this application.

Patricia Batus  
PROPERTY OWNER'S SIGNATURE  
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FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: _____ YES _____ NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	Approved _____ Denied _____ Date: _____
Planning Board Signature: _____	Date: _____

**INC. VILLAGE OF FREEPORT**

**Department of Buildings**

46 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK 11520  
(516) 377-2242  
FAX (516) 377-2493

E-MAIL [BUILDINGDEPT@FREEPORTNY.GOV](mailto:BUILDINGDEPT@FREEPORTNY.GOV)

ROBERT T. KENNEDY  
MAYOR

SERGIO A. MAURAS  
SUPERINTENDENT OF BUILDINGS

**SITE PLAN LETTER**  
**October 31, 2023**

Patricia Batus  
216 Garfield St  
Freeport, NY 11520

**RE: 216 Garfield St Freeport, NY 11520**  
**Zoning District: Residence A Sec 62, Blk 091, Lot 225**  
**Building Permit Application #20233448**  
**Description: Maintain roof over deck (126.148 SF) , outdoor shower and hot tub.**

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the **Village Clerk's Office at 516-377-3632** to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the **VILLAGE CLERK'S OFFICE** at 377-2300.

Very truly yours,



Sergio A. Mauras  
Superintendent of Buildings  
/Daniela Hernandez

c: Village Clerk

ZBA Approval Needed: Yes\_\_ No\_X

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VILLAGE OF FREEPORT  
Department of Buildings  
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

     The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.  
(See reasons below)

Project : Building Permit App. 20233448

Location: 216 Garfield St., Freeport NY 11520

Applicant: Patricia Batus

Description : Maintain roof over deck (126,148 SF), outdoor shower and hot tub.

Lead Agency: Department of Buildings  
for the Board of Trustees  
Village of Freeport  
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:  
Superintendent of Buildings  
(516) 377-2242

**REASON(S) FOR DETERMINATION**

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) \_\_\_\_\_

B) Possible environment effects identified:  
(only if positive determination)

\_\_\_\_\_

Dated: October 31, 2023

Sergio A. Mauras  
Sergio A. Mauras  
Superintendent of Buildings

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**IMPORTANT:** This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

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FREEPORT BUILDING DEPT.

Instructions for Completing

617.20

Appendix B

Short Environmental Assessment Form

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>							
Name of Action or Project: <b>Batus Reidence</b>							
Project Location (describe, and attach a location map): <b>216 Garfield St. Freeport, NY 11520</b>							
Brief Description of Proposed Action: <b>Maintain Roof over porch, Outdoor Shower and Hot Tub</b>							
Name of Applicant or Sponsor: <b>Patricia Batus</b>		Telephone: 516-523-3440					
		E-Mail: patricbt@aol.com					
Address: <b>216 Garfield St.</b>							
City/PO: <b>Freeport</b>		State: <b>NY</b>	Zip Code: <b>11520</b>				
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1"> <tr><th>NO</th><th>YES</th></tr> <tr><td><input checked="" type="checkbox"/></td><td><input type="checkbox"/></td></tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			<table border="1"> <tr><th>NO</th><th>YES</th></tr> <tr><td><input checked="" type="checkbox"/></td><td><input type="checkbox"/></td></tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
3.a. Total acreage of the site of the proposed action? _____ acres							
b. Total acreage to be physically disturbed? _____ acres							
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres							
4. Check all land uses that occur on, adjoining and near the proposed action.							
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)							
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____							
<input type="checkbox"/> Parkland							

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5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
b. Consistent with the adopted comprehensive plan?		<input checked="" type="checkbox"/>	
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
b. Are public transportation service(s) available at or near the site of the proposed action?	<input checked="" type="checkbox"/>		
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input checked="" type="checkbox"/>		
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ N/A	NO	YES	
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing potable water: _____	NO	YES	
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing wastewater treatment: N/A	NO	YES	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	
b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>		
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>		
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
16. Is the project site located in the 100 year flood plain?	NO	YES	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ <input type="checkbox"/> NO <input type="checkbox"/> YES	NO	YES	

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18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor name: <u>Patricia Batus</u> Date: _____		
Signature: _____		

**Part 2 - Impact Assessment.** The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

<b>RECEIVED</b> SEP 06 2023		<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
<input type="checkbox"/> <b>Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?</b>		<input type="checkbox"/>	<input type="checkbox"/>
<b>11. Will the proposed action create a hazard to environmental resources or human health?</b>		<input type="checkbox"/>	<input type="checkbox"/>

**Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.**

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 VILLAGE OF FAIRFORD

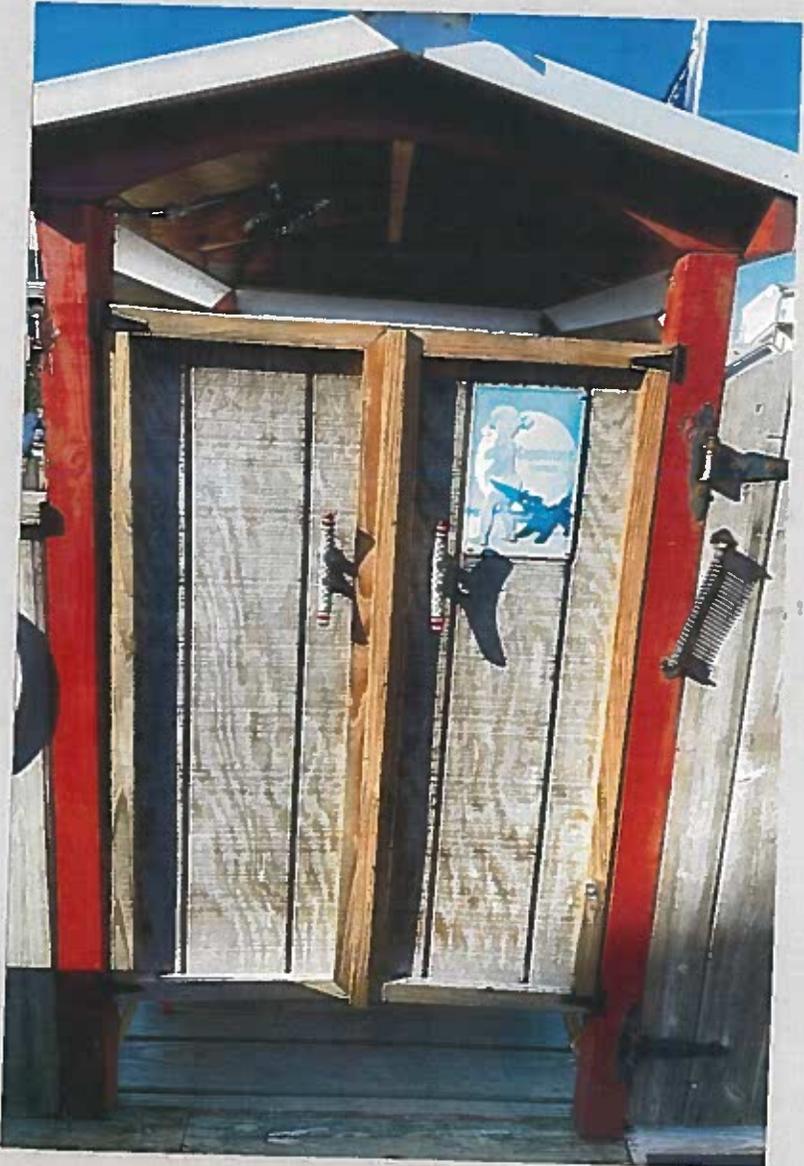
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____ Name of Lead Agency	_____ Date
_____ Print or Type Name of Responsible Officer in Lead Agency	_____ Title of Responsible Officer
_____ Signature of Responsible Officer in Lead Agency	_____ Signature of Preparer (if different from Responsible Officer)

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HOT TUB

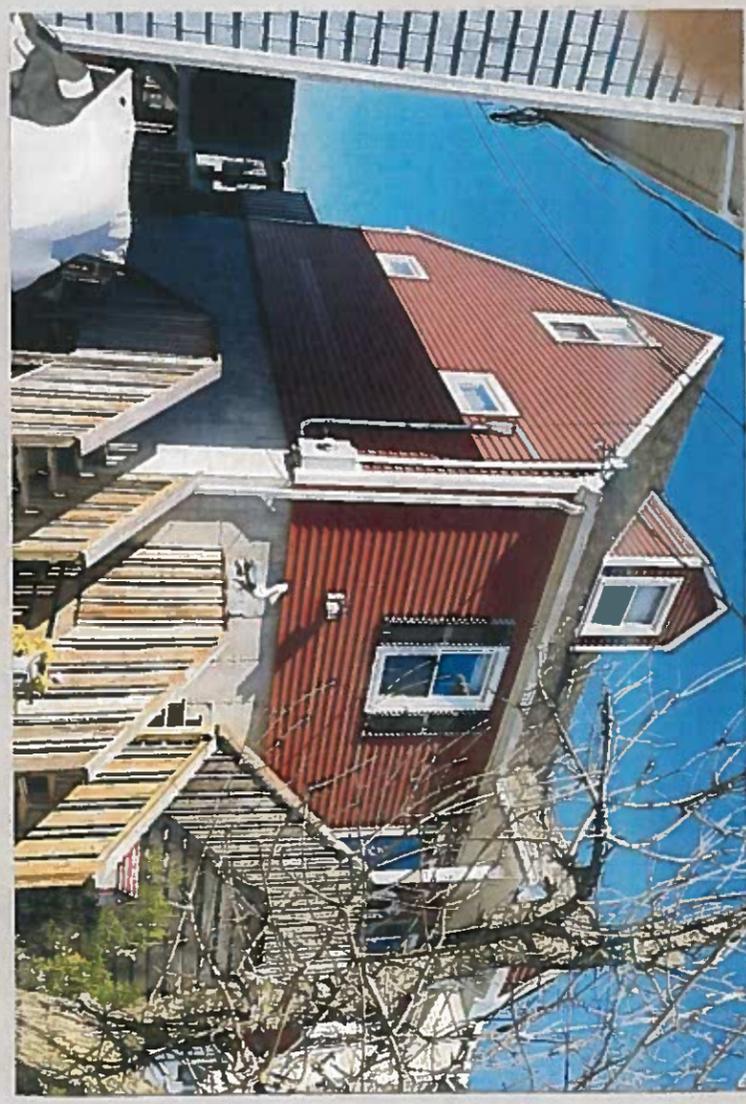


WEST (REAR)



WEST (REAR)

216 GARFIELD ST.  
FREEPORT NY



SOUTH SIDE

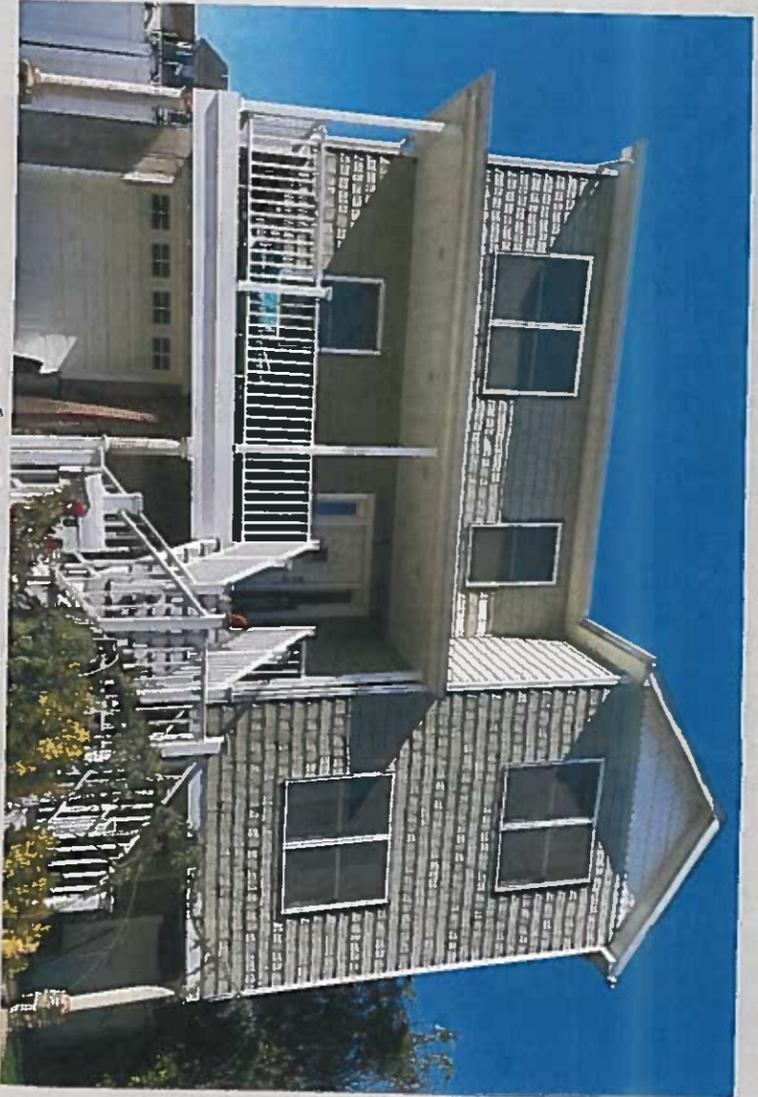


NORTH SIDE

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219 GARFIELD STREET  
FREEPORT, NY



188 GARFIELD STREET  
FREEPORT, NY



215 GARFIELD STREET  
FREEPORT, NY



220 GARFIELD STREET  
FREEPORT, NY



216 GARFIELD STREET  
FREEPORT, NY  
SUSPECT PROPERTY  
(EAST VIEW)

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OF FREEPORT, NY

Village of Freeport - New v4.1 Svr  
CUSTOMER TRANSACTION RECEIPT

TODAY'S DATE: 11/07/23

CONTROL BATCH #	76723	DATE	11/07/2023
BATCH #	27307	TIME	09:45
RECEIPT #	447888	TELLER #	273
CHECK #		OFFICE #	1

PATRICIA BATUS  
SITE PLAN REVIEW BOARD  
Pat

225.00

Payment Received:  
CHECKS

225.00

Total Received  
Less Payments

225.00  
225.00

Cash Back

.00

THANK YOU FOR YOUR PAYMENT



**SITE WORK**  
 STAKEOUT IS TO BE PERFORMED BY A LICENSED SURVEYOR. STAKING AND LAYOUT ARE TO ESTABLISH ALL LINES AND BENCHMARKS. VERIFY ALL GIVEN DATA ON DRAWINGS. IN CASE OF DISCREPANCY, RECEIVE CLARIFICATION FROM ARCHITECT PRIOR TO PROCEEDING. EXCAVATE AND BACK FILL FOR WORK INDICATED ON DRAWINGS. STOCKPILE TOPSOIL OBTAINED FROM STRIPPING DRIVEWAY AND BUILDING SITE. STOCKPILE ALL EXCAVATED MATERIAL. NEW AND EXISTING BACK FILL MATERIAL AND TOPSOIL ARE TO BE FREE OF WEEDS, TREE ROOTS, ROCKS AND DEBRIS. ALL SURPLUS MATERIAL IS UNUSABLE FOR BACK FILL MATERIAL SHALL BE REMOVED FROM THE SITE. PROTECT ALL TREES WITHIN EIGHT FEET OF THE BUILDING. PROPER APPROVALS MUST BE OBTAINED BEFORE COVERING ANY EXCAVATED WORK.

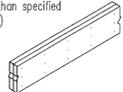
**CONCRETE**  
 NO CONCRETE OR MASONRY WORK SHALL BE DONE DURING TEMPERATURES OF 40 DEGREES F. AND FALLING. NO CONCRETE SHALL BE PLACED ON FROZEN SURFACES. NO ADDITIVES SHALL BE ALLOWED WITHOUT WRITTEN PERMISSION OF THE ARCHITECT. ALL CONCRETE IS TO BE MIN. 3,000 P.S.I. AT 28 DAYS & 3,500 P.S.I. FOR GARAGE SLAB. FOURS STEPS AND CONCRETE SLABS ON GRADE. PROVIDE ALL SLEEVES AND FOUNDATION VENTS AS REQUIRED BY NYS CODE. UNLESS INDICATED, ALL FOUNDATION FOOTINGS ARE TO BE A MIN. 6" DEEP PROJECTING 6" ON EACH SIDE OF THE FOUNDATION WALL. PROVIDE TWO #4 DEFORMED BARS CONTINUOUS IN THE FOOTING. ALL 4" THICK CONCRETE SLABS TO HAVE 6x6 10/10 WELDED WIRE REINFORCING. ANCHOR BOLTS IN CONCRETE SHALL BE HOOKED 5/8" X 12" AT MAX. 58" O.C. AND MAX. 12" FROM CORNERS. PROVIDE BITUMEN EXPANSION JOINTS BETWEEN SLABS AND FOUNDATION WALLS.

**FRAMING AND ROUGH CARPENTRY**  
 JOISTS RAFTERS AND STUDS SHALL BE CONSTRUCTION GRADE DOUGLAS FIR 1100 P.S.I. ALL WOOD SILLS AND WOOD IN CONTACT WITH MASONRY SHALL BE ACQ TREATED. ALL METAL FASTENERS IN CONTACT WITH ACQ TREATED LUMBER TO BE DOUBLE HOT DIPPED GALVANIZED, STAINLESS STEEL OR AS SPECIFIED BY MANUFACTURER. TERMITE SHIELDS AT SILL TO BE COPPER OR OTHER APPROVED NON CORROSIVE MATERIAL. ALL EXTERIOR SHEATHING SHALL BE 1/2" CDX DOUGLAS FIR PLYWOOD. SUB-FLOORS TO BE 3/4" CDX PLYWOOD. EXTERIOR SHEATHING TO BE COVERED WITH TYVEK HOUSE WRAP OR APPROVED EQUAL. BLOCK STUD WALLS AT 1/2 STORY HEIGHTS AND AT ALL UNSUPPORTED EDGES OF PLYWOOD. PROVIDE SOLID BLOCKING AND DIAGONAL BRACING OF FLOOR JOISTS AT 8' O.C. MAXIMUM AND SOLID BLOCKING UNDER ALL UNSUPPORTED EDGES OF PLYWOOD. ALL CAP PLATES TO BE DOUBLED AND NAILED BOTTOM CAP PLATED TO END OF STUDS. LAP CAP PLATES AT CORNERS. TOE NAIL JOISTS TO CAP OR BEAM WITH W/HERE FLASH FRAMING OCCURS. USE MIN. 16GA SHEET METAL JOISTS HANGERS BY "SIMPSON" OR APPROVED EQUAL. ALL CORNERS TO BE MINIMUM 3/2x4 STUDS. HEADERS SHALL BE MINIMUM 2/2x6 UNLESS NOTED ON PLANS. MINIMUM BEARING FOR STUDS, JOISTS AND BEAMS SHALL BE 3". USE DOUBLE JACK STUDS FOR HEADERS OVER FIVE FEET IN LENGTH.

**ASPHALT ROOF SHINGLES**  
 ALL SLOPED ROOF SHINGLES SHALL BE GAF-CLASS-A ASPHALT ROOF SHINGLES OR APPROVED EQUAL. SHINGLES SHALL BE APPLIED OVER 15# ASPHALT FELT WITH GAF-WEATHER-WATCH ICE AND WATER BARRIER APPLIED AT EAVES, VALLEYS AND FLASHING. ROOFING CONTRACTOR TO PROVIDE ALL FLASHING NECESSARY FOR A WATER-TIGHT WEATHER-PROOF JOB. ROOFING IS TO BE APPLIED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. CONTRACTOR SHALL SUPPLY COLOR SAMPLES OF THE SHINGLES FOR OWNER'S APPROVAL, PRIOR TO INSTALLATION.

**CONNECTION OF MULTIPLE PIECES OF TOP-LOADED BEAMS**

- 1 3/4" Width Pieces:**
- Minimum of 2 rows 16d (3/8") nails at 12" o.c.
  - Minimum of 3 rows 16d (3/8") nails at 12" o.c. for 14" and deeper beams
  - Nailed connections require an additional row of nails when nail size is smaller than specified above (minimum 0.131" x 3.25")
- 3 1/2" Width Pieces:**
- Minimum of 2 rows 1/2" bolts at 24" o.c. staggered



Additional nailing or bolting may be required with side-loaded multiple member beams. Refer to current product literature.

**BEAM DETAIL**

TABLE R401.4.1: PRESUMPTIVE LOAD-BEARING<sup>a</sup> VALUES OF FOUNDATION MATERIALS

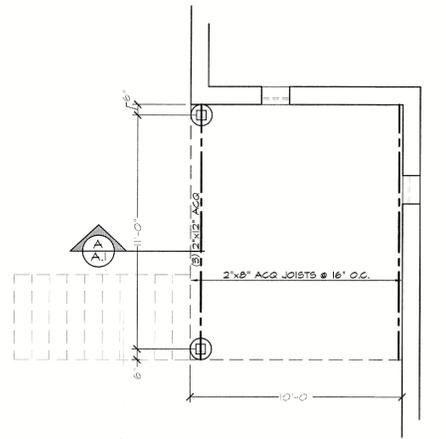
CLASS OF MATERIAL	LOAD BEARING PRESSURE (PSF)
CRYSTALLINE BEDROCK	2,000
BEDIMENTARY AND FOLIATED ROCK	4,000
SANDY GRAVEL AND/OR GRAVEL (GW & GP)	3,000
SAND, SILTY SAND, CLAYEY SAND, SILTY GRAVEL AND CLAYEY GRAVEL (SW, SP, SM, SC, GM, & GC)	2,000
CLAY, SANDY CLAY, SILTY CLAY, CLAYEY SILT, SILT, & SANDY SILT (CL, ML, MH, & CH)	1,500 <sup>b</sup>

<sup>a</sup> WHEN SOIL TEST ARE REQUIRED BY SECTION P401.4, THE ALLOWABLE BEARING CAPACITIES OF THE SOIL SHALL BE PART OF THE RECOMMENDATIONS.  
<sup>b</sup> WHERE THE BUILDING OFFICIAL DETERMINES THAT IN-PLACE SOILS WITH AN ALLOWABLE BEARING CAPACITY OF LESS THAN 1,500 PSF ARE LIKELY TO BE PRESENT AT THE SITE, THE ALLOWABLE BEARING CAPACITY SHALL BE DETERMINED BY A SOILS INVESTIGATION.

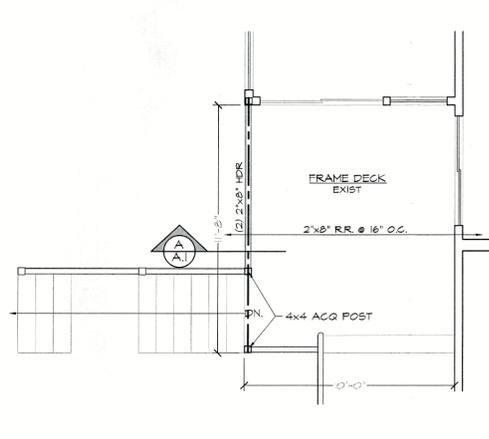
TABLE 301.2(1) CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP <sup>b</sup>	ICE BARRIER REQUIRED <sup>b</sup>	FLOOD HAZARDS <sup>b</sup>	AIR FREEZING INDEX <sup>b</sup>	MEAN ANNUAL TEMP <sup>b</sup>
	Speed <sup>a</sup> (mph)	Topographic effects <sup>a</sup>	Specia wind region	Wind-born debris zone <sup>a</sup>		Weathering <sup>a</sup>	Frost line depth <sup>a</sup>	Termite <sup>c</sup>					
20	120	N2	N2	1 MILE FROM COAST AND FI	B	SEVERE	8 OF 3 FT BFD	MOD TO HEAVY	SEE BELOW	YES	2/VA	599	51

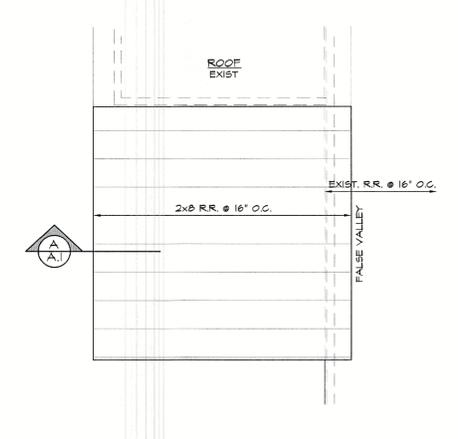
CLIMATE ZONE IS 4  
 INTERIOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH INDOOR TEMPERATURE OF NOT LESS THAN 68 DEGREES FARENHEIT AT A POINT 5 FEET ABOVE THE FLOOR ON THE DESIGN HEATING DAY (20.5 IMC 309.1) SYSTEM DESIGN SHALL BE BASED ON A MAX 12 DEGREES HEATING, MINIMUM 15 DEGREES COOLING DEGREE DAYS (NY LAGUARDIA) 481, WINTER DESIGN TEMP IS, DRY BULB 89, WET BULB 75 (2015 IPC APPXD D)



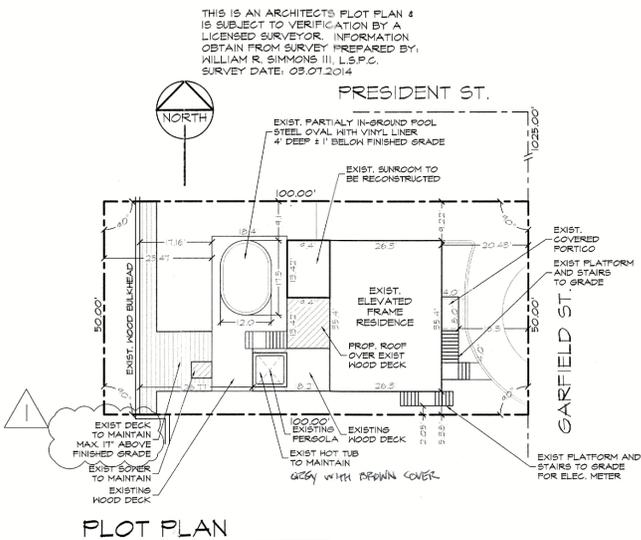
**DECK FRAMING PLAN (exst)**  
 SCALE: 1/4" = 1'-0"



**DECK PLAN (partial exst)**  
 SCALE: 1/4" = 1'-0"



**ROOF FRAMING PLAN**  
 SCALE: 1/4" = 1'-0"

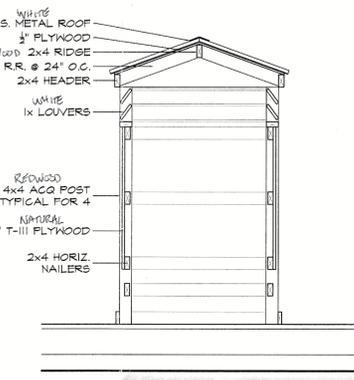


**PLOT PLAN**  
 SCALE: 1" = 20'-0"

**ZONING INFORMATION**

SECTION: 62 BLOCK: 091 LOT: 225

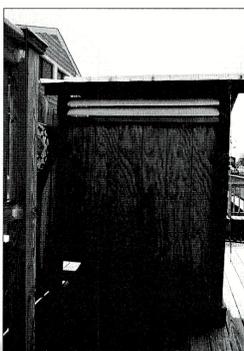
ZONE: RES - A	REQUIRED	EXISTING
LOT AREA	5,000 SQ.FT.	5,000 SQ.FT.
FRONTAGE	50 FT.	50 FT.
FRONT YARD	20 FT.	20.48 FT.
REAR YARD	20 FT.	48.87 FT.
SIDE YARD (MIN)	5 FT.	5.98 FT.
SIDE YARD (AVG)	12.5 FT.	14.6 FT.
BUILDING HEIGHT	35 FT.	24.28 FT.
LOT COVER (PRINCIP.)	50 %	21.91 %
LOT COVER (DECK)		17.55 %
LOT COVER (TOTAL)	40 %	39.47 %
LOT COVER (PORCH)	5 %	0.56 %
P.A.P.	50 %	31.84 %



**SHOWER SECTION**  
 SCALE: 1/2" = 1'-0"



**EAST ELEVATION**  
 SCALE: N.T.S.



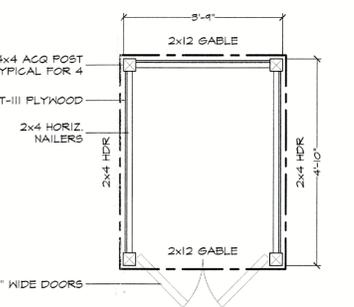
**NORTH ELEVATION**  
 SCALE: N.T.S.



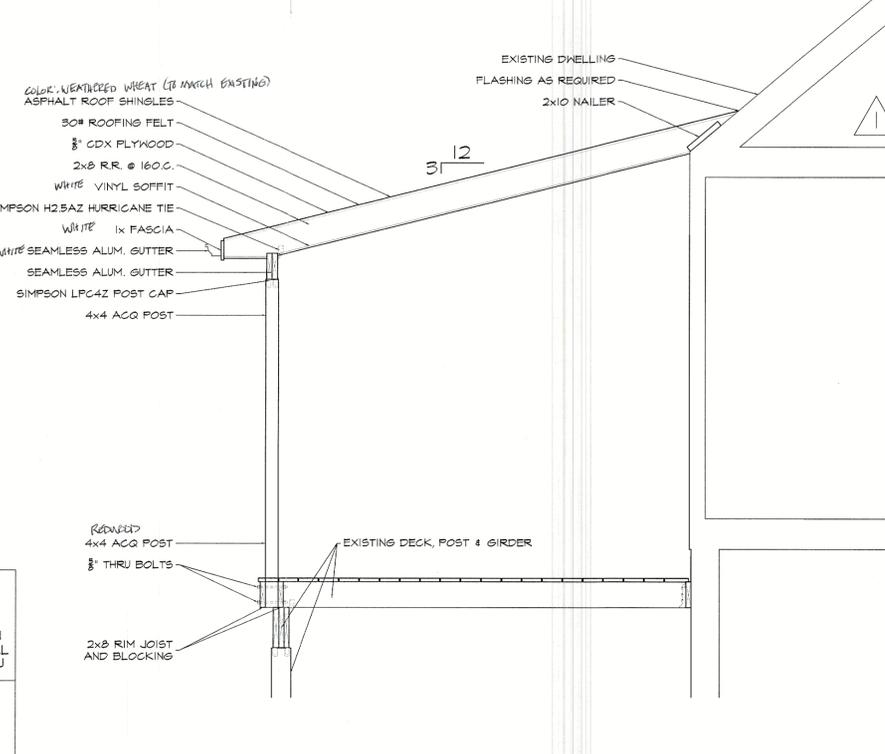
**WEST ELEVATION**  
 SCALE: N.T.S.



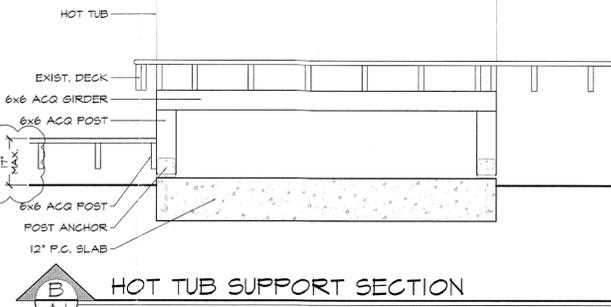
**SOUTH ELEVATION**  
 SCALE: N.T.S.



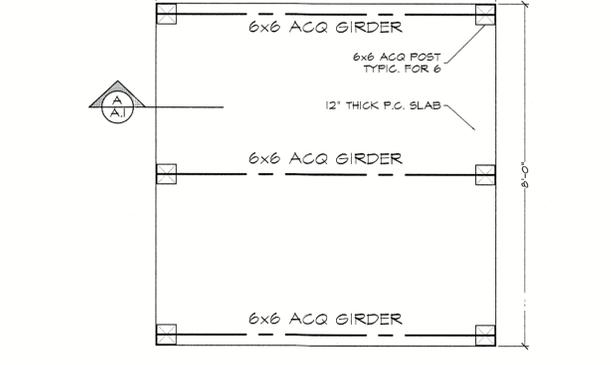
**SHOWER PLAN**  
 SCALE: 1/2" = 1'-0"



**ROOF OVER DECK SECTION**  
 SCALE: 1/2" = 1'-0"



**HOT TUB SUPPORT SECTION**  
 SCALE: 1/2" = 1'-0"



**HOT TUB SUPPORT PLAN**  
 SCALE: 1/2" = 1'-0"

Mark D. Geiselman Architect, PC  
 Post Office Box 871 • Long Beach • New York • 11561  
 tel: 516.432.0918 • e-mail: mdgarchitects@hotmail.com



CONSULTANTS:  
 WILLIAM R. SIMMONS III, L.S.P.C.  
 SURVEY DATE: 03.07.2014

CHECKED BY: MDG  
 DRAWN BY: MDG

REV #	DATE	NOTE
1	10.10.23	DECK ELEVATION

MAINTAIN STRUCTURES  
**BATUS RESIDENCE**  
 216 GARFIELD STREET  
 FREEPORT, NY 11520

JOB#: BA-23-24  
 DATE: 09.15.2023  
 SCALE: AS NOTED  
 DRAWING NUMBER  
**A.1**

**SITE WORK**  
 STAKEOUT IS TO BE PERFORMED BY A LICENSED SURVEYOR. STAKING AND LAYOUT ARE TO ESTABLISH ALL LINES AND BENCHMARKS. VERIFY ALL GIVEN DATA ON DRAWINGS. IN CASE OF DISCREPANCY, RECEIVE CLARIFICATION FROM ARCHITECT PRIOR TO PROCEEDING. EXCAVATE AND BACK FILL FOR WORK INDICATED ON DRAWINGS. STOCKPILE TOPSOIL OBTAINED FROM STRIPPING DRIVEWAY AND BUILDING SITE. STOCKPILE ALL EXCAVATED MATERIAL. NEW AND EXISTING BACK FILL MATERIAL AND TOPSOIL ARE TO BE FREE OF NEEDLES, TREE ROOTS, ROCKS AND DEBRIS. ALL SURPLUS MATERIAL IS UNUSABLE FOR BACK FILL MATERIAL SHALL BE REMOVED FROM THE SITE. PROTECT ALL TREES WITHIN EIGHT FEET OF THE BUILDING. PROPER APPROVALS MUST BE OBTAINED BEFORE COVERING ANY EXCAVATED WORK.

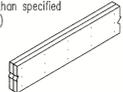
**CONCRETE**  
 NO CONCRETE OR MASONRY WORK SHALL BE DONE DURING TEMPERATURES OF 40 DEGREES F. AND FALLING. NO CONCRETE SHALL BE PLACED ON FROZEN SURFACES. NO ADDITIVES SHALL BE ALLOWED WITHOUT WRITTEN PERMISSION OF THE ARCHITECT. ALL CONCRETE IS TO BE MIN. 3,000 P.S.I. AT 28 DAYS & 3,500 P.S.I. FOR GARAGE SLAB. FOURS STEPS AND CONCRETE SLABS ON GRADE. PROVIDE ALL SLEEVES AND FOUNDATION VENTS AS REQUIRED BY NYS CODE. UNLESS INDICATED, ALL FOUNDATION FOOTINGS ARE TO BE A MIN. 6" DEEP PROJECTING 6" ON EACH SIDE OF THE FOUNDATION WALL. PROVIDE TWO #4 DEFORMED BARS CONTINUOUS IN THE FOOTING. ALL 4" THICK CONCRETE SLABS TO HAVE 6x6 10/10 WELDED WIRE REINFORCING. ANCHOR BOLTS IN CONCRETE SHALL BE HOOKED 5/8" X 12" AT MAX. 58" O.C. AND MAX. 12" FROM CORNERS. PROVIDE BITUMEN EXPANSION JOINTS BETWEEN SLABS AND FOUNDATION WALLS.

**FRAMING AND ROUGH CARPENTRY**  
 JOISTS RAFTERS AND STUDS SHALL BE CONSTRUCTION GRADE DOUGLAS FIR 1100 P.S.I. ALL WOOD SILLS AND WOOD IN CONTACT WITH MASONRY SHALL BE ACQ TREATED. ALL METAL FASTENERS IN CONTACT WITH ACQ TREATED LUMBER TO BE DOUBLE HOT DIPPED GALVANIZED, STAINLESS STEEL OR AS SPECIFIED BY MANUFACTURER. TERMITE SHIELDS AT SILL TO BE COPPER OR OTHER APPROVED NON CORROSIVE MATERIAL. ALL EXTERIOR SHEATHING SHALL BE 1/2" CDX DOUGLAS FIR PLYWOOD. SUB-FLOORS TO BE 3/4" CDX PLYWOOD. EXTERIOR SHEATHING TO BE COVERED WITH TYVEK HOUSE WRAP OR APPROVED EQUAL. BLOCK STUD WALLS AT 1/2 STORY HEIGHTS AND AT ALL UNSUPPORTED EDGES OF PLYWOOD. PROVIDE SOLID BLOCKING AND DIAGONAL BRACING OF FLOOR JOISTS AT 8' O.C. MAXIMUM AND SOLID BLOCKING UNDER ALL UNSUPPORTED EDGES OF PLYWOOD. ALL CAP PLATES TO BE DOUBLED AND NAILED BOTTOM CAP PLATED TO END OF STUDS. LAP CAP PLATES AT CORNERS. TOE NAIL JOISTS TO CAP OR BEAM WITH W/HERE FLASH FRAMING OCCURS. USE MIN. 16GA SHEET METAL JOISTS HANGERS BY "SIMPSON" OR APPROVED EQUAL. ALL CORNERS TO BE MINIMUM 3/2x4 STUDS. HEADERS SHALL BE MINIMUM 2/2x6 UNLESS NOTED ON PLANS. MINIMUM BEARING FOR STUDS, JOISTS AND BEAMS SHALL BE 3". USE DOUBLE JACK STUDS FOR HEADERS OVER FIVE FEET IN LENGTH.

**ASPHALT ROOF SHINGLES**  
 ALL SLOPED ROOF SHINGLES SHALL BE GAF-CLASS-A ASPHALT ROOF SHINGLES OR APPROVED EQUAL. SHINGLES SHALL BE APPLIED OVER 15# ASPHALT FELT WITH GAF-WEATHER-WATCH ICE AND WATER BARRIER APPLIED AT EAVES, VALLEYS AND FLASHING. ROOFING CONTRACTOR TO PROVIDE ALL FLASHING NECESSARY FOR A WATER-TIGHT WEATHER-PROOF JOB. ROOFING IS TO BE APPLIED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. CONTRACTOR SHALL SUPPLY COLOR SAMPLES OF THE SHINGLES FOR OWNER'S APPROVAL, PRIOR TO INSTALLATION.

**CONNECTION OF MULTIPLE PIECES OF TOP-LOADED BEAMS**

- 1 3/4" Width Pieces:**
- Minimum of 2 rows 16d (3/8") nails at 12" o.c.
  - Minimum of 3 rows 16d (3/8") nails at 12" o.c. for 14" and deeper beams
  - Nailed connections require an additional row of nails when nail size is smaller than specified above (minimum 0.131" x 3.25")
- 3 1/2" Width Pieces:**
- Minimum of 2 rows 1/2" bolts at 24" o.c. staggered



Additional nailing or bolting may be required with side-loaded multiple member beams. Refer to current product literature.

**BEAM DETAIL**

TABLE R401.4.1: PRESUMPTIVE LOAD-BEARING<sup>a</sup> VALUES OF FOUNDATION MATERIALS

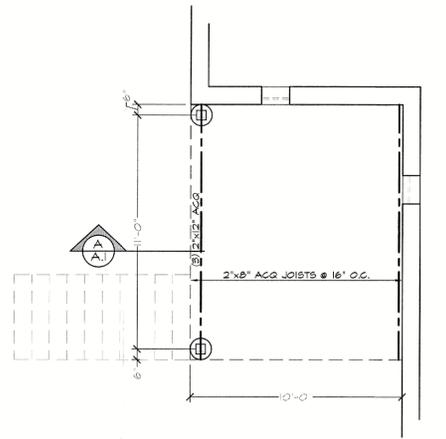
CLASS OF MATERIAL	LOAD BEARING PRESSURE (PSF)
CRYSTALLINE BEDROCK	2,000
BEDIMENTARY AND FOLIATED ROCK	4,000
SANDY GRAVEL AND/OR GRAVEL (GW & GP)	3,000
SAND, SILTY SAND, CLAYEY SAND, SILTY GRAVEL AND CLAYEY GRAVEL (SW, SP, SM, SC, GM, & GC)	2,000
CLAY, SANDY CLAY, SILTY CLAY, CLAYEY SILT, SILT, & SANDY SILT (CL, ML, MH, & CH)	1,500 <sup>b</sup>

<sup>a</sup> WHEN SOIL TEST ARE REQUIRED BY SECTION P401.4, THE ALLOWABLE BEARING CAPACITIES OF THE SOIL SHALL BE PART OF THE RECOMMENDATIONS.  
<sup>b</sup> WHERE THE BUILDING OFFICIAL DETERMINES THAT IN-PLACE SOILS WITH AN ALLOWABLE BEARING CAPACITY OF LESS THAN 1,500 PSF ARE LIKELY TO BE PRESENT AT THE SITE, THE ALLOWABLE BEARING CAPACITY SHALL BE DETERMINED BY A SOILS INVESTIGATION.

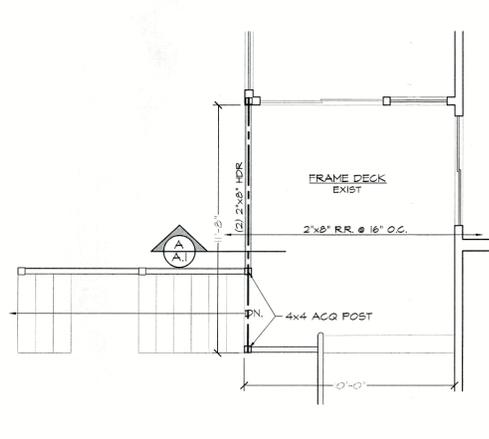
TABLE 301.2(1) CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP <sup>b</sup>	ICE BARRIER REQUIRED <sup>b</sup>	FLOOD HAZARDS <sup>b</sup>	AIR FREEZING INDEX <sup>b</sup>	MEAN ANNUAL TEMP <sup>b</sup>
	Speed <sup>a</sup> (mph)	Topographic effects <sup>a</sup>	Specia. wind region	Wind-born debris zone <sup>a</sup>		Weathering <sup>a</sup>	Frost line depth <sup>b</sup>	Termite <sup>c</sup>					
20	120	N2	N2	1 MILE FROM COAST AND FI	B	SEVERE	8 OF 3 FT BFB	MOD TO HEAVY	SEE BELOW	YES	2/VA	599	51

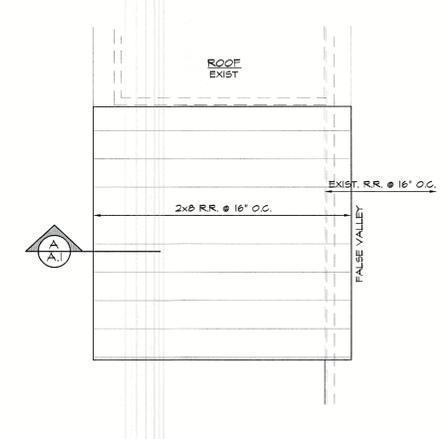
CLIMATE ZONE IS 4  
 INTERIOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH INDOOR TEMPERATURE OF NOT LESS THAN 68 DEGREES FARENHEIT AT A POINT 5 FEET ABOVE THE FLOOR ON THE DESIGN HEATING DAY (20.5 IMC 309.1) SYSTEM DESIGN SHALL BE BASED ON A MAX 12 DEGREES HEATING, MINIMUM 15 DEGREES COOLING DEGREE DAYS (NY LAGUARDIA) 481, WINTER DESIGN TEMP IS, DRY BULB 89, WET BULB 75 (2015 IPC APPXD D)



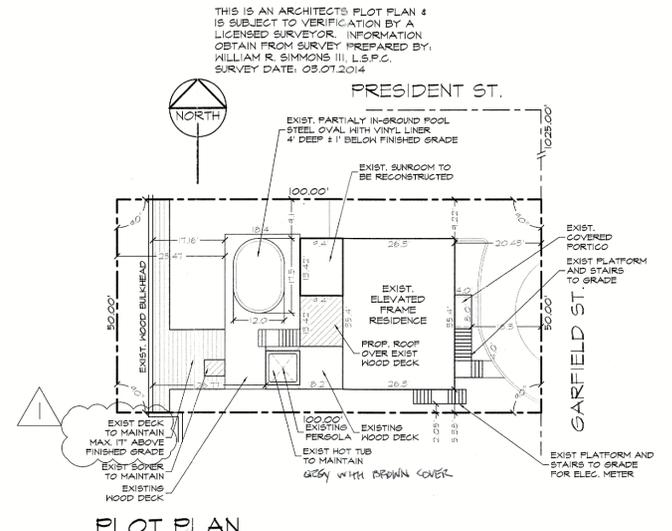
**DECK FRAMING PLAN (exst)**  
 SCALE: 1/4" = 1'-0"



**DECK PLAN (partial exst)**  
 SCALE: 1/4" = 1'-0"



**ROOF FRAMING PLAN**  
 SCALE: 1/4" = 1'-0"

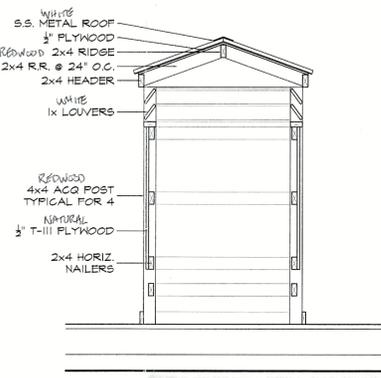


**PLOT PLAN**  
 SCALE: 1" = 20'-0"

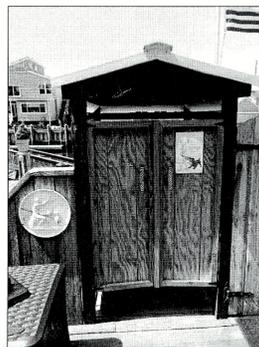
**ZONING INFORMATION**

SECTION: 62 BLOCK: 091 LOT: 225

ZONE: RES - A	REQUIRED	EXISTING
LOT AREA	5,000 SQ.FT.	5,000 SQ.FT.
FRONTAGE	50 FT.	50 FT.
FRONT YARD	20 FT.	20.48 FT.
REAR YARD	20 FT.	48.81 FT.
SIDE YARD (MIN)	5 FT.	5.98 FT.
SIDE YARD (AVG)	12.5 FT.	14.6 FT.
BUILDING HEIGHT	35 FT.	24.28 FT.
LOT COVER (PRINCIP.)	50 %	21.91 %
LOT COVER (DECK)		17.55 %
LOT COVER (TOTAL)	40 %	39.47 %
LOT COVER (PORCH)	5 %	0.56 %
P.A.P.	50 %	31.84 %



**SHOWER SECTION**  
 SCALE: 1/2" = 1'-0"



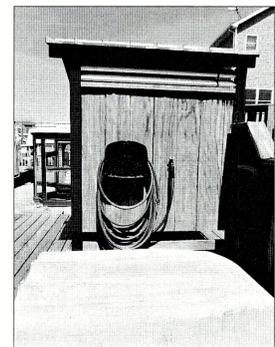
**EAST ELEVATION**  
 SCALE: N.T.S.



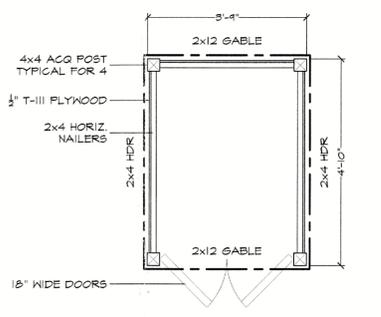
**NORTH ELEVATION**  
 SCALE: N.T.S.



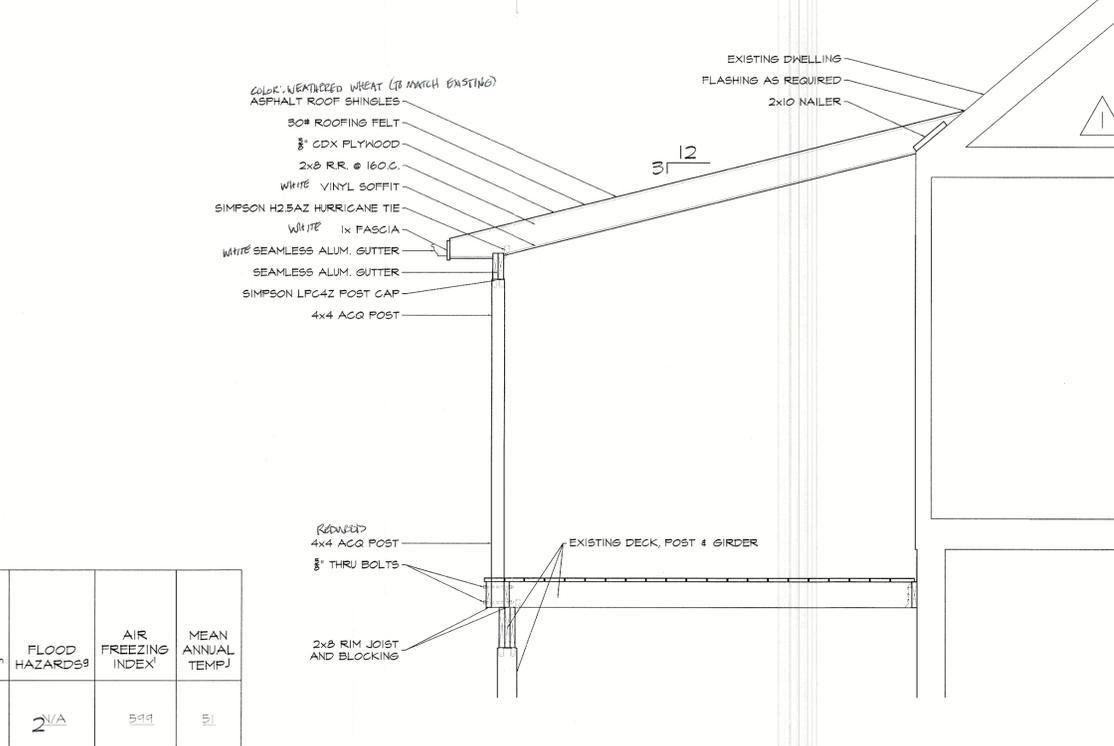
**WEST ELEVATION**  
 SCALE: N.T.S.



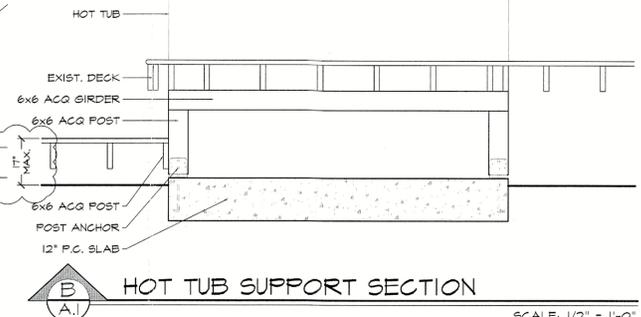
**SOUTH ELEVATION**  
 SCALE: N.T.S.



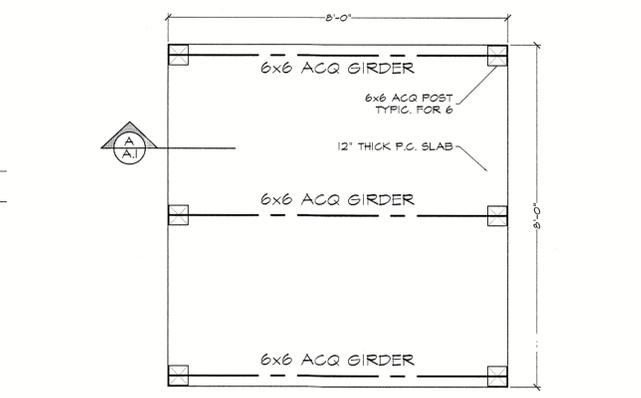
**SHOWER PLAN**  
 SCALE: 1/2" = 1'-0"



**ROOF OVER DECK SECTION**  
 SCALE: 1/2" = 1'-0"



**HOT TUB SUPPORT SECTION**  
 SCALE: 1/2" = 1'-0"



**HOT TUB SUPPORT PLAN**  
 SCALE: 1/2" = 1'-0"

Mark D. Geiselman Architect, PC  
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 tel: 516.432.0918 • e-mail: mdgarchitects@hotmail.com



CONSULTANTS:  
 WILLIAM R. SIMMONS III, L.S.P.C.  
 SURVEY DATE: 03.07.2014

CHECKED BY: MDG  
 DRAWN BY: MDG

REV #	DATE	NOTE
1	10.10.23	DECK ELEVATION

MAIN STRUCTURES  
**BATUS RESIDENCE**  
 216 GARFIELD STREET  
 FREEPORT, NY 11520

DATE: 09.15.2023  
 SCALE: AS NOTED  
 DRAWING NUMBER: A.1

Application Date: 11/7/23  
Fees Paid: \$225.00

SP# 31684

INCORPORATED VILLAGE OF FREEPORT  
SITE PLAN REVIEW APPLICATION  
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 554 Nassau Avenue ZONING DISTRICT Res. A  
SECTION 62 BLOCK 186 LOT 524 LOT SIZE: 62.5' x 80' = 5,000sq

<input type="checkbox"/> TENANT	<input checked="" type="checkbox"/> APPLICANT	<input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>Thomas D. Blore, ATA</u>			Name: <u>Amer Habib</u>
Address: <u>60 Carleton Ave - Ste. 202</u> <u>Islip Terrace NY 11752</u>			Address: <u>554 Nassau Avenue</u> <u>Freeport NY 11520</u>
Telephone #: <u>(631)-277-2022</u>			Telephone #: <u>(718)-912-4600</u>

Attorney Name: \_\_\_\_\_ Address: \_\_\_\_\_  
(optional) Phone #: \_\_\_\_\_

Present Land Use: Single Family/ Residential Proposed Land Use: Single Family/ Residential

Description of Proposed Work: Interior Alterations to renovate existing hall bath; New master bedroom; bath; (new windows; closing windows); legalize existing garage conversion; legalize existing extended driveway (1,463 sq).

I request a preliminary meeting: \_\_\_\_\_ YES  NO

I request a waiver of the public hearing and hereby certify the following:  
A. The subject property is zoned Residence A or Residence AA.  
B. The proposed construction is not a new building or dwelling.  
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.  
\_\_\_\_\_  YES \_\_\_\_\_ NO

[Signature]  
APPLICANT'S SIGNATURE  
Sworn to before me this 6<sup>th</sup> day of November, 2023.  
[Signature]  
Notary Public

11/6/2023  
DATE  
AMY N. KOMOROSKI  
Notary Public, State of New York  
No. 01KO6318693  
Qualified in Suffolk County  
Commission Expires February 2, 2027  
CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY  
RECEIVED  
023 NOV - 1 A 4: 07

Property Owner's Consent:  
I, Amer Habib am (are) the owner(s) of the subject property and consent to the filing of this application.

[Signature]  
PROPERTY OWNER'S SIGNATURE  
Sworn to before me this 26<sup>th</sup> day of October, 2023.  
[Signature]  
Notary Public  
AMY N. KOMOROSKI  
Notary Public, State of New York  
No. 01KO6318693  
Qualified in Suffolk County  
Commission Expires February 2, 2027  
DATE: 10/26/2023

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: _____ YES _____ NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	Approved _____ Denied _____ Date: _____
Planning Board Signature: _____	Date: _____



**INC. VILLAGE OF FREEPORT**

**Department of Buildings**

46 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK 11520

(516) 377-2242

FAX (516) 377-2493

ROBERT T. KENNEDY  
MAYOR

E-MAIL [BUILDINGDEPT@FREEPORTNY.GOV](mailto:BUILDINGDEPT@FREEPORTNY.GOV)

SERGIO A. MAURAS  
SUPERINTENDENT OF BUILDINGS

**SITE PLAN LETTER**

October 4, 2023

Amer Habib  
554 Nassau Ave  
Freeport, NY 11520

**RE: 554 Nassau Ave , Freeport, NY 11520**

**Zoning District: Residence A Sec 62, Blk 186, Lot 524**

**Building Permit Application #20233258**

**Description: INTERIOR ALTERATIONS TO RENOVATE EXISTING HALL BATH; NEW MASTER BEDROOM AND BATH ;( new windows and closing windows) LEGALIZE EXISTING GARAGE CONVERSION AND LEGALIZE EXISTING EXTENDED DRIVEWAY (1,463 SQ. FT)**

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the VILLAGE CLERK'S OFFICE at 377-2300.

Very truly yours,

Sergio A. Mauras  
Superintendent of Buildings  
/Daniela Hernandez

c: Village Clerk

ZBA Approval Needed: Yes\_\_ No\_X

VILLAGE OF FREEPORT  
Department of Buildings  
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.  
(See reasons below)

Project : Building Permit App. 20233258

Location: 554 Nassau Ave , Freeport NY 11520

Applicant: Amer Habib

Description : INTERIOR ALTERATIONS TO RENOVATE EXISTING HALL BATH; NEW MASTER BEDROOM AND BATH ;( new windows and closing windows) LEGALIZE EXISTING GARAGE CONVERSION AND LEGALIZE EXISTING EXTENDED DRIVEWAY (1,463 SQ. FT)

Lead Agency: Department of Buildings  
for the Board of Trustees  
Village of Freeport  
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:  
Superintendent of Buildings  
(516) 377-2242

**REASON(S) FOR DETERMINATION**

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) \_\_\_\_\_

B) Possible environment effects identified:  
(only if positive determination)

Dated: October 4, 2023

*Sergio A. Mauras*  
Sergio A. Mauras  
Superintendent of Buildings

**IMPORTANT:** This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

617.20  
Appendix B  
Short Environmental Assessment Form

2023 3258

**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>							
Name of Action or Project: <span style="font-size: 1.2em;">554 Nassau Avenue</span>							
Project Location (describe, and attach a location map): <span style="font-size: 1.2em;">554 Nassau Avenue, Freeport, NY 11520</span> <span style="font-size: 1.2em;">West side of Nassau Avenue; 1,160' South of Suffolk Street</span>							
Brief Description of Proposed Action:  <ul style="list-style-type: none"> <li>- Interior Alterations to renovate existing 2nd Floor hall bath</li> <li>- New master bedroom; master bath</li> <li>- Legalize &amp; maintain existing garage conversion to living space</li> <li>- legalize existing extended driveway (1,463) sq-ft.</li> </ul>							
Name of Applicant or Sponsor: <span style="font-size: 1.2em;">Thomas D. Blore, AIA</span>		Telephone: <span style="font-size: 1.2em;">(631)-277-2022</span> E-Mail: <span style="font-size: 1.2em;">TBlore@tdbarch.com</span>					
Address: <span style="font-size: 1.2em;">60 Carleton Avenue - Suite 202</span>							
City/PO: <span style="font-size: 1.2em;">Islip Terrace</span>		State: <span style="font-size: 1.2em;">NY</span>	Zip Code: <span style="font-size: 1.2em;">11752</span>				
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1" style="width: 100%; text-align: center;"> <tr> <th style="width: 50%;">NO</th> <th style="width: 50%;">YES</th> </tr> <tr> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			<table border="1" style="width: 100%; text-align: center;"> <tr> <th style="width: 50%;">NO</th> <th style="width: 50%;">YES</th> </tr> <tr> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
3 a. Total acreage of the site of the proposed action?		<span style="font-size: 1.2em;">0.11</span> acres					
b. Total acreage to be physically disturbed?		<span style="font-size: 1.2em;">0</span> acres					
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		<span style="font-size: 1.2em;">0.11</span> acres					
4. Check all land uses that occur on, adjoining and near the proposed action.							
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input checked="" type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland							

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing potable water: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the proposed action located in an archeological sensitive area?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor name: <u>Thomas D. Blore, AIA</u> Date: <u>4/20/23</u>		
Signature: _____		

**Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"**

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private water supplies?	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
8. Will the proposed action impact existing: architectural resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action impact existing: historic resources?	<input type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

**Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3.** For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

**Interior Alterations - 554 Nassau Avenue, Freeport, NY. 11520**



**PHOTO 1: Front view of Residence**

**(Date of Photograph -03/12/2021)**



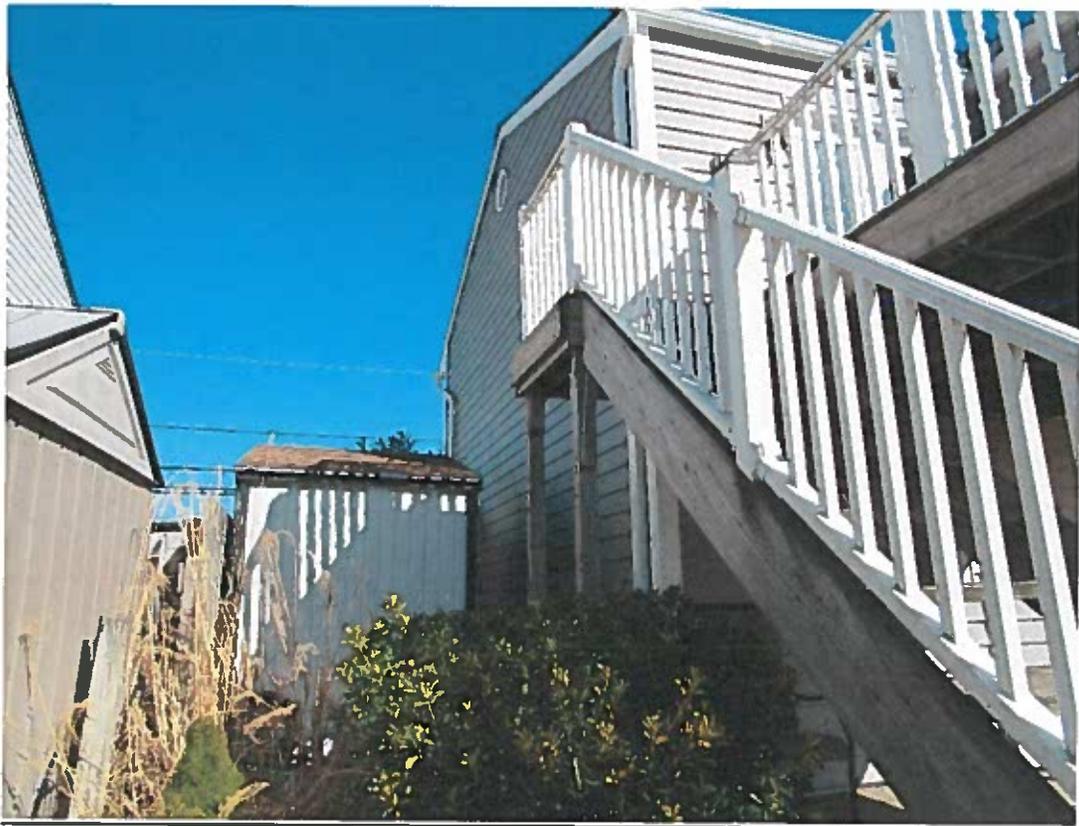
**PHOTO 2: Rear view of residence**

**(Date of Photograph -03/12/2021)**



**PHOTO 3:** South side of residence

(Date of Photograph – 03/12/2021)



**PHOTO 4:** North side of residence

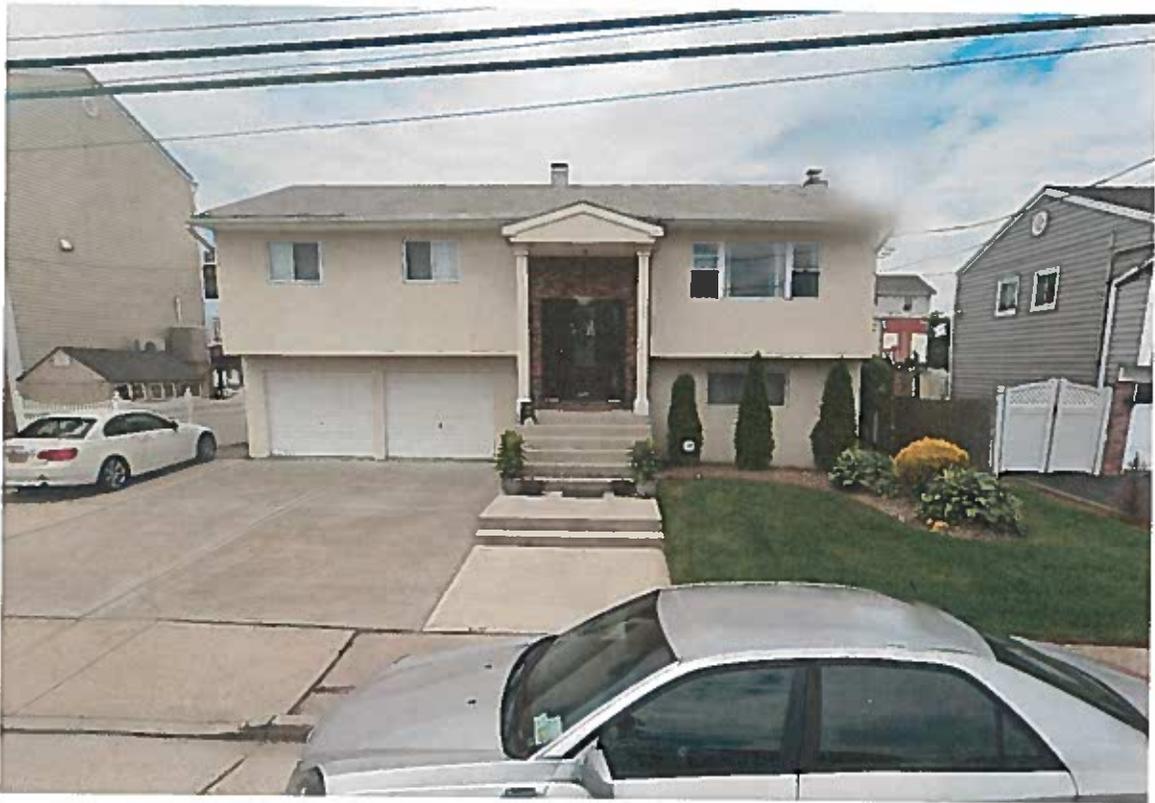
(Date of Photograph - 03/12/2021)



**PHOTO 5:** View of residence driveway



**PHOTO 6:** View of 546 Nassau Avenue, North of subject parcel

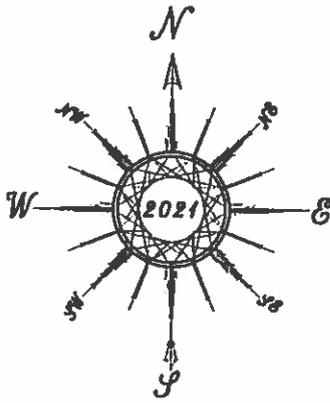


**PHOTO 7:** View of 562 Nassau Avenue, South of subject parcel



**PHOTO 8:** View of 555 Nassau Avenue, across from subject parcel

MAP  
GENERAL DIRECTION  
MAGNETIC

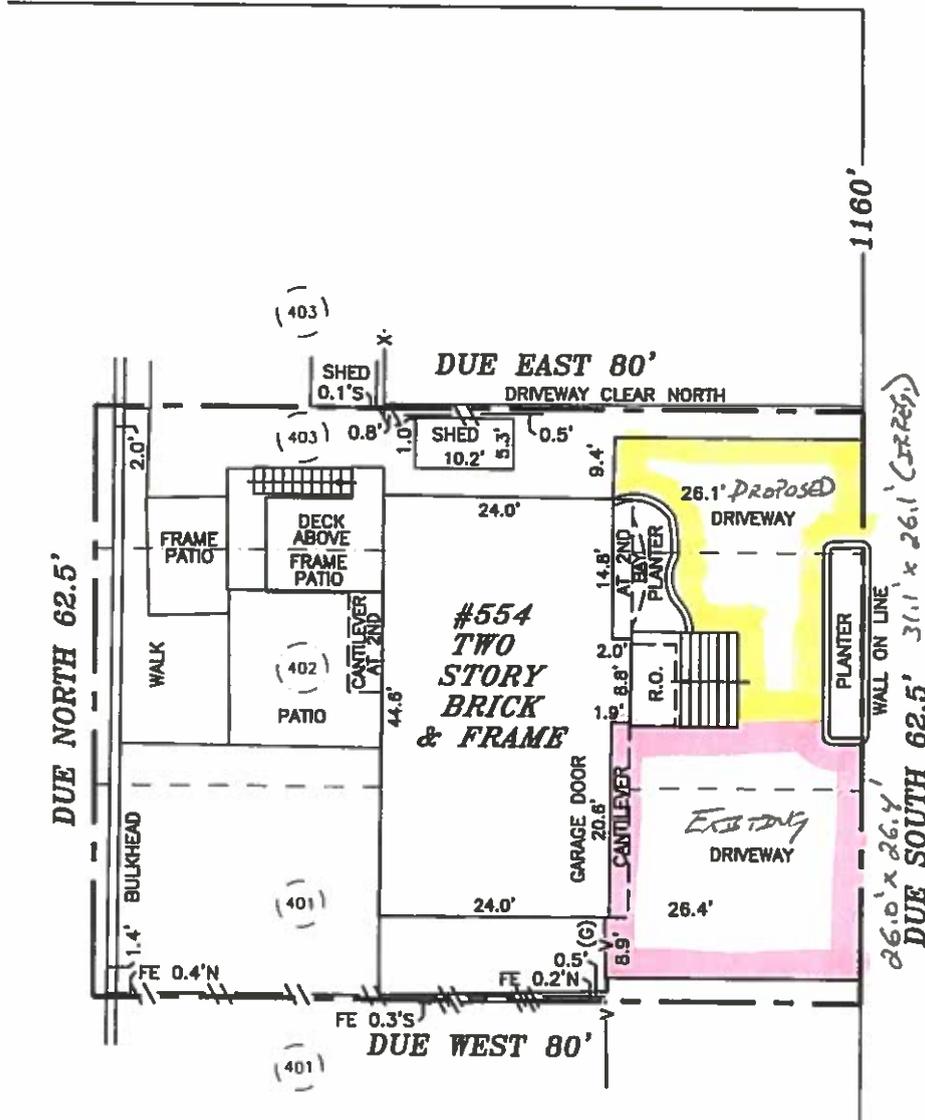


10 5 0 10 20  
SCALE 1"=20'

# SUFFOLK STREET

CHANNEL

NASSAU AVENUE



(403)

(402)

(401)

(401)



NASSAU

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BARRY M. FAHRER L.S.  
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EASEMENTS, IF ANY, NOT SHOWN.

UNLESS OTHERWISE NOTED, PHYSICAL MONUMENTS HAVE NOT BEEN SET.  
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"Certifications indicated hereon signify that this survey was prepared in accordance with the existing Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors. Said certifications shall run only to the person for whom the survey was prepared, and on his behalf to the government agency and lander institution listed herein, and to the satisfaction of the government agency."

PROPERTY LINE A.O. = AWNING OVER O.H. = OVER HEAD A.W. = AREA WAY FENCES: METAL X IRON WOOD POST & RAIL VINYL

LOT LINE UTILITY POLE LOT TAX MAP LOT FILED MAP LOT C.D. = CELLAR DOOR G.B.C. = GRANITE BLOCK CURB C.C. = CONCRETE CURB C.R.W. = CONC. RETAINING WALL



# GENERAL NOTES

**GENERAL NOTES:**

1. The proposed work shall be in accordance with the following:
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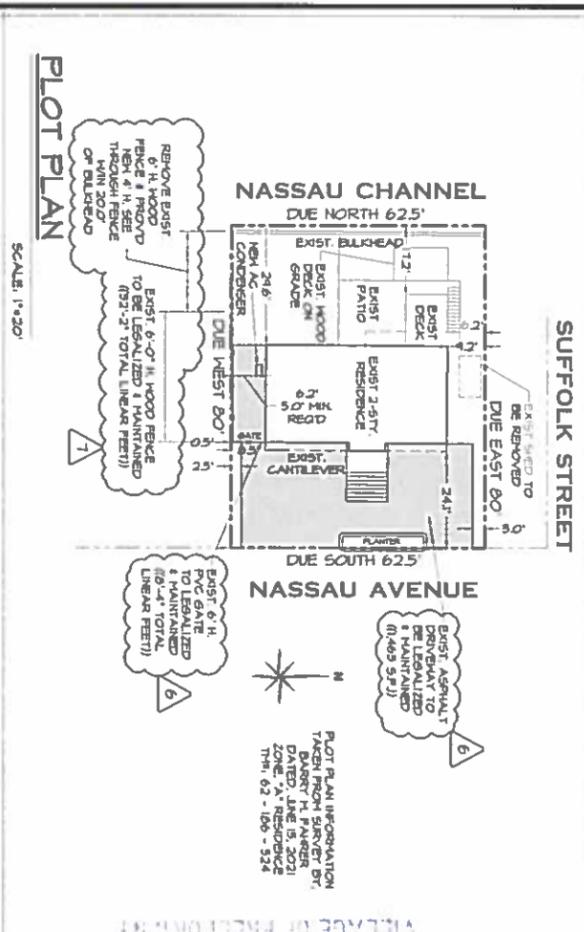
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# DRAWING INDEX

T-1	TITLE SHEET
N-1	CODE TABLES & NAILING SCHEDULE
N-2	STRAPPING & MISC. DETAILS
A-1	FOUNDATION PLAN & SANITARY RISER DIA.
A-2	FIRST & SECOND FLOOR PLAN
A-3	BUILDING SECTION & DETAIL
A-4	ELEVATIONS & LEGEND

<p>THIS DRAWING, PREPARED FOR THE PROJECT INDICATED, IS AN INSTRUMENT OF SERVICE, AND THE PROPERTY OF THOMAS D. BLORE ARCHITECT, P.C. NO REPRODUCTION OR ANY USE OF THIS PROJECT IS PERMITTED WITHOUT ALTERATION, OR REPRODUCTION OF THIS DOCUMENT IS ALSO PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.</p>	
<p>60 CARLETON AVE. - STE. 202 1515P TERRACE, N.Y., 11752 P. (631) 277-2022 F. (631) 277-4713 TBlore@TDBArch.com</p>	<p>REGISTERED ARCHITECT THOMAS D. BLORE STATE OF NEW YORK 035318</p>

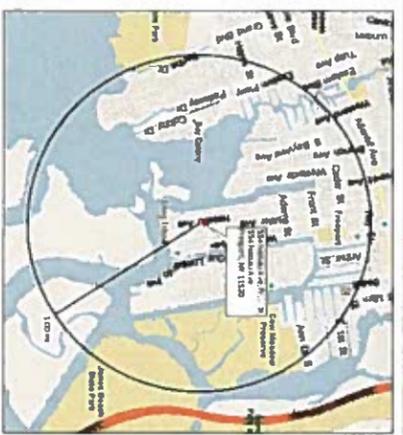
## PLOT PLAN



## SITE INFO.

REQUIREMENT	PROVIDED
P.T. SETBACK	34'-0"
R.T. SETBACK	30'-0"/14'-6"
S.Y. SETBACK	0'-0"
TOTAL SLOPS	19.62%
MAX HEIGHT	35'-0"
LOT SIZE	9,000 S.F.
EXIST. 1ST FLOOR	1,091 S.F.
EXIST. 2ND FLOOR	1,170 S.F.
EXIST. 2-5TH DECK	141 S.F.
TOTAL LOT COVERAGE	1,311 S.F.
LOT COVERAGE	50.00 %
EXIST. SHED (OPEN)	(834 S.F.)
EXIST. COV. PORCH	146 S.F.
PORCH LOT COVERAGE	5.42 %
TOTAL P.A.R.	2,362
P.A.R.	50.00 %
	47.24 %

## LOCATION MAP



Date	Revision/Issue
03/23	REV 1.05 PER OWNER
03/25	REV 1.06 PER OWNER
03/25	REV 1.07 PER OWNER
03/25	REV 1.08 PER OWNER
03/25	REV 1.09 PER OWNER
03/25	REV 1.10 PER OWNER
03/25	REV 1.11 PER OWNER
03/25	REV 1.12 PER OWNER
03/25	REV 1.13 PER OWNER
03/25	REV 1.14 PER OWNER
03/25	REV 1.15 PER OWNER
03/25	REV 1.16 PER OWNER
03/25	REV 1.17 PER OWNER
03/25	REV 1.18 PER OWNER
03/25	REV 1.19 PER OWNER
03/25	REV 1.20 PER OWNER
03/25	REV 1.21 PER OWNER
03/25	REV 1.22 PER OWNER
03/25	REV 1.23 PER OWNER
03/25	REV 1.24 PER OWNER
03/25	REV 1.25 PER OWNER
03/25	REV 1.26 PER OWNER
03/25	REV 1.27 PER OWNER
03/25	REV 1.28 PER OWNER
03/25	REV 1.29 PER OWNER
03/25	REV 1.30 PER OWNER
03/25	REV 1.31 PER OWNER
03/25	REV 1.32 PER OWNER
03/25	REV 1.33 PER OWNER
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03/25	REV 1.40 PER OWNER
03/25	REV 1.41 PER OWNER
03/25	REV 1.42 PER OWNER
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03/25	REV 1.44 PER OWNER
03/25	REV 1.45 PER OWNER
03/25	REV 1.46 PER OWNER
03/25	REV 1.47 PER OWNER
03/25	REV 1.48 PER OWNER
03/25	REV 1.49 PER OWNER
03/25	REV 1.50 PER OWNER

Project Name & Address	Interior Alterations 554 NASSAU AVENUE FREEPORT, NY 11520
Client	THOMAS D. BLORE ARCHITECT, P.C.
Scale	AS NOTED
Date	04/06/21
Sheet #	T-1



### NAILING AND STRAPPING

REQUIRED FOR ALL NEW CONSTRUCTION AND/OR NEW ADDITIONS!

**NOTE:**  
ALL STRAPPING TO BE 1/4"x30 GAUGE STEEL OR SIMPSON EQUIVALENT - C50 (COILED STRAP)  
ALL COIL STRAPPING TO HAVE MINIMUM 12" BEARING ON WALL STUDS  
(ALL STRAPPING SHALL BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS)  
ALL STRAPPING TO BE SPACED AT 16" O.C.  
ALL CONNECTIONS IN CONTACT WITH WOOD SHALL BE FINISHED IN STRIP FOR NOT-OR GALVANIZED OR STAINLESS STEEL

**AT RAFTER TO RIDGE CONNECTION**  
3-6d COMMON NAILS OR 5/16" BOX NAILS IN EA END OF STRAP

**FOR ALT. COLLAR TIE** - 10-10d COMMON NAILS OR 5/16" BOX NAILS IN EA END OF STRAP

**AT RAFTER TO TOP PLATE TO STUD CONNECTION**  
10-10d COMMON NAILS AT EA END OF STRAP

**NOTE:**  
FOR CANTILEVER CEILING AT SLOPING RAFTERS OR JOIST TO HEADERS CONNECTIONS PROVIDE SIMPSON L50210-1 ADJUSTABLE HANGER  
ONLY APPLICABLE FOR TWO-STORY CONFIGURATIONS!

**AT STUD TO FLOOR ASSEMBLY TO STUD CONNECTION**  
4-6d COMMON NAILS AT EACH END OF STRAP

**FOR ALTERNATE** - 1-1/4" DIA NAILS AT EA STRAP END AS PER MANUFACTURER'S RECOMMENDATIONS (NAILS OR BOLTS TOTAL FEET) OR EXCEEDS ULTIM STRAPPING TO OVERLAP FIRST & SECOND FLOOR FLOOR APPOINTMENTS STRIPS BY MIN. 12"

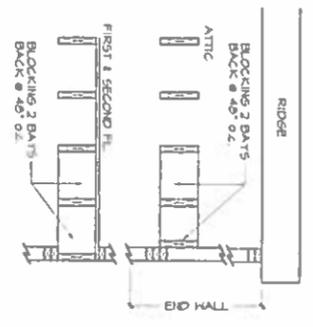
**NOTE:**  
ALL CLIPS & STRAPS CAN BE MOUNTED FROM EITHER ALL EXTERIOR OR ALL INTERIOR BUT NOT A COMBINATION OF BOTH.

**AT STUD TO FLOOR ASSEMBLY TO SILL PLATE CONNECTION**  
4-6d COMMON NAILS AT EACH END OF STRAP  
REAR STRAPPING UNDER SILL PLATE

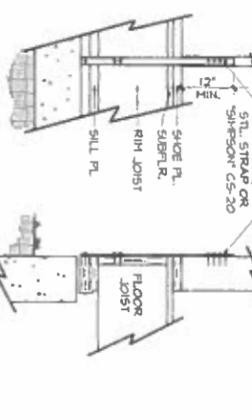
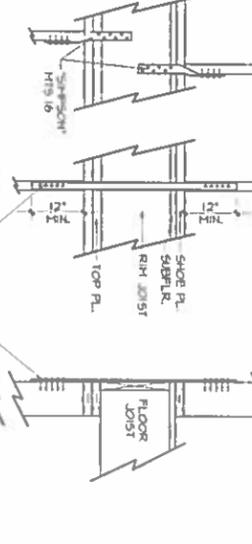
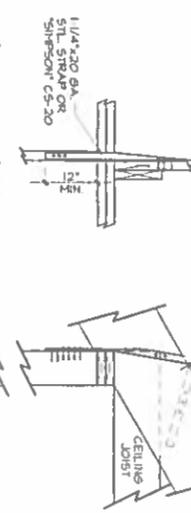
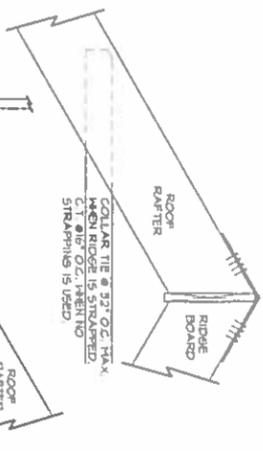
**AT STUD TO FLOOR ASSEMBLY TO SILL PLATE CONNECTION**  
4-6d COMMON NAILS AT EACH END OF STRAP  
REAR STRAPPING UNDER SILL PLATE

### FLOOR & ROOF DIAPHRAGM BRACING

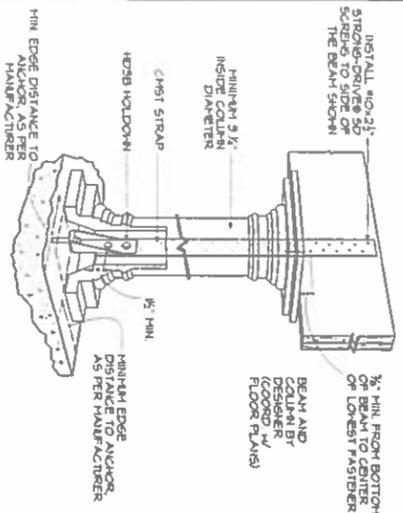
REQUIRED FOR ALL NEW CONSTRUCTION AND/OR NEW ADDITIONS!



**EXCEPTION:**  
WHEN AN ATTIC FLOOR OR CEILING DIAPHRAGM IS USED TO BRACE THE WALLS OF AN ATTIC OR ROOF SYSTEM IS USED. BRACING IS NOT REQUIRED.

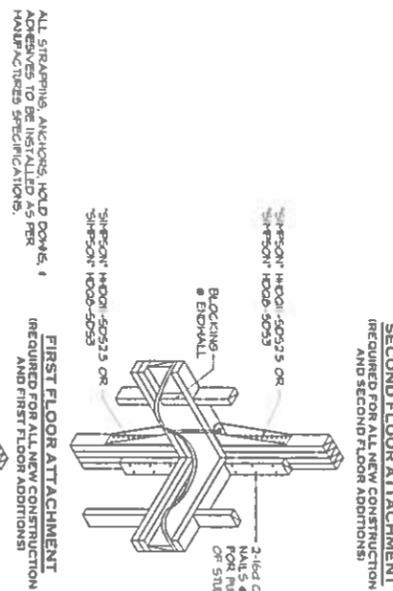


### HOLLOW COLUMN DETAIL



### HOLD DOWN CONNECTIONS

REQUIRED AT EACH BUILDING CORNER & ON GARAGE DOOR JAMBS!  
(SEE FLOOR PLANS FOR LOCATIONS)



ALL STRAPPING ANCHORS, HOLD DOWNS, & ADHESIVES TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.

**SECOND FLOOR ATTACHMENT**  
REQUIRED FOR ALL NEW CONSTRUCTION AND SECOND FLOOR ADDITIONS!

**FIRST FLOOR ATTACHMENT**  
REQUIRED FOR ALL NEW CONSTRUCTION AND FIRST FLOOR ADDITIONS!

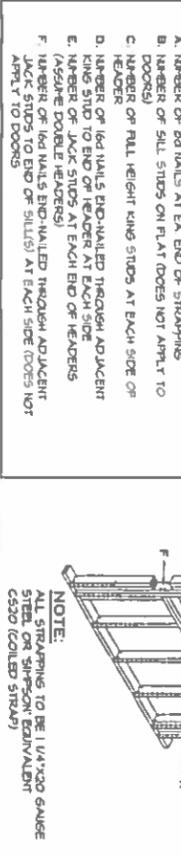
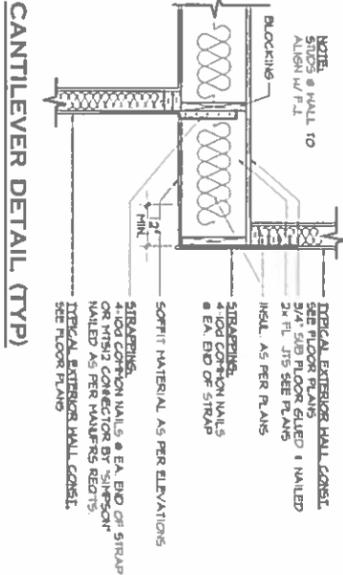
### NAILING & STRAPPING AT EXTERIOR WINDOW / DOOR HEADERS

REQUIRED FOR ALL NEW CONSTRUCTION AND/OR NEW ADDITIONS!

ROUGH OPENING REQUIREMENTS FOR WINDOW OPENINGS

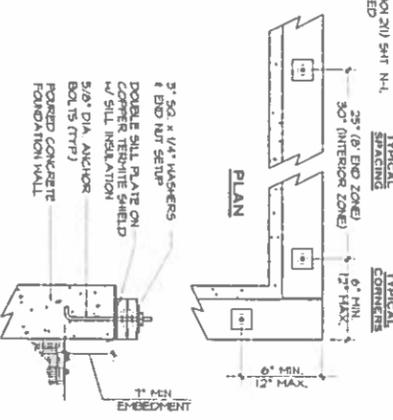
ROUGH OPENING	A	B	C	D	E	F
2'-0"	2	(1) 2x4	1	1	1	1
4'-0"	4	(1) 2x4	2	2	2	2
6'-0"	6	(2) 2x4 OR (1) 2x6	3	3	3	3
8'-0"	8	(2) 2x4 OR (1) 2x6	3	3	3	3
10'-0"	10	(2) 2x6	4	4	4	4
12'-0"	12	(2) 2x6	5	5	5	5

**NOTATIONS:**  
A. NUMBER OF 6d NAILS AT EA END OF STRAPPING  
B. NUMBER OF SILL STUDS ON FLAT (DOES NOT APPLY TO DOORS)  
C. NUMBER OF FULL HEIGHT KING STUDS AT EACH SIDE OF HEADER  
D. NUMBER OF 16d NAILS THROUGH ADJACENT KING STUD TO END OF HEADER AT EACH SIDE  
E. NUMBER OF JACK STUDS AT EACH END OF HEADERS (ASSUME DOUBLE HEADERS)  
F. NUMBER OF 16d NAILS END-NAILED THROUGH ADJACENT JACK STUDS TO END OF SILL(S) AT EACH SIDE (DOES NOT APPLY TO DOORS)



### ANCHOR BOLT SPECIFICATIONS

REQUIRED FOR ALL NEW CONSTRUCTION AND/OR NEW ADDITIONS!

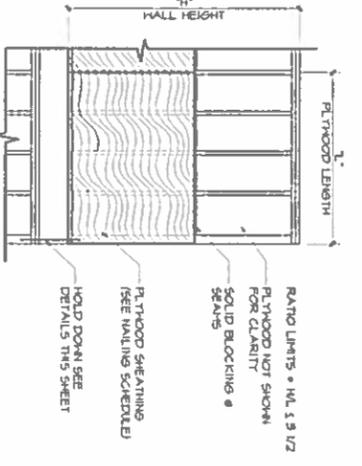
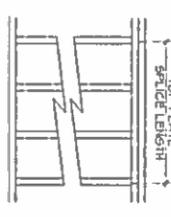


**NOTE:**  
1) USE 3/8" DIA ANCHOR BOLTS WITH MINIMUM 1" EMBEDMENT INTO CONCRETE IN AT LEAST 1/4" HASHERS AND END NUTS.  
2) ANCHORS NOTED HEREIN ARE NOT TO BE USED FOR OR REPLACED BY HOLD DOWNS FOR SHEARWALLS.  
3) ONE ANCHOR BOLT IS TO BE LOCATED BETWEEN 6" MINIMUM TO 12" MAXIMUM FROM BIDS AND CORNERS.

### SPlicing OF TOP PLATE

REQUIRED FOR ALL NEW CONSTRUCTION AND/OR NEW ADDITIONS!

BUILDING DIMENSION (FT.)	MINIMUM 1' TOP PLATE SPlice LENGTH	MINIMUM 2' TOP PLATE SPlice LENGTH
12'-0"	3'-0"	2'-0"
16'-0"	4'-0"	3'-0"
20'-0"	5'-0"	4'-0"
24'-0"	6'-0"	4'-0"
28'-0"	7'-0"	5'-0"
32'-0"	8'-0"	6'-0"
36'-0"	9'-0"	7'-0"
40'-0"	11'-0"	8'-0"
50'-0"	13'-0"	10'-0"
60'-0"	15'-0"	12'-0"
70'-0"	17'-0"	14'-0"
80'-0"	22'-0"	16'-0"



**NOTE:**  
1. SEALING AS PART OF SHEARWALL SEGMENT WERE NOTED ON FLOOR PLAN.  
2. SHEARWALL SEGMENT SHALL BE CONTINUED FROM SILL TO TOP PLATE OR ABOVE IT, BLOCKED AT JOINTS.  
3. REFER TO WALLING AND STRAPPING DETAILS SHEET FOR A CONTINUOUS LOAD PATH.

**SHEARWALL SEG. DETAIL (TYP)**

THIS DRAWING, PREPARED FOR THE SPECIFIC PROJECT INDICATED, IS AN INSTRUMENT OF SERVICE AND THE PROPERTY OF THOMAS D. BLORE ARCHITECT, P.C. IMPROVEMENT OR ANY USE OF THIS PROJECT IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.



60 CARLETON AVE. - STE. 202  
ISLIP TERRACE, N.Y. 11752  
P. (631) 277-2022  
F. (631) 277-6713  
TBlore@TDBArch.com

**THOMAS D. BLORE ARCHITECT, P.C.**

STRAPPING & MISC. DETAILS  
2023 NOV - 7 A 4 07  
Project Name & Address  
**INTERIOR ALTERATIONS**  
554 NASSAU AVENUE  
FREEPORT, NY 11520

Sheet # **N-2**  
Date 04/06/21  
Scale AS NOTED  
Project # 21-025  
Drawn By: AC







Village of Freeport - New v4.1 Svr  
CUSTOMER TRANSACTION RECEIPT  
TODAY'S DATE: 11/07/23  
CONTROL BATCH # 76730 DATE 11/08/2023  
BATCH # 25508 TIME 15:59  
RECEIPT # 447349 TELLER # 255  
CHECK # OFFICE # 1

THOMAS BLORE  
SITE PLAN REVIEW BOARD  
Pmt 225.00  
Payment Received:  
CHECKS 225.00  
Total Received 225.00  
Less Payments 225.00  
Cash Back .00

THANK YOU FOR YOUR PAYMENT

11/13/2023  
\$225.00

SP# 3685

INCORPORATED VILLAGE OF FREEPORT  
SITE PLAN REVIEW APPLICATION  
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 17 May Court ZONING DISTRICT Resident A  
SECTION 54 BLOCK 317 LOT 181 LOT SIZE: \_\_\_\_\_

<input type="checkbox"/> TENANT	<input checked="" type="checkbox"/> APPLICANT	<input type="checkbox"/> LESSEE	PROPERTY OWNER	
Name: <u>Mark Schnidman</u>			Name: <u>Mark Schnidman</u>	
Address: <u>17 May Court</u> <u>Freeport NY 11520</u>			Address: <u>17 May Court</u> <u>Freeport, NY 11520</u>	
Telephone #: <u>516 378 8954</u>			Telephone #: <u>516 378 8954</u>	

Attorney Name: \_\_\_\_\_ Address: \_\_\_\_\_  
(optional) Phone #: \_\_\_\_\_

Present Land Use: Residential Proposed Land Use: Residential

Description of Proposed Work: Fixed and repair Steps

I request a preliminary meeting: \_\_\_\_\_ YES  NO

I request a waiver of the public hearing and hereby certify the following:  
A. The subject property is zoned Residence A or Residence AA.  
B. The proposed construction is not a new building or dwelling.  
C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.  YES \_\_\_\_\_ NO

[Signature]  
APPLICANT'S SIGNATURE  
Sworn to before me this 20<sup>TH</sup>  
day of OCTOBER, 2023  
Peggy M. Lester  
Notary Public

PEGGY M. LESTER 10/20/23  
DATE  
Notary Public, State of New York  
No. 01LE6293122  
Qualified in Nassau County  
Commission Expires Nov. 25, 2025

Property Owner's Consent:  
I, \_\_\_\_\_ am (are) the owner(s) of the subject property and consent to the filing of this application.

[Signature]  
PROPERTY OWNER'S SIGNATURE  
Sworn to before me this 20<sup>TH</sup>  
day of OCTOBER, 2023  
Peggy M. Lester  
Notary Public

PEGGY M. LESTER 10/20/23  
DATE  
Notary Public, State of New York  
No. 01LE6293122  
Qualified in Nassau County  
Commission Expires Nov. 25, 2025

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: _____ YES _____ NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	Approved _____ Denied _____ Date: _____
Planning Board Signature: _____	Date: _____



**INC. VILLAGE OF FREEPORT**

**Department of Buildings**

46 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK 11520  
(516) 377-2242  
FAX (516) 377-2493

E-MAIL [BUILDINGDEPT@FREEPORTNY.GOV](mailto:BUILDINGDEPT@FREEPORTNY.GOV)

ROBERT T. KENNEDY  
MAYOR

SERGIO A. MAURAS  
SUPERINTENDENT OF BUILDINGS

**SITE PLAN LETTER**  
October 4, 2023

Mark Schnidman  
17 May Court  
Freeport, NY 11520

RE: 17 May Court, Freeport, NY 11520  
Zoning District: Residence A Sec 54, Blk 317, Lot 181  
Building Permit Application #20233490  
Description: Replaced broken steps

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. Only after this initial appointment should the additional copies be made.

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the aforesaid sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the VILLAGE CLERK'S OFFICE at 377-2300.

Very truly yours,

Sergio A. Mauras  
Superintendent of Buildings  
/Daniela Hernandez

c: Village Clerk

ZBA Approval Needed: Yes\_\_ No\_X

RECEIVED  
2023 10/13 P 2:59  
CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY

VILLAGE OF FREEPORT  
Department of Buildings  
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

~~---~~ The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.  
(See reasons below)

Project : Building Permit App. 20233490

Location: 17 May Court , Freeport NY 11520

Applicant: Mark Shnidman

Description : Replaced broken steps

Lead Agency: Department of Buildings  
for the Board of Trustees  
Village of Freeport  
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:  
Superintendent of Buildings  
(516) 377-2242

**REASON(S) FOR DETERMINATION**

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) \_\_\_\_\_

B) Possible environment effects identified:  
(only if positive determination)

Dated: October 4, 2023

Sergio A. Mauras

Sergio A. Mauras  
Superintendent of Buildings

**IMPORTANT:** This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

617.20  
Appendix B  
Short Environmental Assessment Form

**Instructions for Completing**

**Part I - Project Information.** The applicant or project sponsor is responsible for the completion of Part I. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part I based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part I. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part I - Project and Sponsor Information</b>							
Name of Action or Project:							
Project Location (describe, and attach a location map):							
Brief Description of Proposed Action:  <p style="text-align: center; font-size: 1.2em;">Fix Step.</p>							
Name of Applicant or Sponsor: <p style="font-size: 1.2em;">Mark Schwidman</p>		Telephone: 516 965-0959 E-Mail:					
Address: <p style="font-size: 1.2em;">17 May Court</p>							
City/PO: <p style="font-size: 1.2em;">Freeport</p>		State: <p style="font-size: 1.2em;">N.Y.</p>	Zip Code: <p style="font-size: 1.2em;">11520</p>				
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1" style="width: 100%; text-align: center;"> <tr> <td style="width: 50%;">NO</td> <td style="width: 50%;">YES</td> </tr> <tr> <td style="height: 30px;"> </td> <td style="height: 30px;"> </td> </tr> </table>	NO	YES		
NO	YES						
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			<table border="1" style="width: 100%; text-align: center;"> <tr> <td style="width: 50%;">NO</td> <td style="width: 50%;">YES</td> </tr> <tr> <td style="height: 30px;">✓</td> <td style="height: 30px;"> </td> </tr> </table>	NO	YES	✓	
NO	YES						
✓							
3.a. Total acreage of the site of the proposed action? _____ acres							
b. Total acreage to be physically disturbed? _____ acres							
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres							
4. Check all land uses that occur on, adjoining and near the proposed action.							
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)							
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____							
<input type="checkbox"/> Parkland							

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
b. Consistent with the adopted comprehensive plan?			
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
b. Are public transportation service(s) available at or near the site of the proposed action?			
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?			
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing potable water: _____	NO	YES	
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	NO	YES	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	
b. Is the proposed action located in an archeological sensitive area?			
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____			
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
16. Is the project site located in the 100 year flood plain?	NO	YES	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	NO	YES	
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____			

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____	NO	YES
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor name: <u>Mark Schoelman</u> Date: <u>10/20/23</u>		
Signature: _____		

**Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"**

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	✓	
2. Will the proposed action result in a change in the use or intensity of use of land?	✓	
3. Will the proposed action impair the character or quality of the existing community?	✓	
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	✓	
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	✓	
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	✓	
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?	✓ ✓	
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	✓	
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	✓	

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Part 3 - Determination of significance.** The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

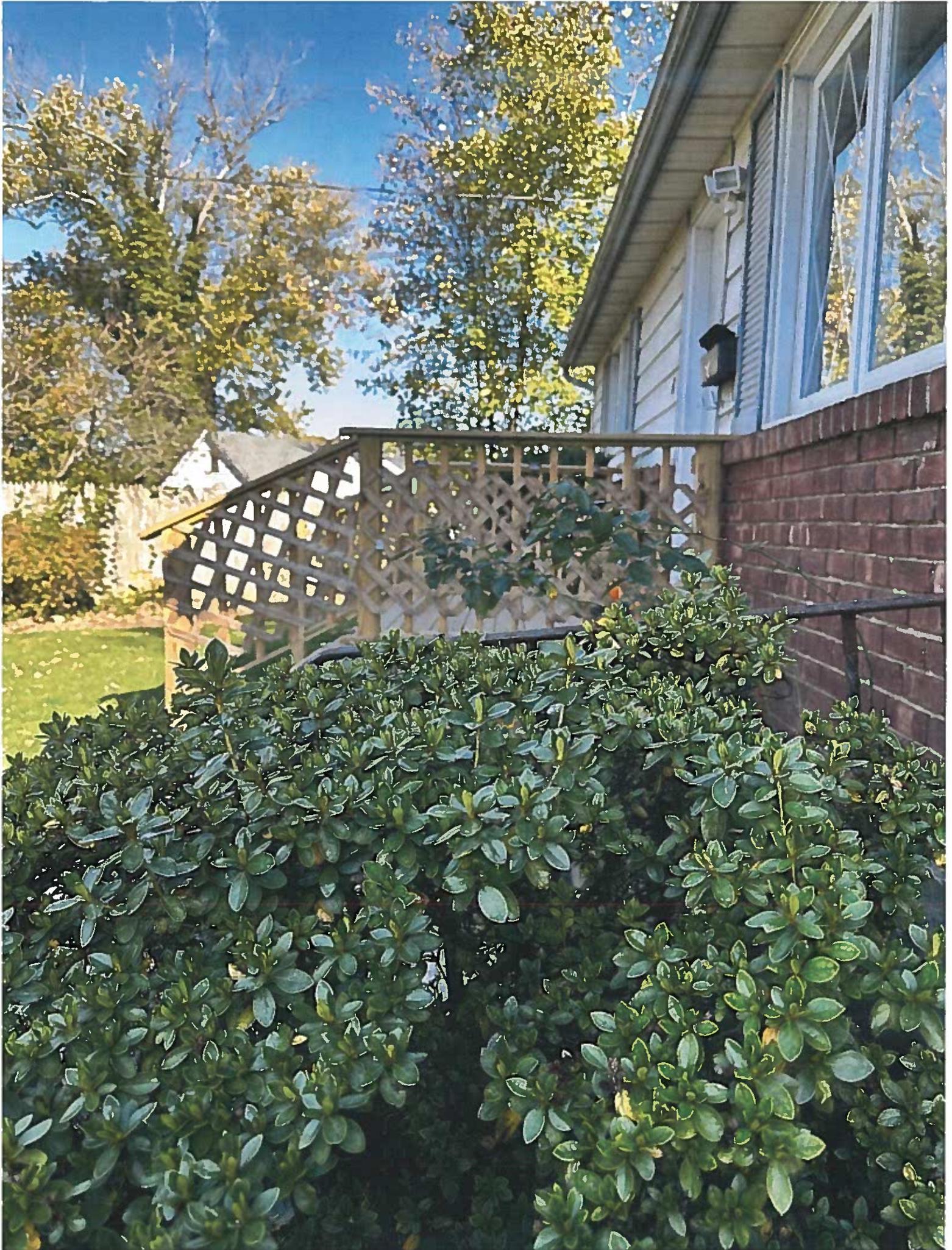
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)





17



















Application Date: 11/16/2023  
Fees Paid: \$225.00

SP# 3686

INCORPORATED VILLAGE OF FREEPORT  
SITE PLAN REVIEW APPLICATION  
PLANNING BOARD

NOTE: ACCEPTANCE OF THIS APPLICATION BY THE VILLAGE CLERK'S OFFICE DOES NOT CONSTITUTE A COMPLETE APPLICATION

PROPERTY ADDRESS: 75 Dehnhoff Ave ZONING DISTRICT Residence A  
SECTION 55 BLOCK 251 LOT 264 LOT SIZE: \_\_\_\_\_

<input type="checkbox"/> TENANT <u>APPLICANT</u> <input type="checkbox"/> LESSEE	PROPERTY OWNER
Name: <u>Mauli Peña</u>	Name: <u>Mauli Peña</u>
Address: <u>75 Dehnhoff Ave Freeport</u>	Address: <u>75 Dehnhoff Ave Freeport</u>
Telephone #: <u>516 710 1698</u>	Telephone #: <u>516 710 1698</u>

Attorney Name: \_\_\_\_\_ Address: \_\_\_\_\_  
(optional) Phone #: \_\_\_\_\_

Present Land Use: Residential Proposed Land Use: Residential

Description of Proposed Work: Enlargement of second floor, New windows, Portico, cellar entrance, add side walkway, repair front walkway modify existing concrete patio, and add new rear concrete patio

I request a preliminary meeting: \_\_\_\_\_ YES  NO

I request a waiver of the public hearing and hereby certify the following:

- A. The subject property is zoned Residence A or Residence AA.
- B. The proposed construction is not a new building or dwelling.
- C. It is my belief that the criteria contained in §209-7 of the Code of the Incorporated Village of Freeport are satisfied.  YES \_\_\_\_\_ NO

[Signature]  
APPLICANT'S SIGNATURE

11/8/23  
DATE

Sworn to before me this 8<sup>th</sup> day of November, 2023

[Signature]  
Notary Public  
MICHELLE ABAJIAN  
Notary Public, State of New York  
No. 01AB6142533  
Qualified in Nassau County  
Commission Expires March 20, 2026

Property Owner's Consent: \_\_\_\_\_ am (are) the owner(s) of the subject property and consent to the filing of this application.

[Signature]  
PROPERTY OWNER'S SIGNATURE

11/8/23  
DATE

Sworn to before me this 8<sup>th</sup> day of November, 2023

[Signature]  
Notary Public  
MICHELLE ABAJIAN  
Notary Public, State of New York  
No. 01AB6142533  
Qualified in Nassau County  
Commission Expires March 20, 2026

FOR VILLAGE USE ONLY

Site Plan Public Hearing Required: _____ YES _____ NO	Date of Hearing: _____ Date of Decision: _____
Village Clerk's Signature: _____	Approved _____ Denied _____ Date: _____
Planning Board Signature: _____	Date: _____

RECEIVED  
2023 NOV 16 A 10:51  
CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY  
RECEIVED  
2023 NOV 16 A 4:21  
CLERK'S OFFICE  
VILLAGE OF FREEPORT, NY



**INC. VILLAGE OF FREEPORT**

**Department of Buildings**

46 NORTH OCEAN AVENUE  
FREEPORT, NEW YORK 11520  
(516) 377-2242  
FAX (516) 377-2493

ROBERT T. KENNEDY  
MAYOR

E-MAIL [BUILDINGDEPT@FREEPORTNY.GOV](mailto:BUILDINGDEPT@FREEPORTNY.GOV)

SERGIO A. MAURAS  
SUPERINTENDENT OF BUILDINGS

**SITE PLAN LETTER**  
November 3, 2023

Marli Pena  
75 Dehnhoff Ave-  
Freeport, NY 11520

**RE: 75 Dehnhoff Ave -, Freeport, NY 11520**

**Zoning District: Residence A Sec. 55 Blk. 251 Lot. 264**  
**Building Permit Application #20233436**

**Description: – Enlargement of second floor (224.78sf), new windows, portico, cellar entrance, add side walkway, repair front walkway, modify existing concrete patio and add new rear concrete patio.**

Dear Sir/Madam:

The above referenced application was initially reviewed by the Building Department and it has been determined that in order to proceed with the application process, additional approval from the Site Plan Review Board will be required.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-3632 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's Office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Site Plan Review Board within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Site Plan Review Board Application, please call the VILLAGE CLERK'S OFFICE at 377-2300.

Very truly yours,

Sergio A. Mauras  
Superintendent of Buildings  
/Daniela Hernandez

c: Village Clerk

ZBA Approval Needed: Yes\_\_ No\_X\_

2023 NOV 15 A 14:21  
RECEIVED

VILLAGE OF FREEPORT  
Department of Buildings  
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.  
(See reasons below)

Project :

Building Permit App. 20233436

Location: 75 Dehnhoff Ave, Freeport NY 11520

Applicant: Marli Pena

Description : Enlargement of second floor (224.78sf), new windows, portico, cellar entrance, add side walkway, repair front walkway, modify existing concrete patio and add new rear concrete patio.

Lead Agency: Department of Buildings  
for the Board of Trustees  
Village of Freeport  
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:  
Superintendent of Buildings  
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A)

B) Possible environment effects identified:  
(only if positive determination)

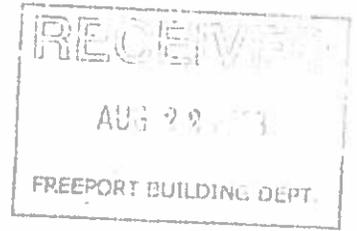
Dated: November 3, 2023

Sergio A. Mauras  
Sergio A. Mauras  
Superintendent of Buildings

**IMPORTANT:** This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

2023 NOV 16 A 4:21  
RECEIVED  
VILLAGE OF FREEPORT  
DEPARTMENT OF BUILDINGS

617.20  
Appendix B  
Short Environmental Assessment Form



**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>			
RESIDENTIAL ALTERATION (1-FAMILY)			
Name of Action or Project: NORTH SIDE OF DEHNHOFF AVE.			
75 DEHNHOFF AVE ; 66.53' WEST OF GRAFFING PLACE.			
Project Location (describe, and attach a location map):			
Brief Description of Proposed Action: ENLARGEMENT OF SECOND FLOOR, TO MATCH FIRST FLOOR FOOTPRINT, NEW ROOF, COMPLETE INTERIOR RENOVATION, PLUMBING AND ELECTRIC AS PER DRAWINGS			
Name of Applicant or Sponsor:		Telephone:	
		E-Mail:	
Address:			
City/PO:		State:	Zip Code:
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?			NO
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			YES
2. Does the proposed action require a permit, approval or funding from any other governmental Agency?			NO
If Yes, list agency(s) name and permit or approval: BUILDING PERMIT FROM VIL. OF FREEPORT			YES
3.a. Total acreage of the site of the proposed action?		.175	acres
b. Total acreage to be physically disturbed?		.053	acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		.175	acres
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban	<input type="checkbox"/> Rural (non-agriculture)	<input type="checkbox"/> Industrial	<input type="checkbox"/> Commercial
<input type="checkbox"/> Forest	<input type="checkbox"/> Agriculture	<input type="checkbox"/> Aquatic	<input checked="" type="checkbox"/> Residential (suburban)
<input type="checkbox"/> Parkland	<input type="checkbox"/> Other (specify): _____		

RECEIVED

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?		<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?		<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing potable water: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban	2023 110		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES <u>CUTTERS &amp; LEADERS TO SPLASH BLOCKS @ GRADE.</u>	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

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18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor name: <u>PATRICK A. HAMMOND, PA</u>		Date: <u>8/16/23</u>
Signature: <u>[Signature]</u>		

**Part 2 - Impact Assessment.** The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

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	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?		
11. Will the proposed action create a hazard to environmental resources or human health?		

**Part 3 - Determination of significance.** The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

RECEIVED  
 2023 NOV 16 A 4:21  
 CLERK'S OFFICE  
 VILLAGE OF FALLS CHURCH, VA

<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

- Black roof
- Indigo blue Vinyl siding horizontal
- white windows
- Grey ~~Porcelain~~ <sup>Puzzle</sup> stone and concrete stairs
- Side walkway Concrete
- front walkway Concrete
- Entrance Cellar Block and concrete
- Black rails <sup>4 spindle</sup> for Cellar entrance.
- no shutters

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CLERK'S OFFICE  
VILLAGE OF FINE FURNACE



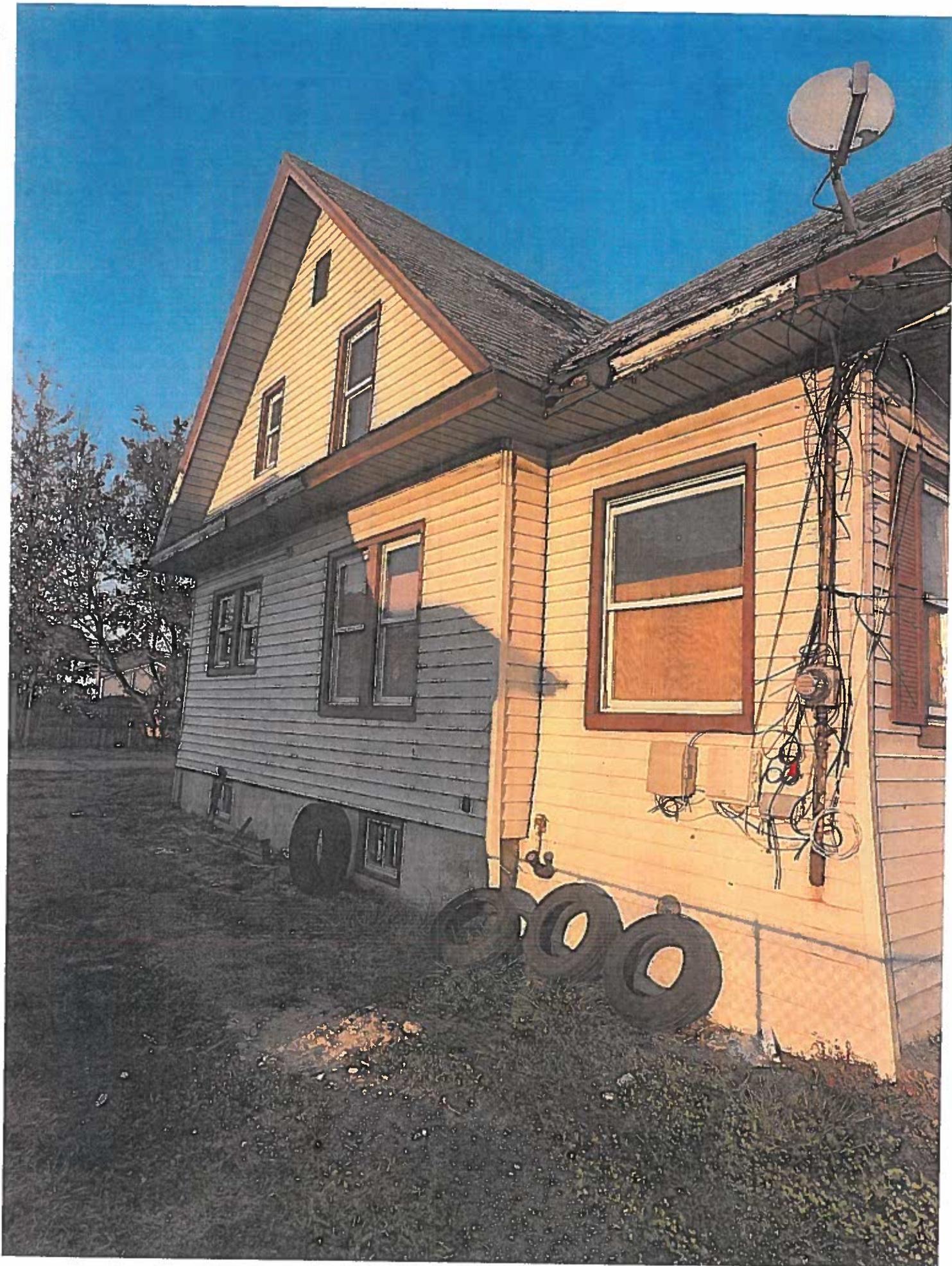
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2023 NOV 16  
CITY OF  
VILLAGE OF

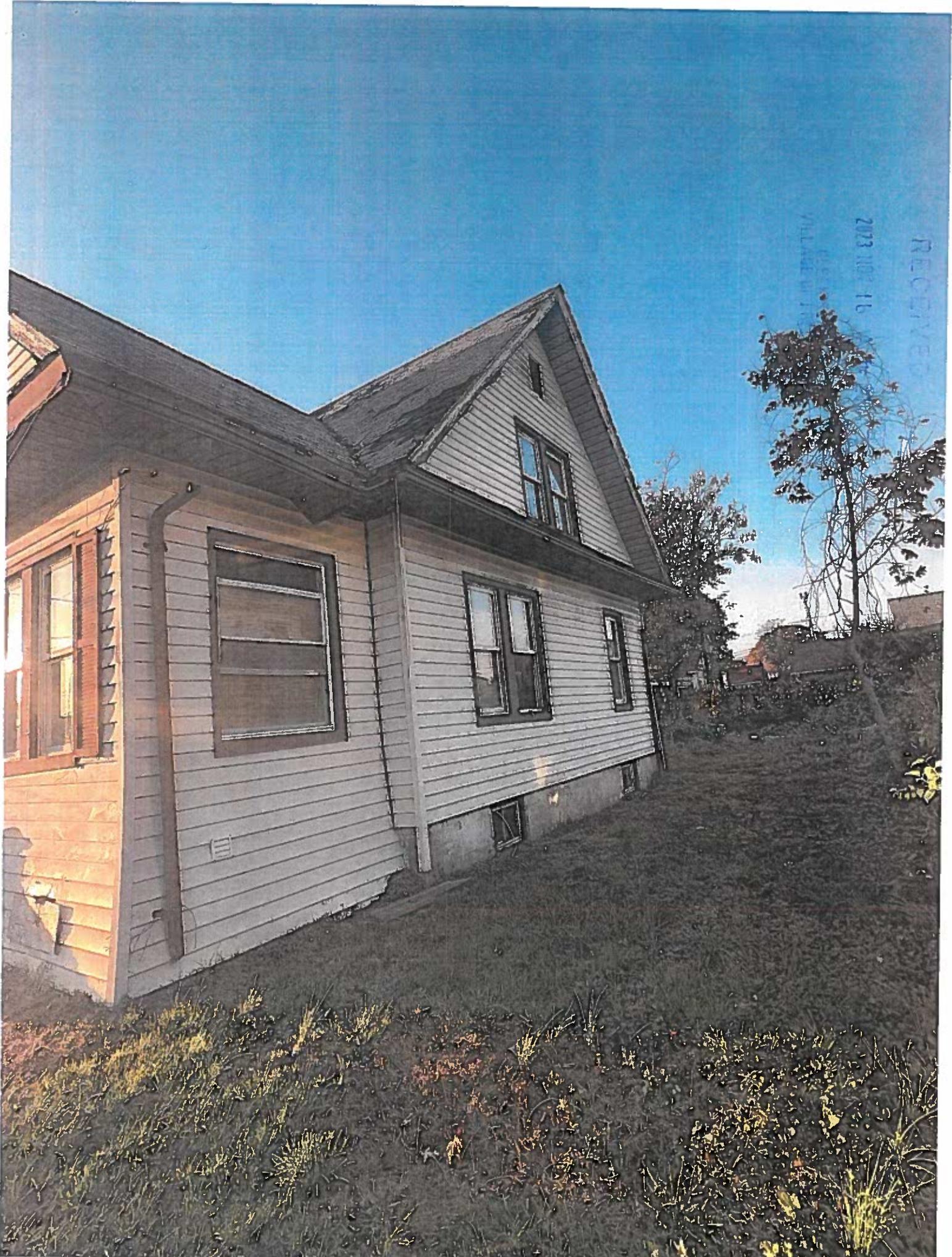


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2023 NOV 16 AM

CLERK  
VILLAGE OF





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2023 NOV 16

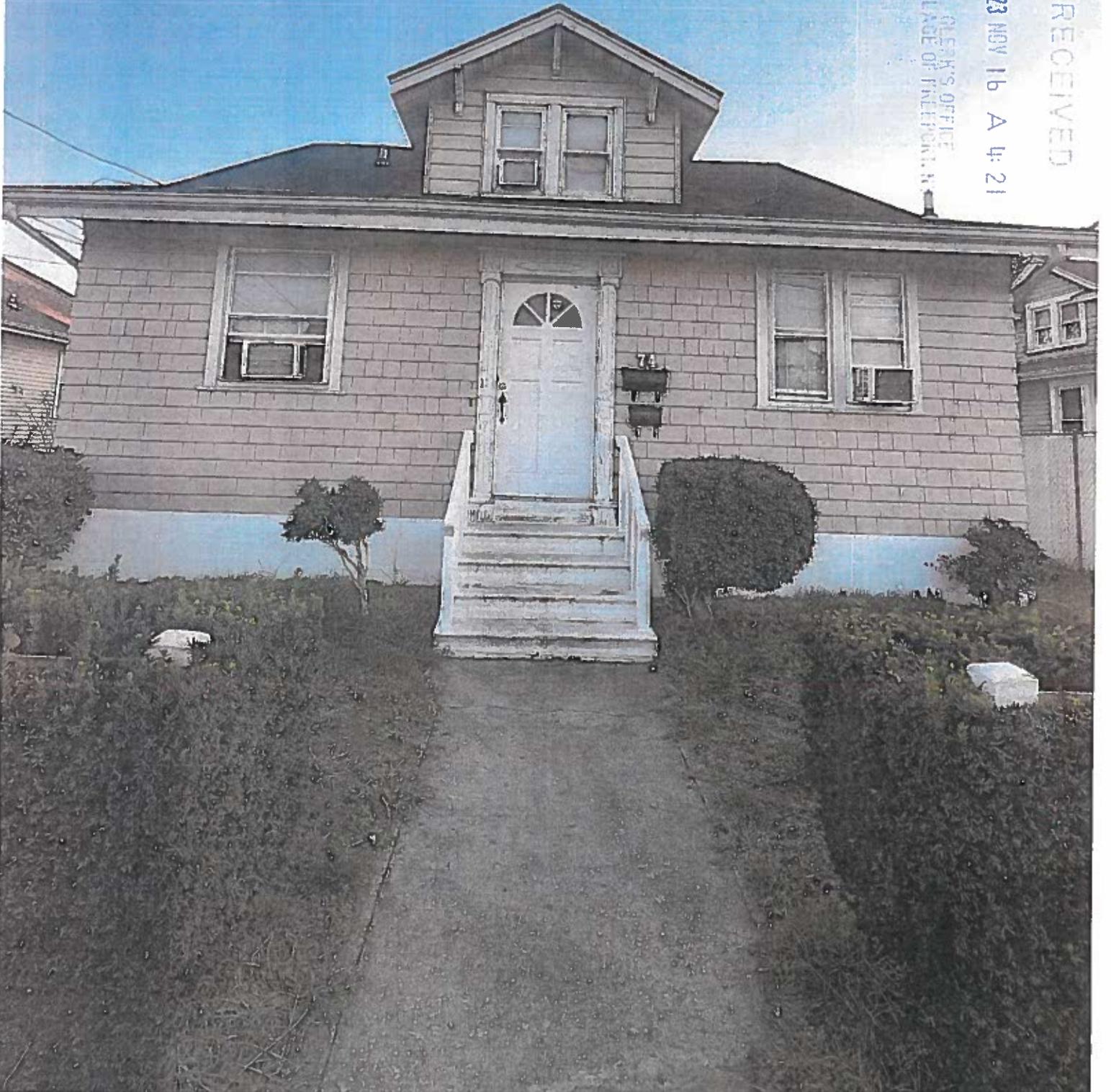
VALLEY HILL



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2023 NOV 16 A 4:21

CLERK'S OFFICE  
VILLAGE OF FLEMINGTON, N.J.





RECEIVED  
2023 NOV 16 AM 11:00  
PROPERTY OFFICE  
VILLAGE OF BELLINGHAM

BEWARE  
DOG



2023  
CLEVELAND  
VILLAGE



RECEIVED  
2023 NOV 16 A 4:2  
CLERK'S OFFICE  
VILLAGE OF FORTHOVA

RECEIVED

2023 NOV 16 A 4: 21

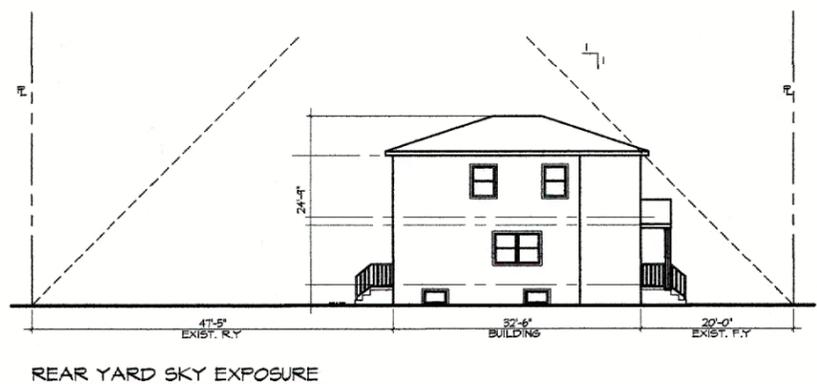
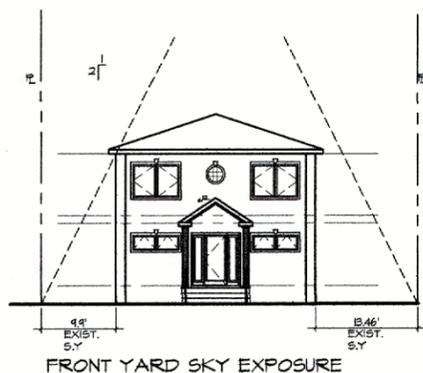
CLERK'S OFFICE  
VILLAGE OF HILLSDALE, NY



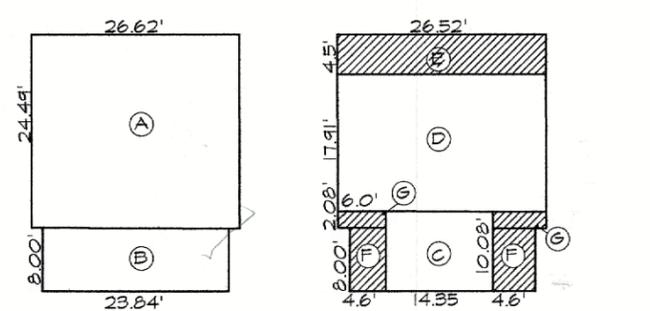
**ZONING INFORMATION**

ZONING DATA:		
RESIDENCE 'A'	REQUIRED/ ALLOWED	PROPOSED
MIN. LOT AREA:	MIN. 5000 SF.	5000 SF. (EXISTING)
MIN. LOT WIDTH	50	50 (EXISTING)
LOT COVERAGE; ( MAIN BUILDING)	30% 5000 X 30% = 1500 SF	842 SF (NO CHANGE)
FLOOR AREA RATIO:	MAX. OF 50% (.5)(5000) = 2500 SF	EXISTING 842 SF PROPOSED 1684 SF (SEE DIAGRAM)
FRONT YARD	Front yard depth: minimum 20 feet or the average depth of all residential front yards on the same side of the street within two hundred 200 feet in either direction, whichever is greater, but in no case more than 40 feet.	20'-0" (NO CHANGE)
SIDE YARD	Side yards width: minimum five feet; the sum of the width of the two side yards shall, at minimum, equal 25% of the lot width.  (.25)(50)=12.5 FT	1 @ 9.9' (EXISTING) 1 @ 13.46' (EXISTING)  TOTAL OF 23.36 FT
HEIGHT	35' HEIGHT 3-STY	PROPOSED HEIGHT 24'-9" 2-STY
SKY EXPOSURE PLANE	SKY EXPOSURE PLANE  1. ALONG THE FRONT AND REAR PEROPERTY LINE, A SEP PITCH OF ONE UNIT VERTICAL TO ONE UNIT HORIZONTAL. 2. ALONG SIDE PROPOERTY LINES, A SEP PITCH OF TWO UNITS VERTICAL TO ONE UNIT HORIZONTAL.	

**SKY EXPOSURE**

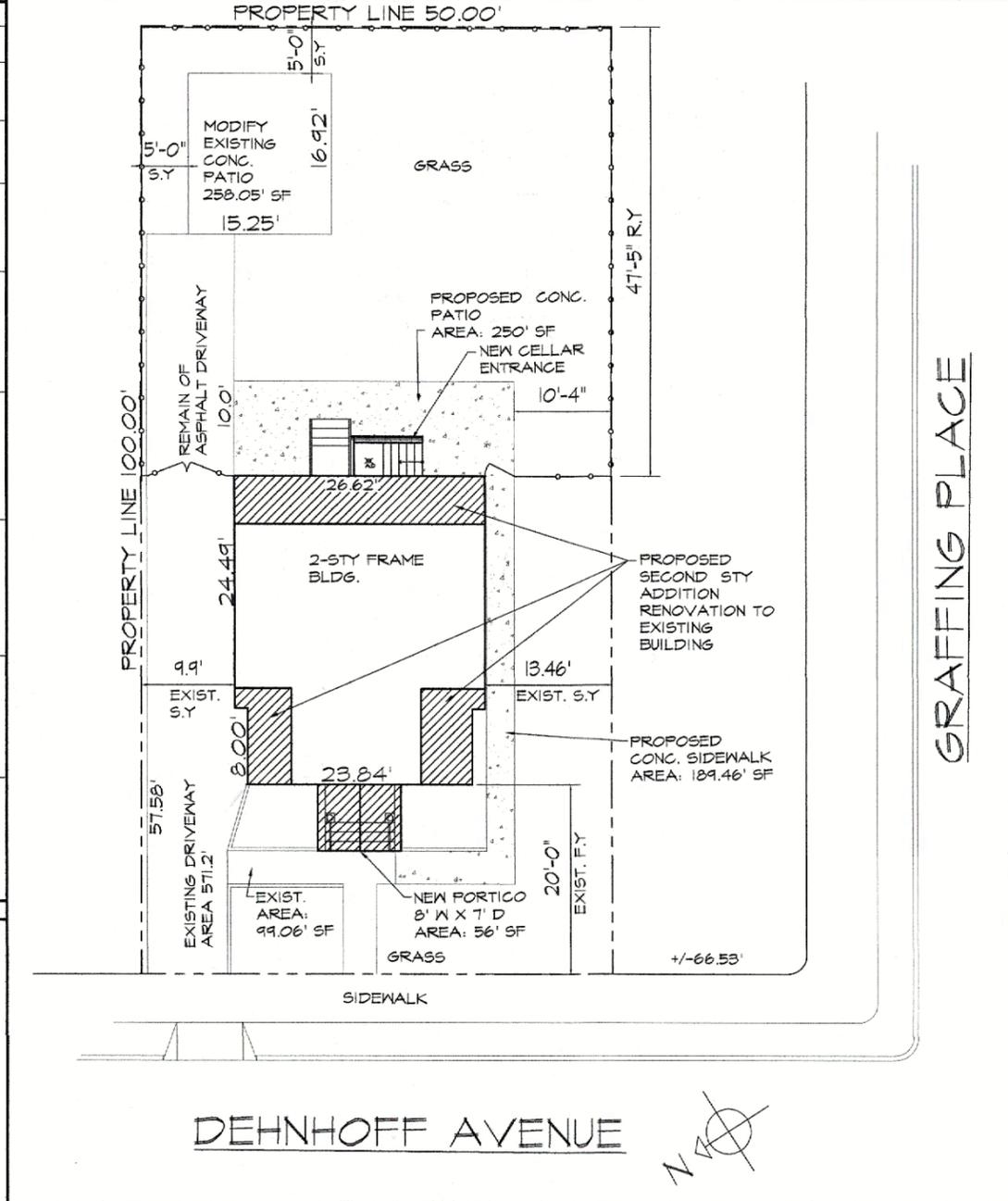


**FLOOR CALCULATION & DIAGRAMS.**

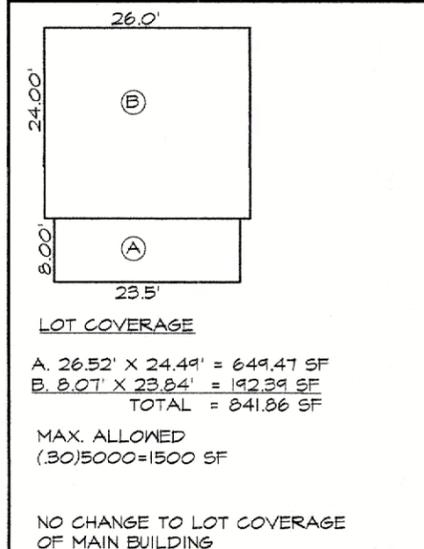


<b>FIRST FLOOR</b> EXISTING	<b>SECOND FLOOR</b> EXISTING
A. 26.52' X 24.49' = 649.47 SF	C. 14.35' X 10.08' = 142.13' SF
B. 8.07' X 23.84' = 192.39 SF	D. 17.91' X 26.52' = 474.97' SF
TOTAL = 841.86 SF	TOTAL = 617.1 SF
<b>TOTAL = 841.86 SF = 842 SF</b>	<b>PROPOSED ADDITION:</b>
	E. 4.6' X 26.52' = 121.9' SF
	F. (2) 8.0' X 4.87' = 77.92 SF
	G. (2) 2.08' X 6.0' = 24.96 SF
	TOTAL = 224.78' SF
	<b>TOTAL = 841.86 SF = 842 SF</b>

**PLOT PLAN: 1/8" = 1'-0"**



**LOT COVERAGE:**



**DRAWING LIST:**

- 1 OF 8 Z-100.00 ZONING, LOT COVERAGE, REMOVAL PLAN
- 2 OF 8 A-100.00 REMOVAL PLAN
- 3 OF 8 A-101.00 EXSITNS ELEVATION
- 4 OF 8 A-102.00 FIRST, SECOND, DOOR AND WINDOW SCHEDULE
- 5 OF 8 A-103.00 ELEVATIONS
- 6 OF 8 A-104.00 SECTION, ROOF PLAN AND PLUMBING DIAGRAM
- 7 OF 8 A-105.00 DETAILS
- 8 OF 8 A-106.00 DETAILS
- 9 OF 9 NS-100.00 NOTES

PROJECT: **RESIDENTIAL ALTERATION**

ADDRESS: 75 DEHNHOFF AVENUE  
FREEPORT, NY 11520

OWNER: Melvin Mendez and Marli Pena

ARCHITECT: **HAMMOND ARCHITECTURE**  
136-44C QUEENS BLVD. SUITE 101  
BRIARWOOD, NY 11435  
Tel: (718) 757-0002 Fax: (718) 426-9489  
EMAIL: INFO@HAMMONDARCHITECTURE.NYC

NO.	DATE	DESCRIPTION
1	8-17-23	FILED W D.O.B
2	10-4-23	PER PLAN EXAMINER COMMENTS

BLOCK: 251  
LOT: 264  
SECTION: 55

DOB JOB NUMBER: 16 A 21

DOB APPROVAL STAMP

SEAL & SIGNATURE: PATRICK ANTHONY HAMMOND, REGISTERED ARCHITECT

SHEET TITLE: ZONING, LOT COVERAGE,

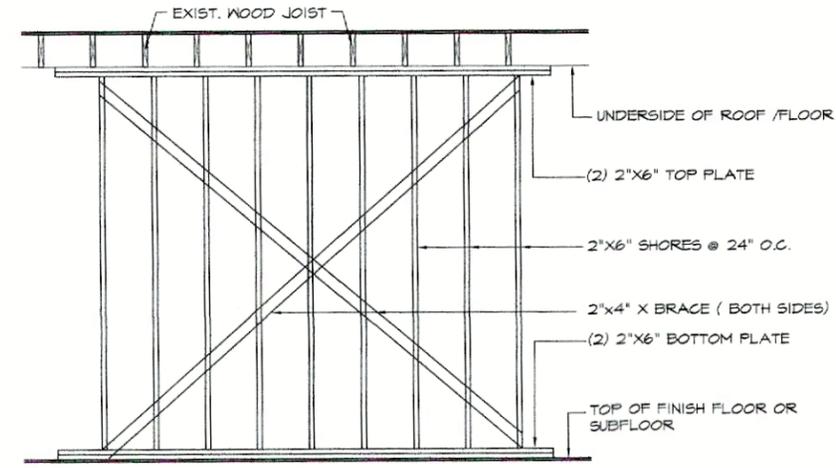
SCALE: AS NOTED  
DATE: 8-18-23  
DRAWN BY: M.F.D  
CHECKED BY: P.A.H  
PROJECT NO: 2023-19  
DWG NO: Z-100.00

SHEET# 1 OF 9

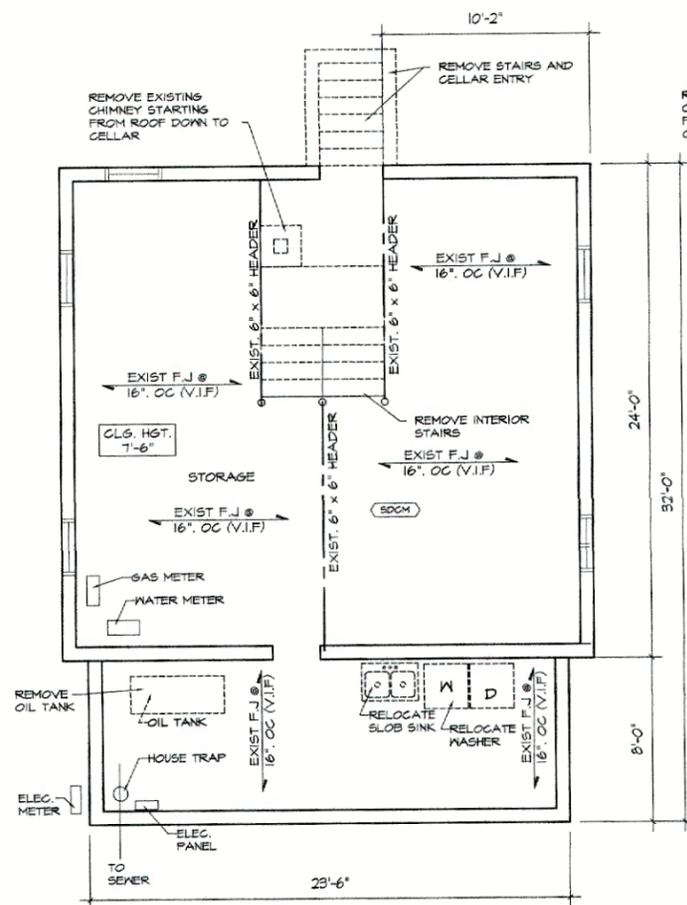
**GENERAL REMOVAL NOTES**

1. DEMOLISH AND REMOVE EXISTING CONDITIONS, NOTED HEREIN AND AS REQUIRED FOR THE INSTALLATION OF THE NEW WORK. PROTECT EXISTING CONDITIONS THAT ARE TO REMAIN. ANY ITEMS REMOVED WHICH WERE TO REMAIN OR ARE DAMAGED DURING DEMOLITION WILL BE REPLACED, RESTORED OR REPAIRED TO MATCH EXACTLY THE ITEMS DAMAGED OR REMOVED AT THE CONTRACTOR'S EXPENSE.
2. NOTIFY NEIGHBORING BUILDINGS PRIOR TO START OF DEMOLITION. DOCUMENT EXISTING CONDITION OF NEIGHBORING BUILDINGS AND COORDINATE WITH THEM ON THE DEMOLITION WORK. PROTECT ADJACENT BUILDINGS. ANY DAMAGED ITEMS WILL BE REPLACED OR REPAIRED AS PER NOTE #1 ABOVE.
3. PROVIDE ALL SHORING AND OR BRACING REQUIRED FOR THE PROTECTION OF THE STRUCTURE AND ADJACENT PROPERTIES DURING DEMOLITION. PROVIDE DUST AND SOUND CONTROL. PROVIDE ALL REQUIRED FIRE CONTROL EQUIPMENT. DO NOT DISCONNECT WATER SERVICE UNTIL DEMOLITION IS COMPLETE
4. COMPLY WITH ALL NEW YORK STATE AND NEW YORK CITY LAWS AND/OR REGULATIONS. PROVIDE ALL REQUIRED PERMITS. REMOVE AND DISPOSE OF ALL OIL TANKS IN COMPLIANCE WITH NEW YORK STATE REGULATIONS. PROVIDE ALL FINAL APPROVALS FROM ALL REQUIRED GOVERNMENTAL AGENCIES. PROVIDE REQUIRED CONTROLLED INSPECTIONS.
5. REMOVE ALL DEBRIS FROM THE SITE QUICKLY AND DISPOSE OF LEGALLY.
6. REFER TO ARCHITECT ALL ITEMS WHICH MAY BE IN QUESTION BEFORE THEY ARE REMOVED. NOTIFY ARCHITECT OF ANY PREVIOUSLY UNDOCUMENTED OR UNANTICIPATED EXISTING CONDITIONS.
7. ALL REMOVAL DEBRIS IS TO BE REMOVED FROM THE SITE. THE BUILDING AND SITE IS TO BE LEFT CLEAN AT THE COMPLETION OF DEMOLITION.
8. REMOVE AND DISPOSE OF LEGALLY ALL ASBESTOS AS REQUIRED BY CITY, STATE AND FEDERAL AGENCIES. FILE ALL PAPERWORK AND PROVIDE OWNER WITH COPIES.

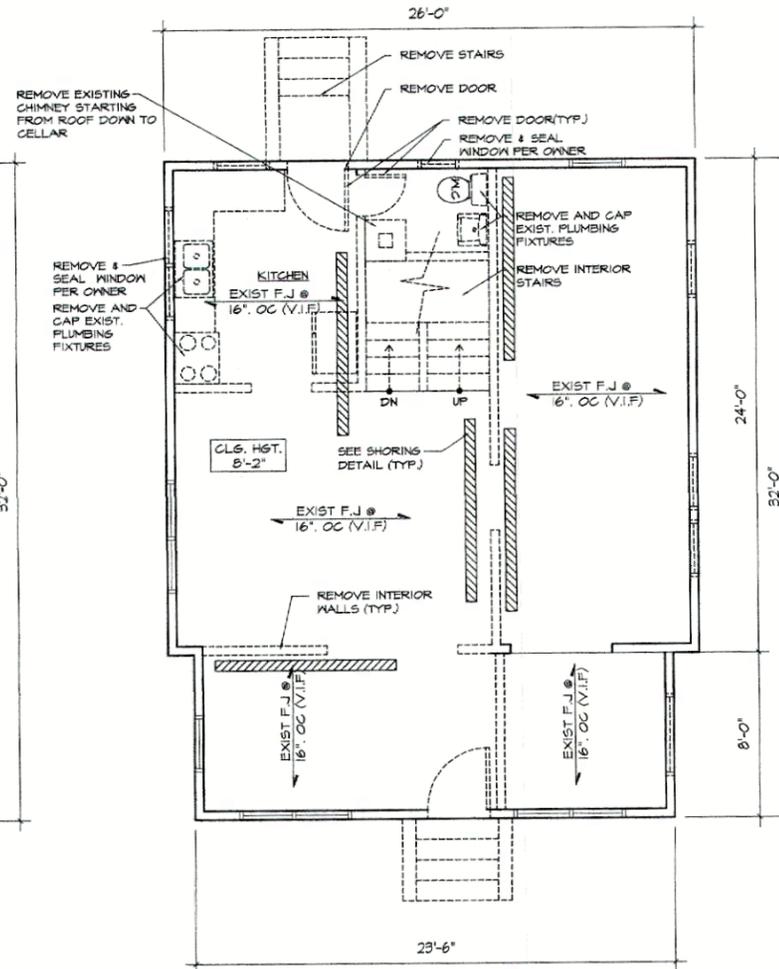
NOTE:  
DEMOLITION DRAWINGS ARE SCHEMATIC AND ARE NOT INTENDED TO SHOW EVERY ITEM REQUIRING REMOVAL AND DISPOSAL. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL REQUIRED DEMOLITION TO COMPLETE THE WORK.  
CONTRACTOR TO ESTABLISH DEMOLITION PHASING TO BE APPROVED BY ARCHITECT & OWNER PRIOR TO COMMENCING WORK.



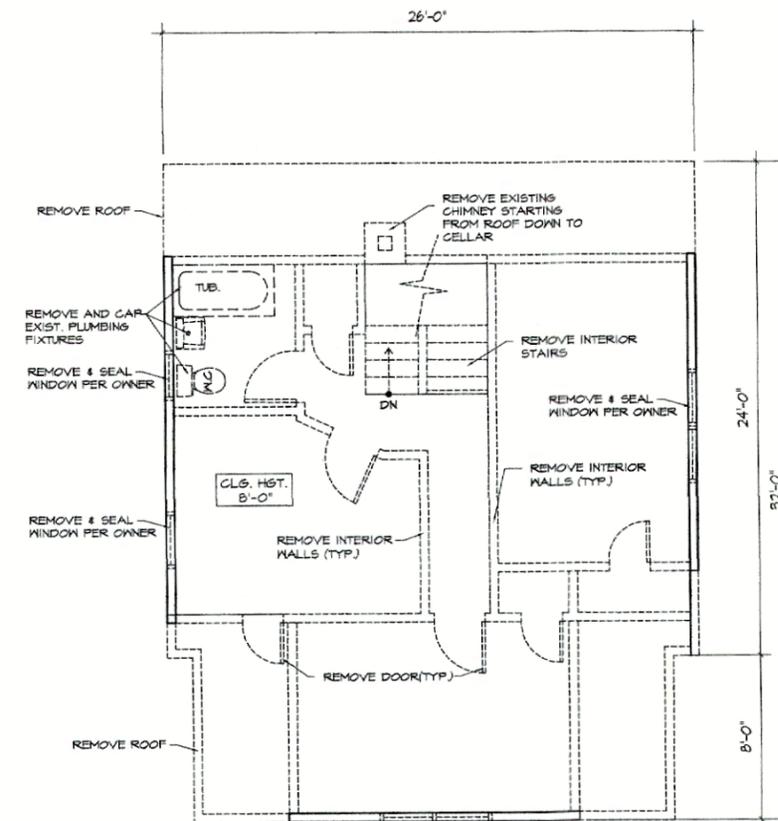
**TYPICAL SHORING DETAIL**  
SCALE: N.T.S.



**CELLAR REMOVAL PLAN**  
SCALE= 1/4" = 1'-0"



**FIRST FLOOR REMOVAL PLAN**  
SCALE= 1/4" = 1'-0"

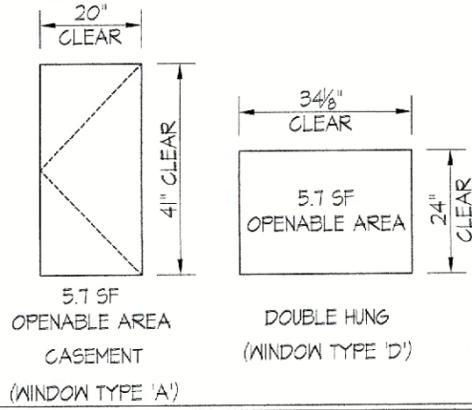


**SECOND FLOOR REMOVAL PLAN**  
SCALE= 1/4" = 1'-0"

<b>PROJECT</b>		
<b>RESIDENTIAL ALTERATION</b>		
ADDRESS: 75 DEHNHOFF AVENUE FREEPORT, NY 11520		
OWNER: Melvin Mendez and Marli Pena		
ARCHITECT: <b>HAMMOND ARCHITECTURE</b> 138-44C QUEENS BLVD, SUITE 101 BUSHY PARK, NY 11435 TEL: (718) 151-0003 FAX: (718) 426-4483 EMAIL: INFO@HAMMONDARCHITECTURE.NY		
NO:	DATE:	DESCRIPTION:
1	8-17-23	FILED W/ D.O.B
2	10-4-23	PER PLAN EXAMINER COMMENTS
BLOCK: 251		
LOT: 264		
SECTION: 55		
DOB JOB NUMBER		
DOB APPROVAL STAMP		
SEAL & SIGNATURE OF NEW YORK STATE REGISTERED ARCHITECT <b>WATRICK ANTHONY HAMMOND</b> LICENSE NO. 019548		
SHEET TITLE: REMOVAL PLANS		
SCALE: AS NOTED		
DATE: 8-17-23		
DRAWN BY: M.F.D		
CHECKED BY: P.A.H		
PROJECT NO: 2023-19		
DWS NO:		
A-100.00		
SHEET# 2 OF 4		



EGRESS WINDOW (MIN. OPENING)  
PER R-310.2.1 OF 2021 IRC



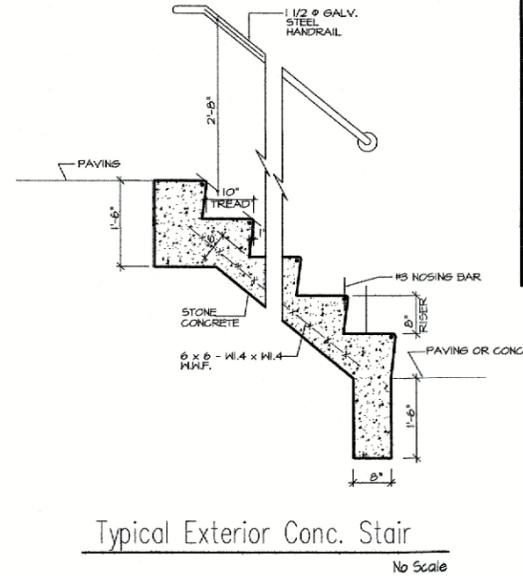
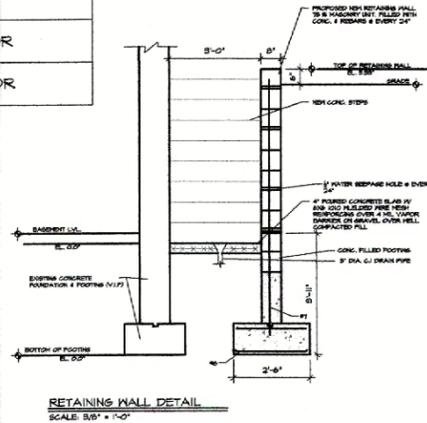
DOOR SCHEDULE

NO.	SIZE	QTY.	MATERIAL	HEADER	REMARKS
①	3'-0" X 6'-8"	1	CUSTOM	(2) 2 X 8 HEADER	FRONT DOOR W/ SIDE LITES
②	(2) 2'-0" X 6'-8"	6	H.C WOOD	(2) 2 X 8 HEADER	CL. / BATHROOM
③	2'-6" X 6'-8"	4	H.C WOOD	(2) 2 X 8 HEADER	BEDROOM
④	(2) 2'-0" X 6'-8"	7	H.C WOOD	(2) 2 X 8 HEADER	CL.
⑤	3'-0" X 6'-8"	1	H.C WOOD	(2) 2 X 8 HEADER	BACK DOOR
⑥	3'-0" X 6'-8"	1	H.C WOOD	(2) 2 X 8 HEADER	STEEL DOOR

WINDOW SCHEDULE

NO.	SIZE	QTY.	MODEL	TYPE	LINTELS	
A	(2) 2'-11 1/8" X 3'-4 1/8"	2	AR3221	AWING	(2) 2 X 8 HEADER	ANDERSEN WINDOWS OR EQUAL
B	2'-7 3/8" X 4'-0"	3	TW26310 (EGRESS WINDOW)	DOUBLE HUNG	(2) 2 X 8 HEADER	
C	2'-7 3/8" X 3'-7/8"	6	TW26210	DOUBLE HUNG	(2) 2 X 8 HEADER	
D	(2) 2'-7 1/2" X 4'-0"	2	TW26310 (EGRESS WINDOW)	DOUBLE HUNG	(2) 2 X 8 HEADER	

NOTE: ALL WINDOWS TO BE DOUBLE GLAZED WITH LOW E GLASS & ARGON GAS  
OWNER SHALL BE RESPONSIBLE FOR REPLACE WINDOW ORDER AND FIELD V.I.F AND COORDINATE WITH GENERAL CONTRACTOR.



LEGEND

- EXIST'G CONSTRUCTION TO REMAIN
- EXTS CONSTRUCTION & ITEMS TO BE REMOVED
- NEW 2x4 WOOD STUD @ 16\"/>
- EXTERIOR WALL 2 X 6 STUD @ 16\"/>
- COMBINATION SMOKE & CARBON MONOXIDE DETECTOR
- BEAM - HEADER

PROJECT

RESIDENTIAL ALTERATION

ADDRESS:

75 DEHNHOFF AVENUE  
FREEPORT, NY 11520

OWNER:

Melvin Mendez  
and Marlii Pena

ARCHITECT:

**HAMMOND ARCHITECTURE**  
136-44C QUEENS BLVD, SUITE 101  
DRIARWOOD, NY 11435  
Tel: (718) 757-0002 Fax: (718) 426-1489  
EMAIL: INFO@HAMMONDARCHITECTURE.NYC

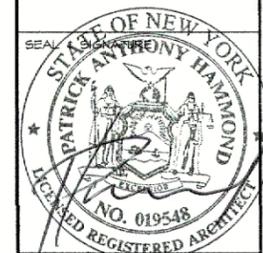
NO. DATE DESCRIPTION

1	8-18-23	FILED W D.O.B
2	10-4-23	PER PLAN EXAMINER COMMENTS

BLOCK: 251  
LOT: 264  
SECTION: 55

DOB JOB NUMBER

DOB APPROVAL STAMP



SHEET TITLE:

FLOOR PLANS, DETAIL,  
DOOR AND WINDOW  
SCHEDULE

SCALE: AS NOTED

DATE: 8-18-23

DRAWN BY: M.F.D

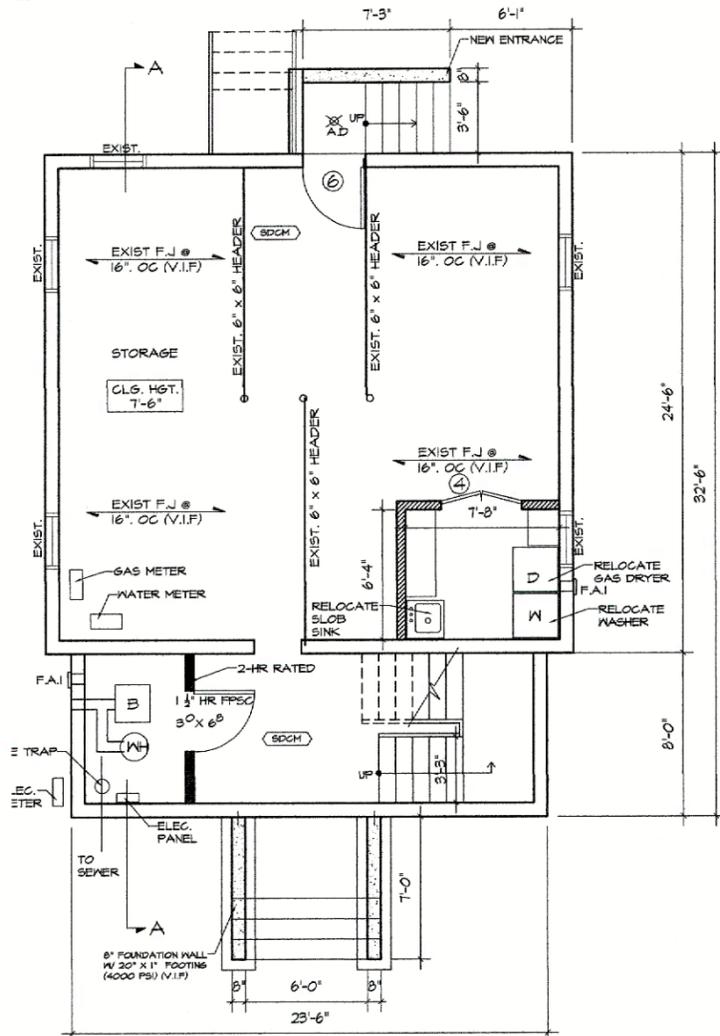
CHECKED BY: P.A.H

PROJECT NO: 2023-19

DWG NO:

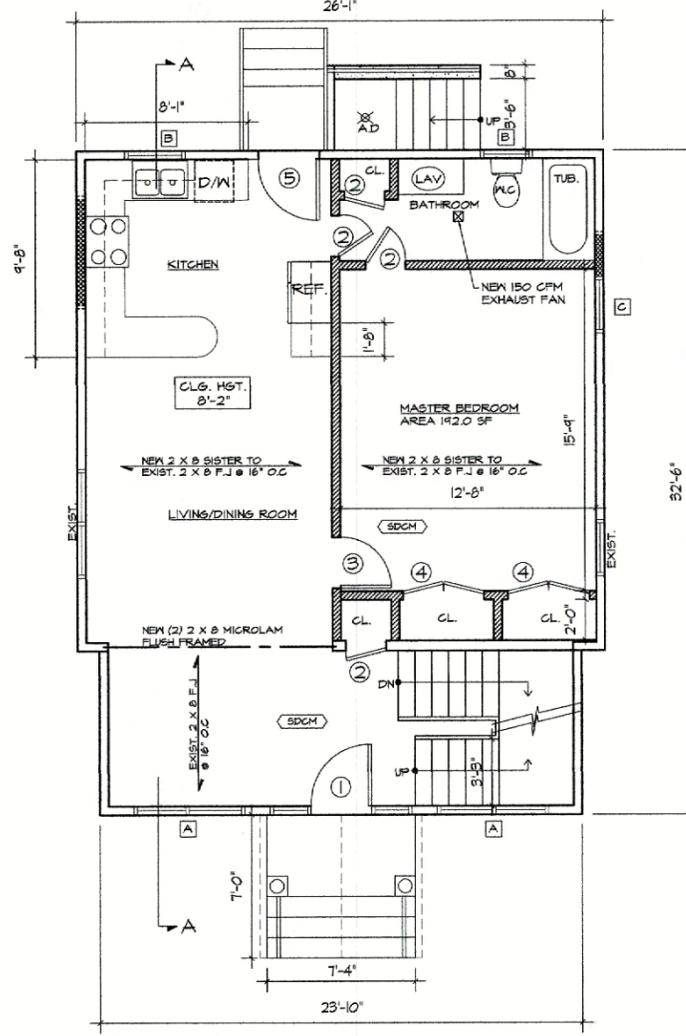
A-102.00

SHEET# 4 OF 9



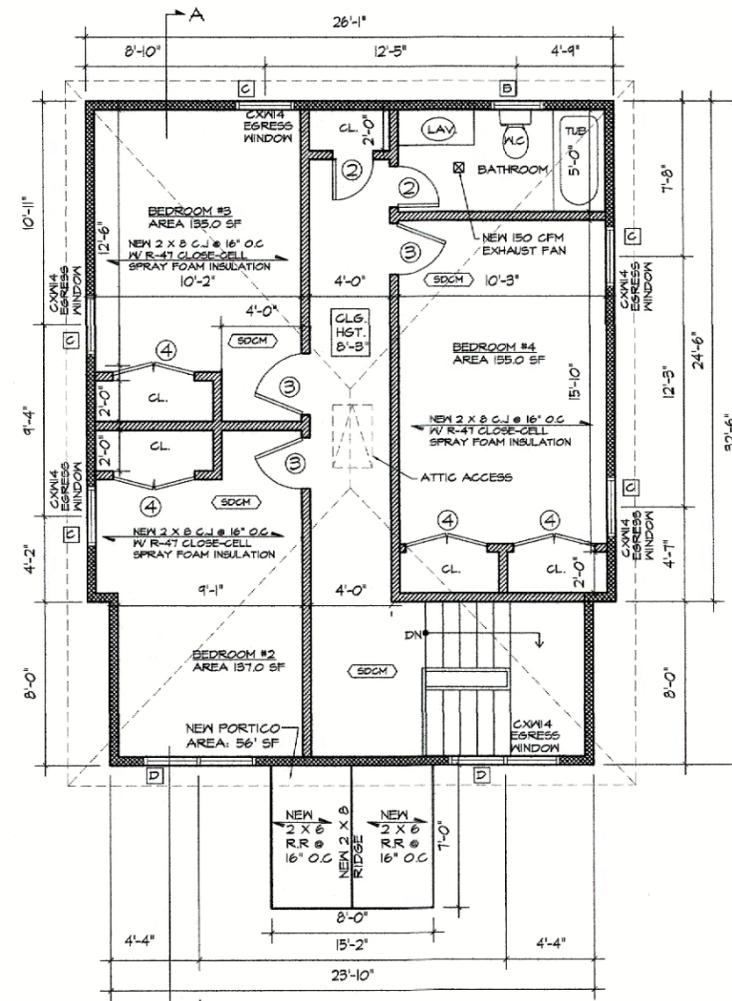
PROPOSED CELLAR PLAN

SCALE= 1/4" = 1'-0" AREA: 842 SF



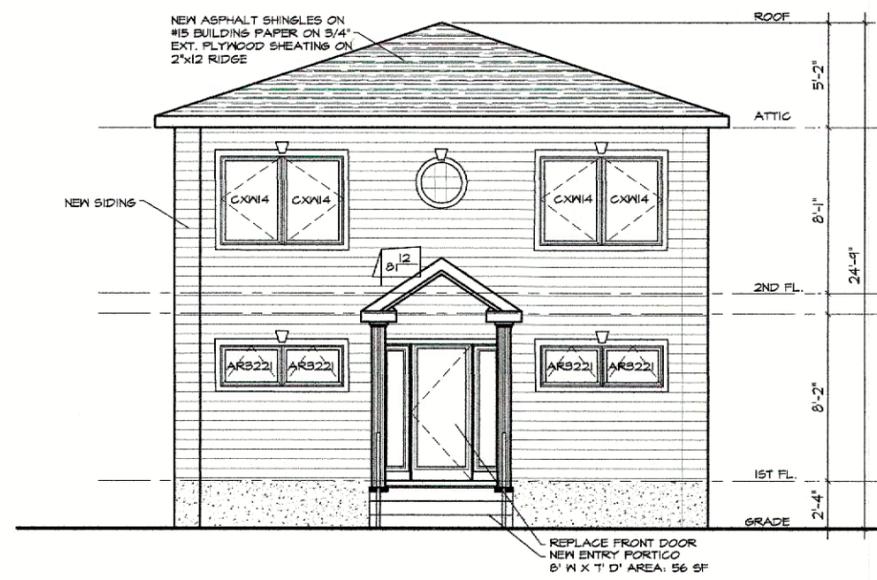
PROPOSED FIRST FLOOR PLAN

SCALE= 1/4" = 1'-0" AREA: 842 SF

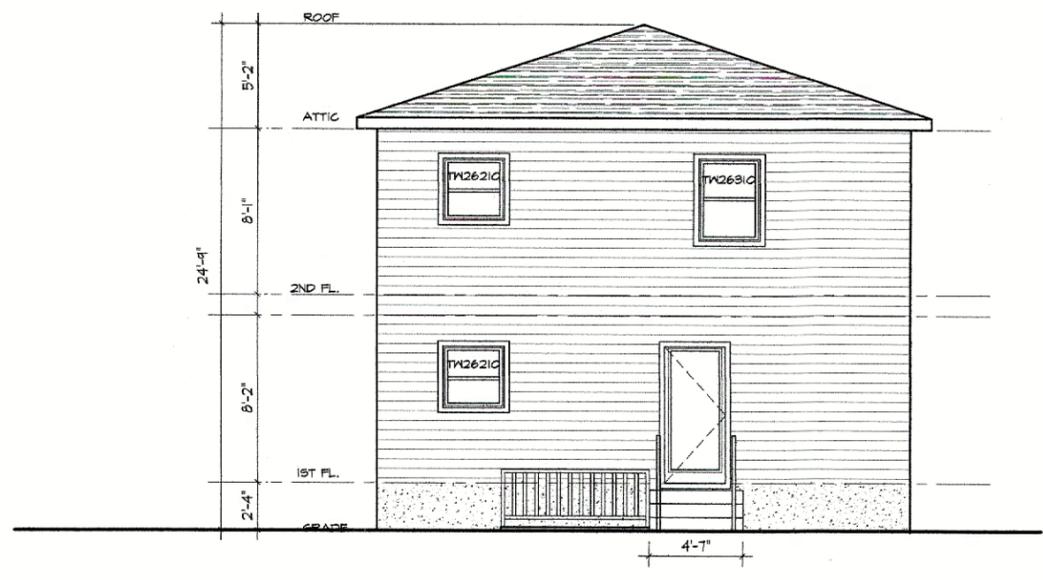


PROPOSED SECOND FLOOR PLAN

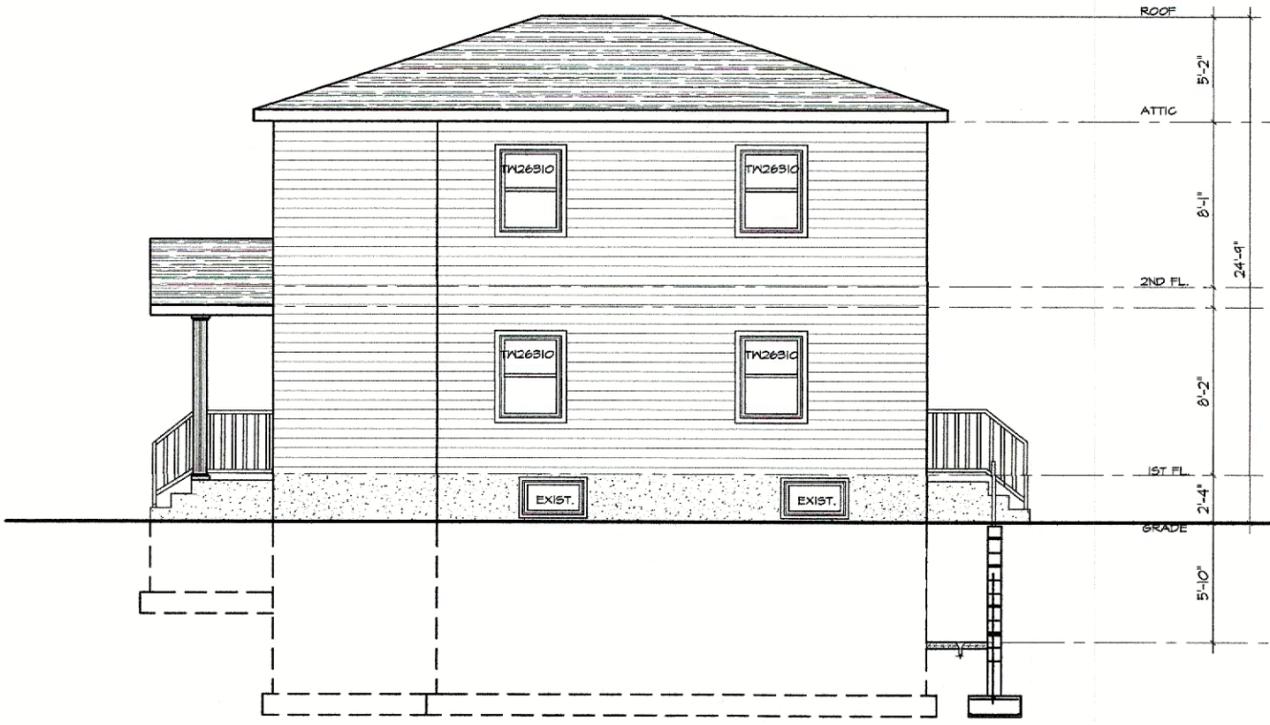
SCALE= 1/4" = 1'-0" AREA: 842 SF



PROPOSED FRONT ELEVATION  
SCALE = 1/4" = 1'-0"



PROPOSED REAR ELEVATION  
SCALE = 1/4" = 1'-0"



PROPOSED RIGHT ELEVATION  
SCALE = 1/4" = 1'-0"



PROPOSED LEFT ELEVATION  
SCALE = 1/4" = 1'-0"

PROJECT  
**RESIDENTIAL ALTERATION**

ADDRESS:  
75 DEHNOFF AVENUE  
FREEPORT, NY 11520

OWNER:  
Melvin Mendez  
and Marli Pena

ARCHITECT:  
**HAMMOND ARCHITECTURE**  
130-44C QUEENS BLVD. SUITE 101  
BRIARWOOD, NY 11435  
Tel: (718)-757-0002 Fax: (718)-426-1488  
E-MAIL: INFO@HAMMONDARCHITECTURE.NYC

NO.	DATE	DESCRIPTION
1	8-18-23	FILED W D.O.B
2	10-4-23	PER PLAN EXAMINER COMMENTS

BLOCK: 251  
LOT: 264  
SECTION: 55

DOB JOB NUMBER  
16 A 22

DOB APPROVAL STAMP

RECEIVED  
16 APR 22

STATE OF NEW YORK  
PATRICK ANTHONY HAMMOND  
REGISTERED ARCHITECT  
NO. 019548

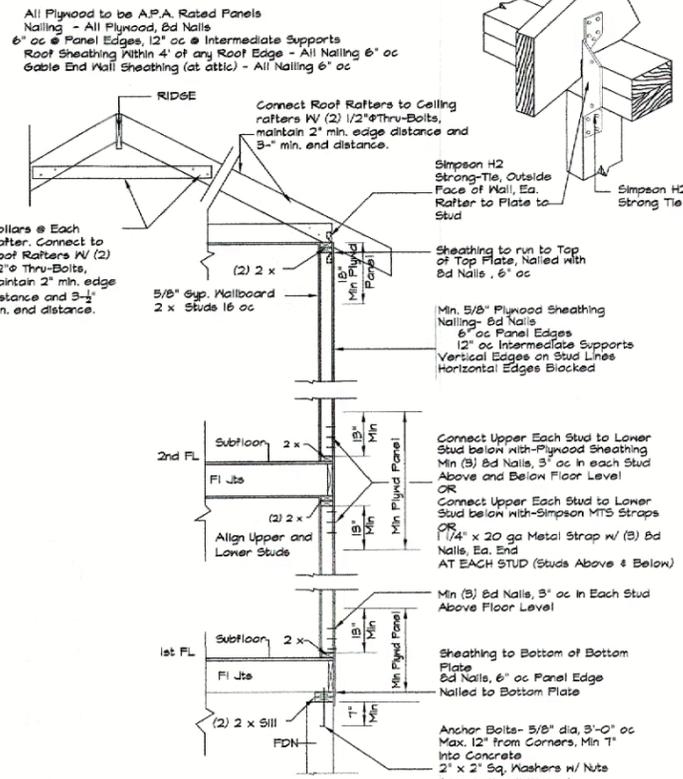
SHEET TITLE:  
**PROPOSED ELEVATIONS**

SCALE: AS NOTED  
DATE: 8-18-23  
DRAWN BY: M.F.D  
CHECKED BY: P.A.H  
PROJECT NO: 2023-19  
DWG NO:  
**A-103.00**

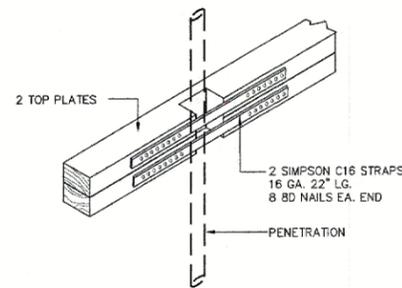
SHEET# 5 OF 9



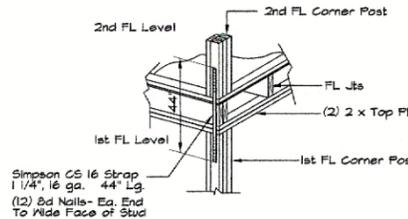
**STANDARD FRAMING DETAILS**



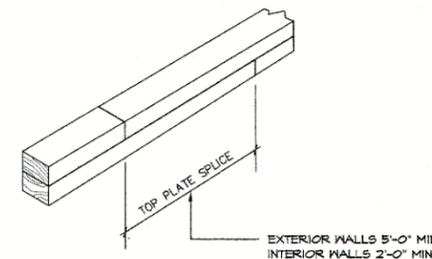
**TYPICAL EXTERIOR WALL CONNECTIONS**  
NO SCALE



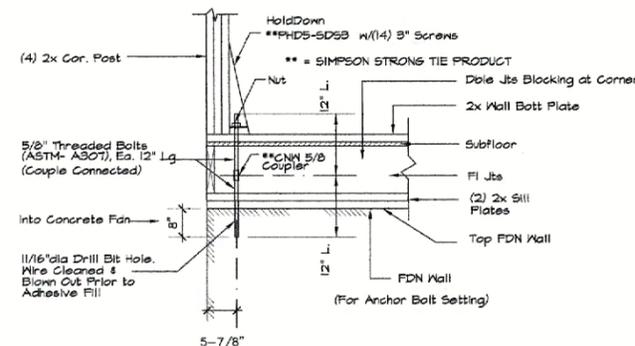
**TYPICAL TOP PLATE NOTCH INTERIOR & EXTERIOR WALLS**



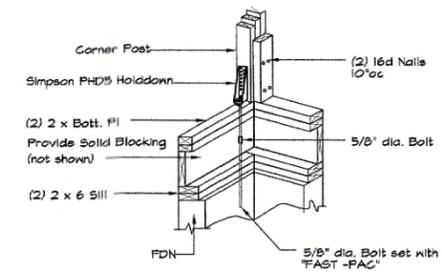
**2nd FL To 1st FL Corner Post Tie Down Located @ Corner Holddown Locations**



**TYPICAL WALL SPLICE**

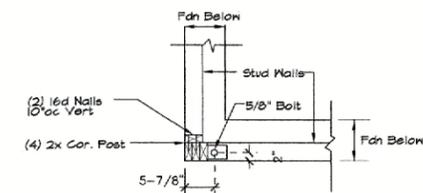


**ELEVATION TYPICAL CORNER HOLDDOWN - SIMPSON PHD5-SDS3**

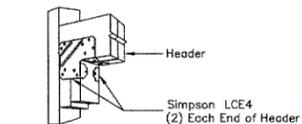


**Simpson PHD5-SDS3 Holddown Corner View**

Anchor Bolt Installed in Foundation After Sill Plate is in Place and Corner Post Location Above is Determined



**CORNER PLAN**



Provide Header Bracket for EXTERIOR WALL HEADERS 6 ft. or Greater Span

**GENERAL STRUCTURAL NOTES:**

- DOUBLE JOISTS UNDER ALL PARTITIONS PARALLEL TO FRAMING. PROVIDE DOUBLE HEADER JOISTS AT ALL OPENINGS. FLOOR JOISTS SHALL BE DOUBLED AT END RUNS, BATHTUBS AND AS SHOWN ON THE DRAWINGS. INVESTIGATE EXISTING FRAMING. IF EXISTING FRAMING DOES NOT COMPLY, RETROFIT PER ABOVE.
- ALL STUD FRAMING HAVING AN UNSUPPORTED HEIGHT OF MORE THAN 10 FEET IS TO HAVE STUD BRIDGING OR IS TO BE OTHERWISE BRACED IN AN APPROVED MANNER AT INTERVALS NOT EXCEEDING 8 FEET.
- ALL HORIZONTAL FRAMING BEARING ON BEAMS, GIRDERS OR PLATES OF BEARING PARTITIONS SHALL BE LAPPED MINIMUM OF 4".
- ALL JOISTS SHALL HAVE METAL CROSS BRIDGING 8" - 0" ON CENTER MAXIMUM OR SOLID BRIDGING.
- ALL STUD BEARING WALLS ARE TO HAVE STUD BRIDGING AT MID HEIGHT.
- ALL FOUNDATION SILL PLATES SHALL REST ON 16 OZ. COPPER TERMITE SHIELD AND SILL PLATE INSULATION. PLATES SHALL BE TREATED FOR MOIST CONDITIONS.
- ALL STUD MEMBERS SHALL BE DOUGLAS-FIR KILN DRIED SELECT, STRUCTURAL 1b=1900 PSI, MODULUS OF ELASTICITY OF 1,760,000.
- ALL SHEATHING AND SUB FLOORING SHALL BE SPECIES GROUP ONE, EXTERIOR GRADE, THICKNESS AS INDICATED ON DRAWINGS.
- INSTALL DIAGONAL BRACING AT CORNERS OF EXTERIOR STUD WALLS OR PLYWOOD SHEATHING NAILED TO COMPLY WITH BUILDING CODE REQUIREMENTS.
- FLASH, CAULK AND SEAL ALL JUNCTIONS OF NEW ROOFING, WALLS AND PENETRATIONS, TO FORM A WATERTIGHT ASSEMBLY, ALL FLASHING TO BE 16 OUNCE COPPER SHEETING AND EXTEND AT LEAST 8" ABOVE INTERSECTING SURFACES.
- ALL WIDE FLANGE STEEL MEMBERS SHALL BE ASTM A572 GRADE 50 STEEL (TYP.).
- ALL OTHER STEEL SHALL BE TYPE A36.
- ALL INTERIOR AREAS SUBJECT TO MOISTURE AND HIGH HUMIDITY SHALL BE FINISHED WITH CEMENTITIOUS WALL BOARD.
- RAFTER HEEL CUTS SHALL NOT EXCEED 4". WHERE JOISTS ARE NOTCHED TO HEADERS SO AS TO REDUCE THE DEPTH OF BEAM, ONLY BRIDLE IRONS OR METAL CONNECTORS ARE TO BE USED.
- ALL WALL SHEATHING SHALL BE 3/4" CDX PLYWOOD UNLESS OTHERWISE NOTED.
- GYPSUM BOARD ON CEILINGS TO BE U.S. GYPSUM 1 LAYER OF 5/8" WITH ALL JOINTS TAPED AND SPACKLED 3 COAT JOB W/ SKIM COAT.
- GYPSUM BOARD ON WALLS TO BE U.S. GYPSUM 1 LAYER OF 5/8" WITH ALL JOINTS TAPED AND SPACKLED 3 COAT JOB W/ SKIM COAT.
- ROOF FRAMING: SUPPORT RIDGES AND HIPs WITH 4 x 4 POST AT EACH END TYPICAL UNLESS OTHERWISE NOTED.
- ALL CEILING JOISTS BELOW RIDGE OR HIP POSTS SHALL BE DOUBLED.
- INCIDENTAL OR SMALLER ROOFS SHALL BE OVER FRAMED ON THE MAIN ROOF WHERE REQUIRED TYPICAL.
- ALL FLUSH FRAMING SHALL BE SIMPSON CONNECTED, SIZED AND NAILED IN ORDER TO SUPPORT THE REACTIVE LOAD OF THE MEMBER SUPPORTED.
- BLOCKING SHALL BE PROVIDED IN THE FRAMING TO SUPPORT LEADERS, GUTTERS, FASCIA ENDS, GYPSUM WALLBOARD EDGES AND CORNERS, TOILET ACCESSORIES, CABINETS, CASINGS, ETC.
- INSTALL FIRE STOPPING AT ALL REQUIRED LOCATIONS TO COMPLY WITH GOVERNING BUILDING CODES.
- PROVIDE FIRE RATED ASSEMBLIES AS CALLED FOR ON DRAWINGS.
- ALL ROOF EAVES, RAFTERS SPACES ABOVE INSULATION AND UNHEATED ATTIC SPACES SHALL BE VENTED AS INDICATED.
- ALL ROOF SHEATHING SHALL BE 3/4" CDX PLYWOOD UNLESS OTHERWISE NOTED.

PROJECT  
**RESIDENTIAL ALTERATION**

ADDRESS:  
75 DEHNHOFF AVENUE  
FREEPORT, NY 11520

OWNER:  
Melvin Mendez  
and Marli Pena

ARCHITECT:  
**HAMMOND ARCHITECTURE**  
135-44C QUEENS BLVD, SUITE 101  
BRIARWOOD, NY 11435  
Tel: (718) 757-0022 Fax: (718) 426-9489  
EMAIL: INFO@HAMMONDARCHITECTURE.COM

NO.	DATE	DESCRIPTION
1	8-18-23	FILED W/ D.O.B.
2	10-4-23	PER PLAN EXAMINER COMMENTS

BLOCK: 251  
LOT: 264  
SECTION: 55

DOB JOB NUMBER

DOB APPROVAL STAMP

RECEIVED  
NOV 16 A 4  
STATE OF NEW YORK  
MTRICIA ANTHONY HAMMOND  
REGISTERED ARCHITECT  
NO. 019548

SHEET TITLE:  
DETAILS

SCALE: AS NOTED  
DATE: 8-18-23  
DRAWN BY: M.F.D.  
CHECKED BY: P.A.H.  
PROJECT NO: 2023-19  
DWG NO:  
A-105.00

SHEET 7 OF 9

TABLE R402.4.1.1 AIR BARRIER AND INSULATION INSTALLATION		
COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
General requirements	A continuous air barrier shall be installed in the building envelope. The exterior thermal envelope contains a continuous air barrier. Breaks or joints in the air barrier shall be sealed.	Air-permeable insulation shall not be used as a sealing material.
Ceiling/attic	The air barrier in any dropped ceilings shall be aligned with the insulation and any gaps in the air barrier shall be sealed. Access openings, drop-down stairs or knee wall doors to unconditioned attic spaces shall be sealed.	The insulation in any dropped ceilings shall be aligned with the air barrier.
Walls	The junction of the foundation and sill plate shall be sealed. The junction of the top plate and the top of exterior walls shall be sealed. Knee walls shall be sealed.	Cavities within corners and headers of frame walls shall be insulated by completely filling the cavity with a material having a thermal resistance of R-3 per inch minimum. Exterior thermal envelope insulation for framed walls shall be installed in substantial contact and continuous alignment with the air barrier.
Windows, skylights and doors	The space between window/door frames and framing, and skylights and framing shall be sealed.	
Rim joists	Rim joists shall include the air barrier.	Rim joists shall be insulated.
Floors (including above garage and cantilevered floors)	The air barrier shall be installed at any exposed edge of insulation.	Floor framing cavity insulation shall be installed to maintain permanent contact with the underside of subfloor decking, or floor framing cavity insulation shall be permitted to be in contact with the top side of sheathing, or continuous insulation installed on the underside of the floor framing and extends from the bottom to the top of all perimeter floor framing members.
Crawl space walls	Exposed earth in unvented crawl spaces shall be covered with a class I vapor retarder with overlapping joints taped.	Where provided instead of floor insulation, insulation shall be permanently attached to the crawlspace walls.
Shafts, penetrations	Duct shafts, utility penetrations, and flue shafts opening to exterior or unconditioned space shall be sealed.	
Narrow cavities		Batts in narrow cavities shall be cut to fit, or narrow cavities shall be filled by insulation that on installation readily conforms to the available cavity space.
Garage separation	Air sealing shall be provided between the garage and conditioned spaces.	
Recessed lighting	Recessed light fixtures installed in the building thermal envelope shall be sealed to the drywall.	Recessed light fixtures installed in the building thermal envelope shall be air tight and IC rated.
Plumbing and wiring		Batt insulation shall be cut neatly to fit around wiring and plumbing in exterior walls, or insulation that on installation readily conforms to available space shall extend behind piping and wiring.
Shower/tub on exterior wall	The air barrier installed at exterior walls adjacent to showers and tubs shall separate them from the showers and tubs.	Exterior walls adjacent to showers and tubs shall be insulated.
Electrical/phone box on exterior walls	The air barrier shall be installed behind electrical or communication boxes or air-sealed boxes shall be installed.	
HVAC register boots	HVAC register boots that penetrate building thermal envelope shall be sealed to the subfloor or drywall.	
Concealed sprinklers	When required to be sealed, concealed fire sprinklers shall only be sealed in a manner that is recommended by the manufacturer. Caulking or adhesive sealants shall not be used to fill voids between fire sprinkler cover plates and walls or ceilings.	

TABLE R301.5 MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS (IN POUNDS PER SQUARE FOOT)	
USE	LIVE LOAD
Uninhabitable attics without storage <sup>a</sup>	10
Uninhabitable attics with limited storage <sup>b</sup>	20
Inhabitable attics and attics served with fixed stairs	30
Balconies (exterior) and decks	40
Fire escapes	40
Guards and handrails <sup>c</sup>	200
Guard-in-fill components <sup>d</sup>	50
Passenger vehicle garages	50
Rooms other than sleeping rooms	40
Sleeping rooms	30
Stairs	40

For 50: 1 pound per square foot = 0.0479 kPa, 1 square inch = 645 mm<sup>2</sup>, 1 pound = 4.45 N.

- Elevated garage floors shall be capable of supporting a 2,000-pound load applied over a 20-square-inch area.
- Uninhabitable attics without storage are those where the clear height between joists and rafters is not more than 42 inches, or where there are not two or more adjacent trusses with web configurations capable of accommodating an assumed rectangle 42 inches in height by 24 inches in width, or greater, within the plane of the trusses. This live load need not be assumed to act concurrently with any other live load requirements.
- Individual stair treads shall be designed for the uniformly distributed live load or a 300-pound concentrated load acting over an area of 4 square inches, whichever produces the greater stresses.
- A single concentrated load applied in any direction at any point along the top.

NY TABLE N1102.1.2 (R402.1.2) INSULATION AND PENETRATION REQUIREMENTS BY COMPONENT										
CLIMATE ZONE	PENETRATION U-FACTOR <sup>a</sup>	SKYLIGHT <sup>b</sup> U-FACTOR	GLAZED FENESTRATION SHGC <sup>c,d</sup>	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT <sup>e</sup> WALL R-VALUE	SLAB <sup>f</sup> R-VALUE & DEPTH	CRAWL SPACE <sup>g</sup> WALL R-VALUE
4	0.32	0.55	0.40	49	20 or 13+5 <sup>h</sup>	8/13	19	10/13	10, 2ft	10/13
5	0.30	0.55	NR	49	20 or 13+5 <sup>h</sup>	13/17	30 <sup>h</sup>	15/19	10, 2ft	15/19
6 OPTION 1	0.30	0.55	NR	49	20+5 <sup>h</sup> or 13+10 <sup>h</sup>	15/20	30 <sup>h</sup>	15/19	10, 2ft	15/19
6 OPTION 2	0.28	0.55	NR	60	23 CAVITY	19/21	30 <sup>h</sup>	15/19	10, 4ft	15/19

- R-values are minimums. U-factors and SHGC are maximums. When insulation is installed in a cavity which is less than the label or design thickness of the insulation, the installed R-value of the insulation shall not be less than the R-value specified in the table.
- The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration. Exception: Skylights may be excluded from glazed fenestration SHGC requirements in climate zones 1 through 3 where the SHGC for such skylights does not exceed 0.30.
- "15/19" means R-15 continuous insulation on the interior or exterior of the home or R-19 cavity insulation at the interior of the basement wall. "13/17" shall be permitted to be met with R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulation on the interior or exterior of the home. "10/13" means R-10 continuous insulation on the interior or exterior of the home or R-13 cavity insulation at the interior of the basement wall.
- R-5 shall be added to the required slab edge R-values for heated slabs. Insulation depth shall be the depth of the footing or 2 feet, whichever is less in Climate Zones 1 through 3 for heated slabs.
- There are no SHGC requirements in the Marine Zone.
- Basement wall insulation is not required in warm-humid locations as defined by Figure R301.1 and Table R301.1.
- Or insulation sufficient to fill the framing cavity, R-19 minimum.
- The first value is cavity insulation, the second value is continuous insulation, so "13+5" means R-13 cavity insulation plus R-5 continuous insulation.
- The second R-value applies when more than half the insulation is on the interior of the mass wall.

NY TABLE N1102.1.4 (R402.1.4) EQUIVALENT U-FACTORS								
CLIMATE ZONE	PENETRATION U-FACTOR	SKYLIGHT U-FACTOR	CEILING U-VALUE	FRAME WALL U-VALUE	MASS WALL U-VALUE	FLOOR U-VALUE	BASEMENT WALL U-VALUE	CRAWL SPACE WALL U-VALUE
4	0.32	0.55	0.026	0.060	0.098	0.047	0.059	0.065
5	0.30	0.55	0.026	0.060	0.092	0.033	0.050	0.055
6	0.30	0.55	0.026	0.045	0.060	0.033	0.050	0.055

- Non fenestration U-factors shall be obtained from measurement, calculation or an approved source.
- When more than half the insulation is on the interior, the mass wall U-factors shall be a maximum of 0.17 in Climate Zone 1, 0.14 in Climate Zone 2, 0.12 in Climate Zone 3, 0.087 in Climate Zone 4 except Marine, 0.065 in Climate Zone 5 and Marine 4, and 0.057 in Climate Zones 6 through 8.
- Basement wall U-factor of 0.360 in warm-humid locations as defined by Figure R301.1 and Table R301.1.

e. See Section R507.1 for decks attached to exterior walls.

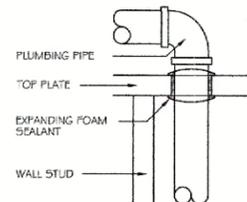
- Guard-in-fill components (all those except the handrail, balusters and panel fillers) shall be designed to withstand a horizontally applied normal load of 50 pounds on an area equal to 1 square foot. This load need not be assumed to act concurrently with any other live load requirement.
- Uninhabitable attics with limited storage are those where the clear height between joists and rafters is 42 inches or greater, or where there are two or more adjacent trusses with web configurations capable of accommodating an assumed rectangle 42 inches in height by 24 inches in width, or greater, within the plane of the trusses.

The live load need only be applied to those portions of the joists or truss bottom chords where all of the following conditions are met:

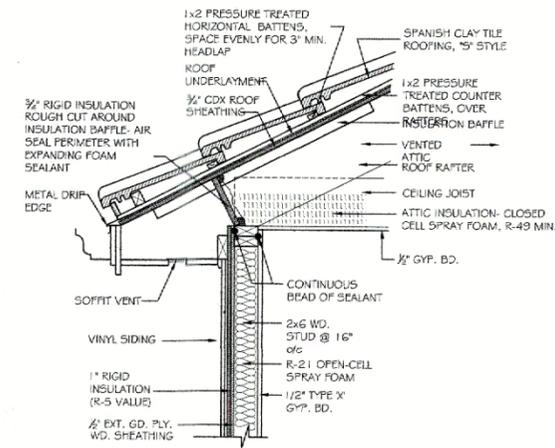
- The attic area is accessed from an opening not less than 20 inches in width by 30 inches in length that is located where the clear height in the attic is not less than 30 inches.
- The slopes of the joists or truss bottom chords are not greater than 2 inches vertical to 12 inches horizontal.
- Required insulation depth is less than the joist or truss bottom chord member depth.

The remaining portions of the joists or truss bottom chords shall be designed for a uniformly distributed concurrent live load of not less than 10 pounds per square foot.

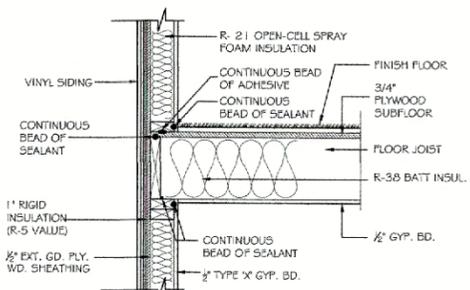
- Glazing used in handrail assemblies and guards shall be designed with a safety factor of 4. The safety factor shall be applied to each of the concentrated loads applied to the top of the rail, and to the load on the in-fill components. These loads shall be determined independent of one another, and loads are assumed not to occur with any other live load.



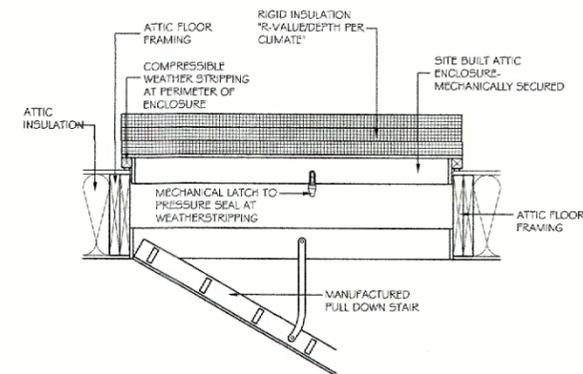
**AIR SEALING DETAIL**  
SCALE: N.T.S. AT TOP PLATE PIPE PENETRATION



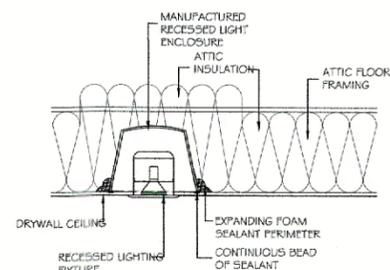
**AIR SEALING DETAIL**  
SCALE: N.T.S. AT ROOF EAVE



**AIR SEALING DETAIL**  
SCALE: N.T.S. AT UPPER FLOOR BAND



**AIR SEALING DETAIL**  
SCALE: N.T.S. AT PULL DOWN STAIRS



**AIR SEALING DETAIL**  
SCALE: N.T.S. AT RECESSED LIGHT

PROJECT

**RESIDENTIAL ALTERATION**

ADDRESS:  
75 DEHNOFF AVENUE  
FREEPORT, NY 11520

OWNER:  
Melvin Mendez  
and Marli Pena

ARCHITECT:  
**HAMMOND ARCHITECTURE**  
158-44C QUEENS BLVD, SUITE 101  
BRIARCLIFF, NY 11435  
TEL: (718) 751-0022 Fax: (718) 751-0022  
EMAIL: INFO@HAMMONDARCHITECTURE.NYC

NO.	DATE	DESCRIPTION
1	8-18-23	FILED W/ D.O.B
2	10-4-23	PER PLAN EXAMINER COMMENTS

BLOCK: 251  
LOT: 264  
SECTION: 55

DOB JOB NUMBER

2023 NOV 16 A 11:22  
RECEIVED  
STATE OF NEW YORK  
DEPARTMENT OF BUILDINGS  
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REGISTERED ARCHITECT

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SCALE: AS NOTED  
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DRAWN BY: M.F.D  
CHECKED BY: P.A.H  
PROJECT NO: 2023-19  
DWS NO:  
A-106.00

SHEET# 8 OF 9

ELECTRICAL NOTES

1. ALL ELECTRICAL AND TELEPHONE WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE AND LOCAL AUTHORITIES ELECTRICAL CODES.

PLUMBING NOTES

1. ALL PLUMBING SHALL BE IN STRICT CONFORMANCE WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE AND LOCAL AUTHORITIES RULES AND REGULATIONS.

CODE ANALYSIS

2021 RESIDENTIAL CODE OF NEW YORK STATE
WORK TO COMPLY IN ACCORDANCE WITH APPENDIX 'J' OF THE 2021 RESIDENTIAL CODE OF NEW YORK STATE

SMOKE DETECTOR NOTES

(1) SMOKE DETECTORS SHALL BE INSTALLED AND COMPLY WITH NFPA 72 AND THE 2020 RESIDENTIAL CODE OF NEW YORK STATE (R314).

STRUCTURAL NOTES

(1) ALL STRUCTURAL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE AND WITH ALL RULES AND REGULATIONS OF ALL AGENCIES HAVING JURISDICTION.

GENERAL NOTES

1. THE GENERAL CONTRACTOR SHALL SUBMIT IN WRITING DETAILED TRADE BY TRADE SCHEDULE OF THE COMPLETE PROJECT INDICATING A COMPLETION DATE.

CARBON MONOXIDE DETECTOR & ALARM NOTES

(1) CARBON MONOXIDE ALARM SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 415.2 OF THE 2020 NEW YORK STATE FIRE CODE.

CEILING HEIGHT NOTES

CEILING HEIGHT NOTES
R302.1 MINIMUM HEIGHT
HABITABLE SPACE, HALLWAYS AND PORTIONS OF BASEMENTS CONTAINING THESE SPACES SHALL HAVE A CEILING HEIGHT NOT LESS THAN 7 FEET.

COMBUSTION AIR NOTES

NOTE: ANY MECHANICAL EQUIPMENT AND DUCTING LOCATED OUTSIDE THE THERMAL ENVELOPE IS REQUIRED TO PASS AIR LEAKAGE TESTS AND BE INSULATED AS PER 2020 NYSRC

CEILING HEIGHT NOTES

CEILING HEIGHT NOTES
R302.1 MINIMUM HEIGHT
HABITABLE SPACE, HALLWAYS AND PORTIONS OF BASEMENTS CONTAINING THESE SPACES SHALL HAVE A CEILING HEIGHT NOT LESS THAN 7 FEET.

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HABITABLE SPACE, HALLWAYS AND PORTIONS OF BASEMENTS CONTAINING THESE SPACES SHALL HAVE A CEILING HEIGHT NOT LESS THAN 7 FEET.

NAILING SCHEDULE (TABLE 3.1 - AWC WFCM-2018)

Table with columns: JOINT DESCRIPTION, NUMBER OF COMMON NAILS, NUMBER OF BOX NAILS, NAIL SPACING. Rows include RAFTER TO TOP PLATE, CEILING JOIST TO TOP PLATE, CEILING JOIST TO PARALLEL RAFTER, etc.

WALL FRAMING

Table with columns: JOINT DESCRIPTION, NUMBER OF COMMON NAILS, NUMBER OF BOX NAILS, NAIL SPACING. Rows include TOP PLATE TO TOP PLATE, TOP PLATES AT INTERSECTIONS, STUD TO STUD, etc.

FLOOR FRAMING

Table with columns: JOINT DESCRIPTION, NUMBER OF COMMON NAILS, NUMBER OF BOX NAILS, NAIL SPACING. Rows include JOIST TO SILL, BRIDGING TO JOIST, BLOCKING TO JOIST, etc.

ROOF SHEATHING

Table with columns: STRUCTURAL PANELS, DIAGONAL BOARD SHEATHING. Rows include 8d, 10d, 6" EDGE / 12" FIELD.

CEILING SHEATHING

Table with columns: GYPSUM WALL BOARD. Rows include 5d COOLERS, 7" EDGE / 10" FIELD.

WALL SHEATHING

Table with columns: STRUCTURAL PANELS, FIBERBOARD PANELS, GYPSUM WALLBOARD, HARDBOARD, PARTICLE BOARD PANELS, DIAGONAL BOARD SHEATHING. Rows include 8d, 10d, 6" EDGE / 12" FIELD.

FLOOR SHEATHING

Table with columns: STRUCTURAL PANELS, DIAGONAL BOARD SHEATHING. Rows include 8d, 10d, 6" EDGE / 12" FIELD.

DESCRIPTION OF BUILDING MATERIALS

Table with columns: DESCRIPTION OF BUILDING MATERIALS, DESCRIPTION OF FASTENER, SPACING OF FASTENERS. Rows include REGULAR CELULOSIC FIBERBOARD SHEATHING, STRUCTURAL CELLOLOSIC FIBERBOARD SHEATHING, etc.

DESIGN CRITERIA

R301.1.1.1 WOOD FRAME CONSTRUCTION MANUAL FOR ONE & TWO FAMILY DWELLINGS (WFCM).
DESIGN CODE:
2020 RESIDENTIAL CODE OF NEW YORK STATE

RESIDENTIAL DESIGN CRITERIA

Table with columns: GROUND SNOW LOAD, WIND SPEED, WEATHERING, FROST LINE DEPTH, DECAY, TERMITES, WINTER DESIGN TEMP. Rows include 25 PSF, 130-140 MPH, SEVERE, 36 INCHES, SEVERE, MODERATE TO HEAVY, 10 DEGREES.

PROJECT

RESIDENTIAL ALTERATION

ADDRESS:
75 DEHNHOFF AVENUE
FREEPORT, NY 11520

OWNER:
Melvin Mendez and Marli Pena

ARCHITECT:
HAMMOND ARCHITECTURE
136-44C GREENS BLVD, SUITE 101
BRIARWOOD, NY 11405

Table with columns: DATE, DESCRIPTION. Rows include 8-18-23 FILED W/ D.O.B, 10-4-23 PER PLAN EXAMINER COMMENTS.

BLOCK: 251

LOT: 264

SECTION: 55

DOB JOB NUMBER

DOB APPROVAL STAMP

2023 NOV 16 AM 11:22

STATE OF NEW YORK
PATRICK ANTHONY HAMMOND
REGISTERED ARCHITECT

SEAL & SIGNATURE

NO. 019548

SHEET # 9 OF 9

NOTES

SCALE: AS NOTED

DATE: 8-18-23

DRAWN BY: M.F.D

CHECKED BY: P.A.H

PROJECT NO: 2023-19

DWG NO:

NS-100.00

SHEET # 9 OF 9