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CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

ROBERT T. KENNEDY
MAYOR

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

September 26, 2024
LETTER OF DENIAL

David Riemer
691 S Bayview Ave
Freeport, NY 11520

RE: **691 S Bayview Ave, Freeport, NY**
Zoning District – Residence A Sec. 62 Blk. 187, Lot 13
Building Permit Application #20243871
Description – Construct new (4,829.71SF) 3-story house with attached garage, 2 front balconies (42.6 SF each), 2 rear decks (188.94 SF & 189.09 SF) and maintain hot tub.

Dear Sir/Madam:

Please be advised that the above captioned Building Permit Application must be denied for the following reason(s):

Village Ordinance §210-6A. No building or land shall hereafter be used or occupied and no building or part thereof shall be erected, moved or altered unless in conformity with the regulations herein specified for the district in which it is located.

Village Ordinance §210-39. Building height; sky exposure plane.

A. No dwelling shall exceed 35 feet in height nor have more than three stories, and no structure of any kind shall be erected to a height in excess of 40 feet, except that this provision shall not apply to restrict the height of a church spire or belfry or of a monument, flagpole, water tank, elevator bulkhead, or stage tower or home television or radio receiving aerial. No building shall penetrate the sky exposure plane, except for those portions as permitted in § 210-3. No accessory building and/or detached garage shall exceed 15 feet in height if erected with a roof pitched less than six units vertically to 12 units horizontally, and 20 feet in height if erected with a roof pitched six units vertically to 12 units horizontally or steeper.

Village Ordinance §210-40. Lot area; street frontage; lot width.

No building shall be erected on a lot whose area is less than 5,000 square feet the drawings submitted indicates that this property is 3,995 SF, you will be seeking a variance of 1,005 SF and on any lot which has a street frontage of less than 50 feet and on any lot whose width is less than 50 feet at a point between the side lines from the front property line to the rear building line of the proposed structure. The drawings submitted indicates that the street frontage is 43'. You will be seeking a variance of 7'.

Village Ordinance §210-41. Lot coverage; floor area ratio.

The principal building on any lot shall not cover more than 30% of the lot area, and no more than an additional

10% of the total area of the lot may be used for the erection of an accessory building(s) and/or detached garage with the aggregate maximum lot coverage of said accessory building(s) and/or detached garage to be limited to a maximum of 500 square feet, and no more than an additional 5% of the total area of the lot may be used for the erection of an unenclosed porch with the aggregate maximum lot coverage of said porch to be limited to a maximum of 250 square feet. The floor area of the principal building shall not exceed a floor area ratio of 50% of the lot area. The drawings submitted indicates that the lot area is 48.18% when only 30% is permitted. The floor area of the building is 4,892.71 and only 1,997.5 is allowed. You will be seeking a variance of 2,895.21.

Village Ordinance §210-43. Required yards.

A. Yards of the following depths or widths shall be provided for the principal building on the lot:

(1) Front yard depth: minimum 20 feet or the average depth of all residential front yards on the same side of the street within two hundred 200 feet in either direction, whichever is greater, but in no case more than 40 feet. The drawings submitted indicates that the front yard is 7'-8 3/4" including the attached front decks. You will be seeking a variance of 12'-3 1/4".

(2) Rear yard depth: minimum 20 feet or 20% of the lot depth, whichever is greater, with the exception that for lots abutting canals and other navigable bodies of water, the rear yard depth shall equal the average depths of all residential rear yards abutting the water on the same side of the canal or navigable body of water within 200 feet in either direction or 20 feet measured landwards of the average line of the bulkhead, whichever is greater, or, if no bulkhead exists, measured 20 feet landwards of the rear property line, whichever is greater. The drawings submitted indicates that the rear yard is 6'-9 1/8" including the attached rear decks. You will be seeking a variance of 13'-2 7/8".

C. Yards of the following depths or widths shall be provided for accessory buildings, detached garages, accessory structures, barbecue pits, and breezeways on the lot:

(2) Rear yard depth: minimum five feet, except for lots which abut canals or navigable waters, a minimum depth of 20 feet measured landwards of the average line of the bulkhead shall be provided; if no bulkhead exists, measured 20 feet landwards of the rear property line. The drawings submitted indicates that the hot tub is 10" off the bulkhead. You will be seeking a variance of 19'-2" for the hot tub.

Please be further advised that if you intend to appeal this decision you must file an application within sixty (60) days of the date of this letter. For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-2202 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only

ONE complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's office. Only after this initial appointment should the additional copies be made.

Be further advised that you must submit an application to the Zoning Board of Appeals within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Zoning Board of Appeals Application, please call the VILLAGE CLERK'S OFFICE at 377-2202

Very truly yours,



Sergio A. Mauras
Superintendent of Buildings
Daniela Hernandez

SITE PLAN APPROVAL NEEDED: YES

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project :

Building Permit App. 20243871

Location: 691 S Bayview Ave

Applicant: David Riemer

Description: Construct new (4,829.71SF) 3-story house with attached garage, 2 front balconies (42.6 SF each), 2 rear decks (188.94 SF & 189.09 SF) and maintain hot tub.

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) _____

B) Possible environment effects identified:
(only if positive determination)

Dated: September 26, 2024

Sergio A. Mauras

Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.



SEC. 62 BLK. 187 LOT. 13

BOARD OF APPEALS OF THE VILLAGE OF FREEPORT

In the Matter
Of
the Application of

To The Board of Appeals of the Village of Freeport, New York

Index No.

COMPLY WITH
ORIGINAL NOTES

Strike out
inapplicable
phrase

State whether
applicant is owner,
lessee, or has option
or contract. If other
than owner, state
briefly terms of
agreement.

Obtain reason for
denial from
Department of
Buildings.

Describe by
construction and
number of stories. If
none, so state.

State nature of use of
property. If a
business, give brief
description.

Describe fully and
clearly the use
desired.

Strike out whichever
word is not
applicable. Follow
language in
ordinance.

Refer where possible
to paragraphs and
section by numbers.

The application of David Riemer
respectfully states and alleges:

1. That the applicant (resides at) (has its principal office for the conducting of its business at)
6915 Bayview Ave

2. That the premises affected by this application is located at 6915 Bayview Ave ¹¹⁵²⁰ and that the interest which the applicant has in the property concerned is that of owner
Land Map of Nassau County
Sec. 62 Blk. 187 Lot(s) 13

3. That (the applicant) (the applicant's duly authorized St) on or about the
16 day of May 20 24, filed in the office of the Department of Buildings of the Village of
Freeport, New York, an application for a Building Permit. Documents filed with said application were
as follows:

Flood Resistant Home, House Survey, Site plans Approval

4. That on or about the 26 day of ~~Sept~~ Sept, 2024, the Department of Buildings denied said
application; upon information and belief that the reason for said denial was as follows:
Lot Area, Flood Floor Area coverage

5. That the nature of the improvements now upon said premises is as follows: Wood
Constn on pile with Breakaway walls
Single family

6. That said premises are now being used as follows: Single Family Residence

7. That the applicant seeks authority to make use of said premises as follows: Single Family
Residence

8. Upon information and belief that a (permit) (variance) for such use may be granted by this Board by
virtue of the following sections of the said Zoning Code of The Village of Freeport or statutes of the
State of New York 210-6A 210-39 210-40
210-41 210-43

9. That the following is a statement of other factual information deemed pertinent by the applicant. If the
application involves a subdivision of property, describe the existing property: Single
Family Residence

If more space is needed annex statement on separate sheet and refer to it here with following words: "See annexed statement which is made a part hereof." Save opinions for the hearing.

10. That the grounds for this application are as follows: Fractal Difficult

11. That any deed restrictions running with the land prohibiting the desired use are as follows: None

If non-conforming use is claimed, set forth uses made of premises and dates thereof in chronological order.

12. That (the applicant has made no previous application to this Board for the authority sought herein) (upon information and belief a previous application was made for the same or similar authority sought herein and denied by this Board, but that this application contains facts not alleged or shown in any previous preceding before this Board).

WHEREFORE, the applicant respectfully prays that the authority sought herein be granted.

Dated: 7-11, 2024

BY: _____
ITS: _____

If this verification is made by an officer of a corporation or an Association or by a legal representative of an estate, his name and office should be designated on the first line.

State of New York)
County of Nassau) ss:

The applicant DAVID B. RIEPER named in the foregoing application, being duly sworn, depose and say that _____ read the foregoing application subscribed by _____ and know the contents thereof; and that the same is true to _____ own knowledge except as to the matters therein stated to be alleged on information and belief, and that as to those matters _____ believe _____ to be true.

Sworn to before me this 4TH day
of NOV., 2024

Notary Public Peggy M. Lester

Peggy M. Lester
Notary Public, State of New York
No. 01LE6293122
Qualified in Nassau County
Commission Expires Nov. 25, 2025

**Notice
Conflict of Interest**

I have read Section 809 of the General Municipal Law concerning disclosure of and conflict of interest and hereby certify that there are no conflicts in respect to this application requiring disclosure.

7-11, 2024
Date Year

David Rieper
Signature

Affidavit of Owner

To be completed only if the owner is not the applicant.

State of New York)
County of Nassau) ss:

I David Rieper being duly sworn, depose and say:

That he/she (the owner of 691 S Bayville Ave) (is the _____ of _____ the property concerned is correct to the best of the knowledge of deponent _____)

That the owner David Rieper consents to the granting of the authority sought in the above application.

Sworn to before me this 4th day
of November, 2024

Notary Public Amarilis Ledesma

David Rieper
Signature

AMARILIS A LEDESMA
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 01LE6382087
Qualified in Nassau County
Commission Expires October 15, 2026

617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
David Riemer			
Name of Action or Project: Riemer Residence			
Project Location (describe, and attach a location map): 691 S Bayview Ave Freeport, NY 11520			
Brief Description of Proposed Action: build new house			
Name of Applicant or Sponsor: David Riemer		Telephone: 516-578-0526	
		E-Mail: ljwcpro@gmail.com	
Address: 691 South Bayview Ave			
City/PO: Freeport		State: NY	Zip Code: 11520
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input checked="" type="checkbox"/> YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO <input checked="" type="checkbox"/> YES <input type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		0.09 acres	
b. Total acreage to be physically disturbed?		0.03 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		0.09 acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: Insulation is better than code requirements	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing potable water: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>David Riemer</u>	Date: <u>7-28-24</u>	
Signature: _____		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:		
a. public / private water supplies?	<input type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

DEPARTMENT OF BUILDINGS

OF THE VILLAGE OF FREEPORT, N.Y. APPLICATION NO. _____

Filing Date _____

Application for Erection of Buildings or Alterations

IMPORTANT - Applicant to complete all items in sections: I, II, III, IV, V

I. LOCATION OF BUILDING	AT (LOCATION) (No.) <u>691</u> <u>S Bayview Ave</u> (Street) ZONING DISTRICT <u>A</u>
	BETWEEN <u>BRYANT ST</u> (Cross Street) AND <u>NONE</u> (Cross Street)
	SECTION <u>62</u> BLOCK <u>187</u> BY <u>132769</u> APPROX. LOT SIZE <u>43'</u> X <u>78'</u> LOT ANSA <u>3,994.47</u>

II. TYPE AND COST OF BUILDING - All applicants complete Parts A - D.

<p>A. TYPE OF IMPROVEMENT</p> <p>1 <input checked="" type="checkbox"/> New building</p> <p>2 <input type="checkbox"/> Addition/Alteration (if residential, enter number of new housing units added. If non-residential name _____)</p> <p>3 <input type="checkbox"/> Swimming Pool</p> <p>4 <input type="checkbox"/> Repair (replacement)</p> <p>5 <input type="checkbox"/> Bulkhead (New, Repair)</p> <p>6 <input type="checkbox"/> Fence</p> <p>7 <input type="checkbox"/> Moving (relaxation)</p>	<p>B. PROPOSED OR EXISTING USE</p> <table style="width: 100%;"> <tr> <td style="width: 50%; vertical-align: top;"> <p>RESIDENTIAL</p> <p>11 <input type="checkbox"/> One Family</p> <p>12 <input type="checkbox"/> Two families</p> <p>13 <input type="checkbox"/> Apartment - Enter No. of Units _____</p> <p>14 <input type="checkbox"/> Transient hotel, motel, or dormitory - Enter No. of Units _____</p> <p>15 <input type="checkbox"/> Garage or Accessory Structure</p> <p>16 <input type="checkbox"/> Other - Specify _____</p> </td> <td style="width: 50%; vertical-align: top;"> <p>NON-RESIDENTIAL - Complete Part "E"</p> <p>17 <input type="checkbox"/> Industrial</p> <p>18 <input type="checkbox"/> Office, bank, professional</p> <p>19 <input type="checkbox"/> Store, mercantile</p> <p>20 <input type="checkbox"/> Church, other religious</p> <p>21 <input type="checkbox"/> Hospital, institutional</p> <p>22 <input type="checkbox"/> Other - Specify _____</p> </td> </tr> </table>	<p>RESIDENTIAL</p> <p>11 <input type="checkbox"/> One Family</p> <p>12 <input type="checkbox"/> Two families</p> <p>13 <input type="checkbox"/> Apartment - Enter No. of Units _____</p> <p>14 <input type="checkbox"/> Transient hotel, motel, or dormitory - Enter No. of Units _____</p> <p>15 <input type="checkbox"/> Garage or Accessory Structure</p> <p>16 <input type="checkbox"/> Other - Specify _____</p>	<p>NON-RESIDENTIAL - Complete Part "E"</p> <p>17 <input type="checkbox"/> Industrial</p> <p>18 <input type="checkbox"/> Office, bank, professional</p> <p>19 <input type="checkbox"/> Store, mercantile</p> <p>20 <input type="checkbox"/> Church, other religious</p> <p>21 <input type="checkbox"/> Hospital, institutional</p> <p>22 <input type="checkbox"/> Other - Specify _____</p>
<p>RESIDENTIAL</p> <p>11 <input type="checkbox"/> One Family</p> <p>12 <input type="checkbox"/> Two families</p> <p>13 <input type="checkbox"/> Apartment - Enter No. of Units _____</p> <p>14 <input type="checkbox"/> Transient hotel, motel, or dormitory - Enter No. of Units _____</p> <p>15 <input type="checkbox"/> Garage or Accessory Structure</p> <p>16 <input type="checkbox"/> Other - Specify _____</p>	<p>NON-RESIDENTIAL - Complete Part "E"</p> <p>17 <input type="checkbox"/> Industrial</p> <p>18 <input type="checkbox"/> Office, bank, professional</p> <p>19 <input type="checkbox"/> Store, mercantile</p> <p>20 <input type="checkbox"/> Church, other religious</p> <p>21 <input type="checkbox"/> Hospital, institutional</p> <p>22 <input type="checkbox"/> Other - Specify _____</p>		
<p>C. COST</p> <p>10 TOTAL COST OF IMPROVEMENT <u>\$ 100,000</u></p>	<p>D. DESCRIPTION OF PROJECT</p> <p><u>NEW HOUSE</u></p> <p>GARAGE = <u>1,626 SF</u></p> <p>HOUSE (LIVING SPACE) = <u>3,199.8 SF</u></p> <p>DECKS = <u>435 SF</u></p>		

III. IDENTIFICATION - To be completed by all applicants

	NAME	MAILING ADDRESS - Number, street, city and state, Zip	TEL. NO.
1. Owner or Lessee	<u>DAVID RIEMER</u>	<u>691 SOUTH BAYVIEW AVE</u> <u>FREEPORT, NY 11520</u>	<u>516</u> <u>578</u> <u>0526</u>
2. Contractor			
3. Architect or Engineer	<u>RICHARD BOYD</u>	<u>206 N. RICHMOND AVE</u> <u>MASSAPEQUA, NY 11758</u>	<u>631</u> <u>220</u> <u>0969</u>

IV. OWNER - CONTRACTOR STATEMENT

Building permit is issued subject to the provisions of Section 67 of the Workmen's Compensation Law.

Workmen's Compensation Certificate No. _____ Company _____ Exp. Date _____

Contractor
DAVID RIEMER
(Print)
Address 691 SOUTH BAYVIEW AVE
Phone 516-578-0526

State of New York
County of Nassau
David Riemer being duly sworn, says that he is the contractor or owner of the above mentioned building. That the items of the above application also the terms and cost of said building or alteration, is correct to the best of his knowledge and belief and subject to verification to all applicable laws of this jurisdiction.
(His or Her) JENNA PETTAS
NOTARY PUBLIC-STATE OF NEW YORK
No. 01PE6370301
Qualified in Nassau County
My Commission Expires 01-29-2026

Sworn to before me this 16th day of May, 2024
Jenna Pettas
Notary Public, County, N.Y. (Applicant Signature)

V. FLOOD ZONE

IS PROJECT LOCATED WITHIN A DESIGNATED FLOOD HAZARD ZONE?
YES NO
IF YES, WHICH ZONE? AEB

IS PROJECT TO REPAIR FLOOD DAMAGE?
YES NO

PROJECT DESCRIPTION

Total/First Floor Square Feet	<u>1,626</u> (STORAGE)
Upper Floor Square Feet	<u>3,266</u> (1ST FLOOR)
# of Fixtures	<u>14</u>
# of Floors	<u>3</u>
Occup. Type	<u>RES</u>

VI. VALIDATION (Official Use Only)

<p>Building Permit Number _____</p> <p>Building Permit Issued _____</p> <p>Building Permit Fee \$ _____</p>	<p style="text-align: center;">Approved by: _____</p> <p style="text-align: center;">Superintendent of Buildings</p>
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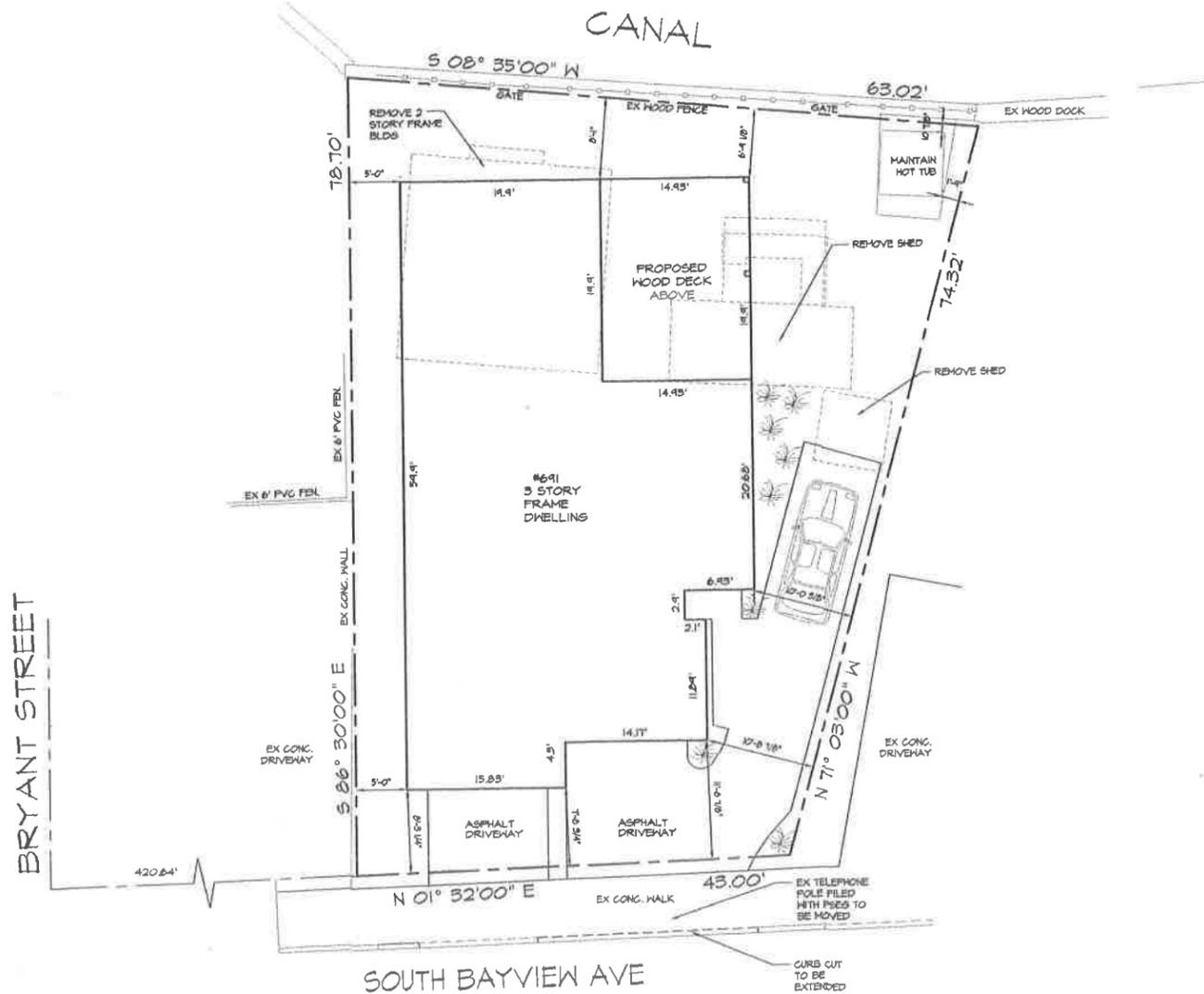
RIEMER RESIDENCE

691 SOUTH BAYVIEW AVE FREEPORT, NEW YORK 11520

THIS PROJECT CONFORMS TO THE FOLLOWING CODES:
 2020 RESIDENTIAL CODE OF NEW YORK STATE,
 2020 UNIFORM CODE SUPPLEMENT 2018 WFCM,
 2020 ENERGY CONSERVATION CODE OF NEW YORK STATE

BUILDING COMPLES WITH APPENDIX J, SECTION A.800.4, SECTION A.8.0, AND STRUCTURAL WIND LOAD PER A.304.2

SECTION A.800.4 STRUCTURAL WIND LOAD PROVISIONS SHALL COMPLY WITH THE WIND PROVISIONS OF THIS CODE AS APPLICABLE EXCEPT WHERE SHOWN OTHERWISE.
 1. DETACHED ONE AND TWO FAMILY DWELLINGS WHERE WIND LOADS AT THE NEW LOCATION ARE NOT HIGHER THAN THOSE AT THE PREVIOUS LOCATION.
 2. STRUCTURAL ELEMENTS WHOSE STRESS IS NOT INCREASED BY MORE THAN 5 PERCENT.
 BUILDING COMPLES



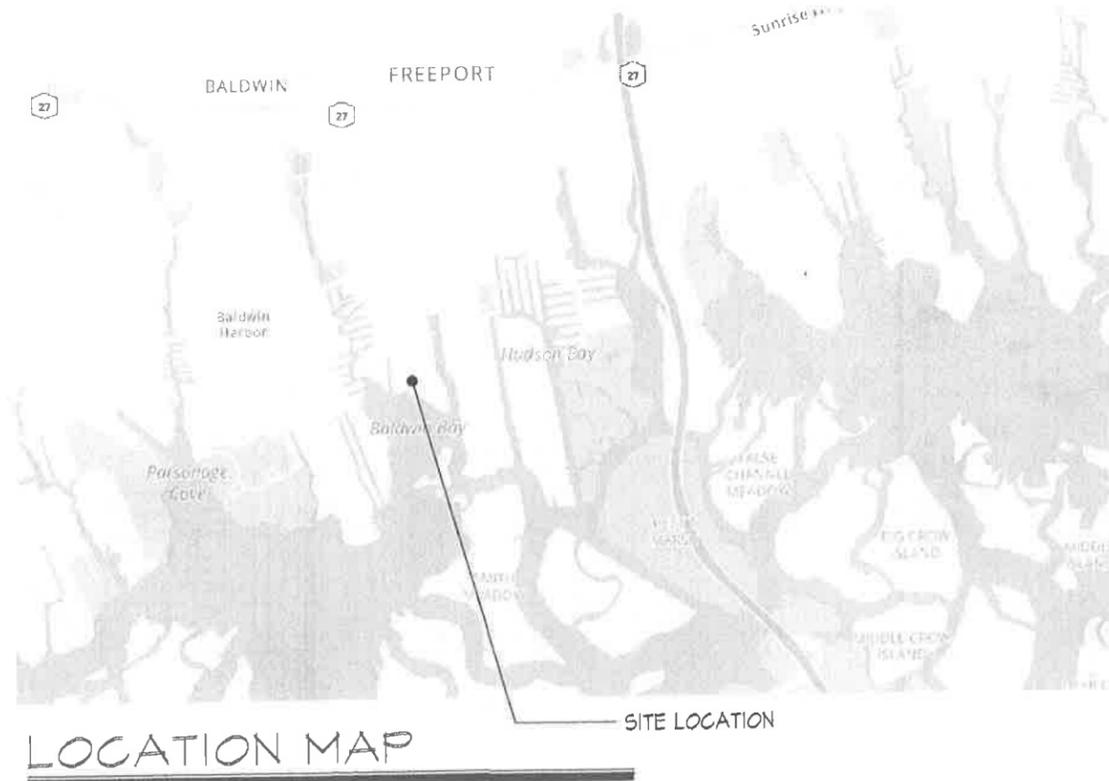
PLOT PLAN

1/8" = 1'-0"

SITE INFORMATION OBTAINED FROM SURVEY PREPARED BY AREK SURVEYING COMPANY BROOKLYN, NY - DATED 7-22-14

PROPERTY AREA = 3,994.47 SQ.FT.
 GROUND FLOOR AREA = 1,626 SQ.FT.
 FIRST FLOOR AREA = 1,728.34 SQ.FT.
 SECOND FLOOR AREA = 1,538.37 SQ.FT.

ZONING ANALYSIS		SECTION: 62 BLOCK: 187 LOT: 13 & P.O. 12 (769)	
RESIDENCE ZONE 'A' - SO BAYVIEW AVE, NY			
	REQUIRED	EXISTING	PROPOSED
USES	RESIDENTIAL - SINGLE FAMILY	RESIDENTIAL - SINGLE FAMILY	RESIDENTIAL - SINGLE FAMILY
LOT AREA	5000 SF	3995 SF	NO CHANGE
LOT AREA OCCUPIED	30% x 5000 SF = 1,500 SF	683 sf HOUSE & SHEDS 683 / 3995 = 17.1%	1st FLOOR COVERAGE = 1627SF 2nd FLOOR DECK = 298SF 1627 / 3995 = 40.7% 1627+298=1925 / 3995 = 48.18% (W/ DECK)
BUILDING HEIGHT	3 STORY OR 35' MAX.	21.52' 2 STORY	35'-0" 3 STORY
FRONT YARD	20' FRONT YARD OR AVG DEPTH WITHIN 200' = AVERAGE SETBACK XX'	48.3' EXISTING	7'-8 3/4" GROUND LEVEL ENTRY
SIDE YARD - NORTH SIDE YARD - SOUTH	MIN. 5' SUM OF 2 SIDE YDS EQUAL 25% MIN	4.3' NORTH 30.6' SOUTH	5'-0" NORTH 10'-0 3/8" SOUTH
REAR YARD	20' OR 20% OF LOT DEPTH	7'-0"	8'-1" TO HOUSE 6'-9 1/8" TO 2ND FL DECK



LOCATION MAP

SANDY REPAIR
 RIEMER RESIDENCE
 691 SOUTH BAYVIEW AVE. FREEPORT, NY

BCNY ARCHITECTURE
 CUSTOM DESIGNED RESIDENCES
 206 RICHMOND AVE MASSAPEQUITT
 SPECIALIZING IN FULL SERVICE ONE-STOP INTERIOR DESIGN
 COMMERCIAL ARCHITECTURE
 EMAIL: BCNYARCHITECTURE@GMAIL.COM PHONE: 631-220-0969

COVER SHEET
 SITE PLAN
 ZONING INFORMATION

REVISIONS
 6/12/24 FILED FOR PERMIT

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JOB NO.
 24-43
 SHEET NO.
T-1

CONSTRUCTION NOTES

GENERAL
 THE CONTRACTOR SHALL COMPLY WITH ALL CONSTRUCTION DOCUMENTS. CONTRACTOR SHALL BE PROPERLY CERTIFIED AND LICENSED FOR THIS PROJECT.
 DO NOT SCALE DRAWINGS. FOLLOW DIMENSIONS AS SHOWN ON DRAWINGS.
 SCOPE OF THIS WORK IS INDICATED ON THE DRAWINGS AND THESE NOTES.
 CONTRACTOR SHALL OBTAIN AND PAY ALL FEES, PERMITS, DEPOSITS FOR UTILITIES REQUIRED FOR THE PROJECT EXCEPT FOR THE BUILDING PERMIT.
 WORK SHALL CONFORM TO ALL RULES AND REGULATIONS OF APPROPRIATE AGENCIES HAVING JURISDICTION

CONTRACTOR SHALL REMOVE ALL CONSTRUCTION DEBRIS FROM THE JOB SITE AND LEAVE THE FACILITY IN A BROOM CLEAN CONDITION. ALL GLASS SHALL BE THOROUGHLY CLEANED AT THE COMPLETION OF CONSTRUCTION. ANY PAINT SPILLS AND OR CONSTRUCTION MARKS SHALL BE REMOVED FROM ALL FINISHED SURFACES.

SITE WORK: CLEAR AND GRUB CONSTRUCTION AREA OF ALL OBSTACLES, MATERIAL, AND FILL WITH CLEAN SAND TO ELEVATION OF BOTTOM OF SLAB. SURFACE MATERIAL MAY BE USED FOR FILL OF LANDSCAPED AREAS OF THE SITE. FILL BROUGHT TO THIS SITE SHALL BE NON CONTAMINATED SOIL.

CONCRETE
 ALL FOUNDATION WALLS AND FOOTINGS SHALL BE CAST ON SOLID APPROVED BEARING SOIL, SEE CHART WITH A MINIMUM DEPTH OF 3'-0" BELOW GRADE. SOIL SHALL BE INVESTIGATED BY GEOTECHNICAL ENGINEER.
 ALL FOUNDATION WALLS AND FTGS SHALL BE FORMED CONCRETE.
 UNLESS SHOWN OTHERWISE, CONCRETE SLABS SHALL BE 4" THICK, SET ON 4" THICK GRAVEL BED, WITH 6" X 6" X100 HELDED REIN. HIGH REINFORCING.

THIS PROJECT HAS 2,000 PSF LOAD BEARING PRESSURE

TABLE R401.4.1
 PRESUMPTIVE LOAD-BEARING VALUES OF FOUNDATION MATERIALS^A

CLASS OF MATERIAL	LOAD-BEARING PRESSURE (POUNDS PER SQUARE FOOT)
CRYSTALLINE BEDROCK	12,000
SEDIMENTARY AND FOLIATED ROCK	4,000
SANDY GRAVEL AND OR GRAVEL (SH AND SP)	5,000
SAND, SILTY SAND, CLAYEY SAND, SILTY GRAVEL AND CLAYEY GRAVEL	2,000
CLAYEY SANDY CLAY, SILTY CLAY, CLAYEY SILT, SILT AND SANDY SILT (SL, ML, SH AND CH)	1,500 B

FOR 6" x 12" POUND PER SQUARE FOOT = 0.0247 KIP/FT²
 A. WHEN SOIL TESTS ARE REQUIRED BY SECTION R401.4, THE ALLOWABLE BEARING CAPACITIES OF THE SOIL SHALL BE PART OF THE RECOMMENDATIONS.
 B. WHERE IN PLACE SOILS WITH AN ALLOWABLE BEARING CAPACITY OF LESS THAN 1,500 PSF ARE LIKELY TO BE PRESENT AT THE SITE, THE ALLOWABLE BEARING CAPACITY SHALL BE DETERMINED BY A SOILS INVESTIGATION.

TABLE R402.2
 MINIMUM SPECIFIED COMPRESSIVE STRENGTH CONCRETE

TYPE OR LOCATION OF CONCRETE CONSTRUCTION	MINIMUM SPECIFIED COMPRESSIVE STRENGTH (PSI)	PSI	A
RESIDENTIAL WALLS, FOUNDATIONS AND OTHER CONCRETE NOT EXPOSED TO THE WEATHER	2,800	2,800	2,800 ^C
BASEMENT SLABS AND INTERIOR SLABS ON GRADE, EXCEPT GARAGE FLOOR SLABS	2,800	2,800	2,800 ^C
BASEMENT WALLS, FOUNDATION WALLS, EXTERIOR WALLS AND OTHER VERTICAL CONCRETE WORK EXPOSED TO THE WEATHER	2,800	3,000 ^D	3,000 ^D
PORCHES, GARAGE FLOOR SLABS AND STAIRS EXPOSED TO THE WEATHER AND GARAGE FLOOR SLABS	2,800	3,000 ^{D,EP}	3,000 ^{D,EP}

FOR 6" x 12" POUND PER SQUARE FOOT = 0.0247 KIP/FT²
 A. AT 28 DAYS PSI
 B. SEE TABLE R401.4 FOR WEATHERING POTENTIAL
 C. CONCRETE IN THESE LOCATIONS THAT MAY BE SUBJECT TO FREEZING AND THAWING DURING CONSTRUCTION SHALL BE REINFORCED IN ACCORDANCE WITH FOOTNOTE D
 D. REINFORCEMENT CONCRETE IN ACCORDANCE WITH FOOTNOTE D
 E. CONCRETE SHALL BE AIR ENTRAINED. TOTAL AIR CONTENT (PERCENT BY VOLUME OF PORTLAND CEMENT) SHALL NOT BE LESS THAN 5 PERCENT OR MORE THAN 7 PERCENT
 F. FOR GARAGE FLOORING WITH A STEEL-TROWELED FINISH, REDUCTION OF THE TOTAL AIR CONTENT (PERCENT BY VOLUME OF PORTLAND CEMENT) TO NOT LESS THAN 3 PERCENT IS PERMITTED IF THE SPECIFIED COMPRESSIVE STRENGTH OF THE CONCRETE IS INCREASED TO NOT LESS THAN 4,000 PSI

TABLE B.2B BOTTOM PLATE TO FOUNDATION CONNECTIONS (ANCHOR BOLTS) RESISTING LATERAL AND SHEAR LOADS FROM FRIED REINFORCING LATERAL AND SHEAR LOADS FROM FRIED

ANCHOR BOLT DIAMETER (IN)	MAXIMUM ANCHOR BOLT SPACING (IN)
1/2"	5"
3/4"	6"

PRESCRIPTIVE LIMITS ARE BASED ON ASSUMPTIONS IN TABLE A-3.2
 1. VARIOUS ANCHOR BOLTS ARE USED TO RESIST UPLIFT, LATERAL AND SHEAR LOADS THE MAXIMUM ANCHOR BOLT SPACING SHALL NOT EXCEED THE TABLED LIMITS.
 2. TABLE A-3.2C OR TABLE A-3.2D FOR OTHER ANCHOR BOLT LIMITATIONS.
 3. TABLE A-3.2C OR TABLE A-3.2D FOR OTHER ANCHOR BOLT LIMITATIONS.
 4. TABLE A-3.2C OR TABLE A-3.2D FOR OTHER ANCHOR BOLT LIMITATIONS.
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TABLE B.2C BOTTOM PLATE TO FOUNDATION CONNECTIONS (ANCHOR BOLTS) RESISTING UPLIFT LOADS FROM FRIED

100-YR WIND SPEED 3-SECOND GUST (MPH)	150	140
SILL OR BOTTOM PLATE TO FOUNDATION ANCHOR BOLT CONNECTION RESISTING		
UPLIFT LOADS	2x4	1-8 STORES
	2x4	1-8 STORES
	2x4	1-8 STORES
	2x4	1-8 STORES

WOOD FRAMING
 ALL JOISTS, BEAM RAFTERS AND OTHER LUMBER SHALL BE CONSTRUCTION GRADE # 2 DOWEL-FRAME, KNOTS FREE, OR APPROVED EQUAL, EXCEPT WHERE SPECIFIED OTHERWISE. PROVIDE STRUCTURAL DIAGONAL BRACING AT EXTERIOR WALL CORNERS AND WALL STAYS SHALL EXCEED THE FULL HEIGHT.
 SILLS AND ALL HOOD IN CONTACT WITH THE CONCRETE SHALL BE TREATED UNDER COAT GRADE 12, SOUTHERN PINE, PLYWOOD P-1 OR APPROVED EQUAL.
 ANY FRAMING IN CONTACT WITH AGG TREATED LUMBER MUST BE COPPER COATED, STAINLESS STEEL, OR DOUBLE DIPPED GALVANIZED.
 CLEARANCE: HOOD FRAMING SHALL BE AT LEAST 6" ABOVE ADJACENT GRADE.
 ALL LAMINATED VENEER LUMBER (LVL) SHALL BE E-2.0 BY TRUSS JOIST OR EQUAL. PROVIDE BLOCKING AS PER HANP, SPECS AND THE 2020 RESIDENTIAL CODE OF THE NEW YORK STATE.
 REASERS: 2 - 2"x2" UNLESS SPECIFIED OTHERWISE. IN BEARING WALLS, REASERS SHALL REST ON DOUBLE STUDS, EACH SIDE.
 SUPPORTS: PROVIDE STRUCTURAL SUPPORTS BELOW EACH POST OR STRUT AS REQUIRED.
 BRIDGING: HOOD OR METAL, 8'-0" O.C. MAXIMUM 2 HALFS FOR BD. INSTAL PER MANUFACTURERS SPECIFICATIONS.
 PARTITIONS: PROVIDE DOUBLE JOISTS UNDER PARTITIONS PARALLEL TO JOISTS UNLESS INDICATED TO BE MORE. PROVIDE DOUBLE JOISTS UNDER BATHROOMS.
 EXTERIOR CORNERS: 3-2"x4" INTERIOR CORNERS 3-2"x4" EXTERIOR WALLS 2"x4" w/ O.C. INTERIOR WALLS 2"x4" w/ O.C. UNLESS OTHERWISE NOTED.

OPENINGS: DOUBLE HOOD FRAMING SHALL BE PROVIDED AROUND OPENINGS IN WALLS, FLOORS, CEILING, ROOFS, ETC.
 DOUBLE ROOF RAFTERS AS PER ROOF PLAN
 ALL STRUCTURAL PLYWOOD SHALL MEET THE CONSTRUCTION USE AND APPLICATION STANDARDS OF THE AMERICAN PLYWOOD ASSOCIATION (APA)
 ALL METAL JOIST HANGERS AND OTHER METAL HANGERS SHALL BE CAPABLE OF HANGING LOADS AT CORNERING POINTS. INSTALLATIONS BE TIGHT CORNERS AND SMOOTH OR APPROVED EQUAL. THEY SHALL BE IN STRICT CONFORMANCE WITH MANUFACTURERS SPECIFICATIONS AND RECOMMENDATIONS AND THE 2020 RESIDENTIAL CODE OF THE NEW YORK STATE.
 ALL WALLS, FLOORS AND CEILING SURFACES NEW OR EXISTING SHALL BE PATCHED AND OR FINISHED TO MATCH EXISTING SURFACES AND ALL MET AREA.
 ALL WALLS AND CEILING TO BE TAPED AND SPACKLED 5 COATS. PAINT AS SELECTED BY OWNER. METAL MOISTURE RESISTANT GYP BD IN ALL MET AREA.
 ALL TIPS TO BE BY BLUEJOB OR CENTER TRUSS JOISTS OR APPROVED EQUAL.
 DEVELOPMENT AS PER DEVELOPMENT PLANS
 FINISHES AS SELECTED BY OWNER
 INSULATION PROVIDE FIBERGLASS INSULATION FIBER VAPOR BARRIER IN WALLS, CEILING, FLOORS AND WHERE NOTED ON DRAWINGS. INCLUDING CEILING BETWEEN GARAGE AND HOUSE. FOLLOW MANUFACTURERS INSTRUCTIONS FOR PROPER USE.
DOORS AND WINDOWS
 DOORS AND WINDOWS SHALL BE COMPLETE AND SHALL INCLUDE FRAMES, TRIM, EXTERIOR JAMB, SILLS, STOODS, CASINGS, SCREENS, HARDWARE, ETC.
 INTERIOR AND EXTERIOR DOORS SHALL BE ADEQUATELY FLANGED AT HEADS AND PROPERLY CALKED AND WEATHERSTRIPPED. ALL WINDOWS SHALL BE LOHSE, DOUBLE-PANED, ALL WINDOWS TO BE ANDERSON OR EQUAL.
 ONLY IN NEW DOOR DEBRIS AREA-SEE CHART ABOVE.
 FINISH AND PLACE IN THE SILL OR ON TOP OF HOOD STRUCTURAL PANELS, 1/4" MIN. FINISH WITH A MINIMUM SPAN OF 8 FT. FOR ALL GLAZED OPENINGS. AT ALL FINISH PANELS FINISHES WITH A MINIMUM SPAN OF 8 FT. FOR ALL GLAZED OPENINGS. WITH 2-1/2" MIN. SILLING W/ O.C. FOR SPANS 4 FT. TO 6 FT. O.C. FOR SPANS 4 FT. AND 4" O.C. FOR SPANS 1.8 FT. AT ALL HEADS.

FIRE STOPPING
 PROVIDE FIRE STOPPING AS PER THE 2020 RESIDENTIAL CODE OF NEW YORK STATE. FIRE STOP CONCRETE SPACES WITHIN WALL, CEILING, PARTITION, FLOOR, STAIR, ATTIC OR GARAGE CONSTRUCTION AND AROUND CHIMNEY, PIPE AND DUCT OPENINGS IN SINK CONSTRUCTION SHALL BE PRESTRESSED OR FILLED WITH NON-COMBUSTIBLE MATERIAL TO PREVENT THE PASSAGE OF FLAME, SMOKE, FUMES AND HOT GASES. FIRE STOPPING OR FILL SHALL BE NON-FLAMMABLE MATERIALS AND PARTITIONS SHALL BE PRESTRESSED AT EACH FLOOR LEVEL AND AT THE CEILING OF THE INTERFERING STORY, SO THAT SUCH SPACES WILL NOT BE CONTINUING FOR MORE THAN ONE STORY OR COMMUNICATE WITH CONCRETE HORIZONTAL SPACES IN THE FLOOR OR ROOF CONSTRUCTION SPACE BETWEEN ADJACENT JOISTS WITH CEILING ATTACHED DIRECTLY TO JOISTS. SHALL BE PROVIDED FOR THE FULL DEPTH OF THE JOISTS AT ALL POINTS OF SUPPORT, UNDER SUPPORTED WALLS AND PARTITIONS HAVING A REQUIRED FIRE-RESISTANCE RATING.

STAIRS
 PROVIDE STAIRS AS PER SECTION R401.4.1. THE ALLOWABLE BEARING CAPACITIES OF THE SOIL SHALL BE PART OF THE RECOMMENDATIONS.
 B. WHERE IN PLACE SOILS WITH AN ALLOWABLE BEARING CAPACITY OF LESS THAN 1,500 PSF ARE LIKELY TO BE PRESENT AT THE SITE, THE ALLOWABLE BEARING CAPACITY SHALL BE DETERMINED BY A SOILS INVESTIGATION.

STAIRS
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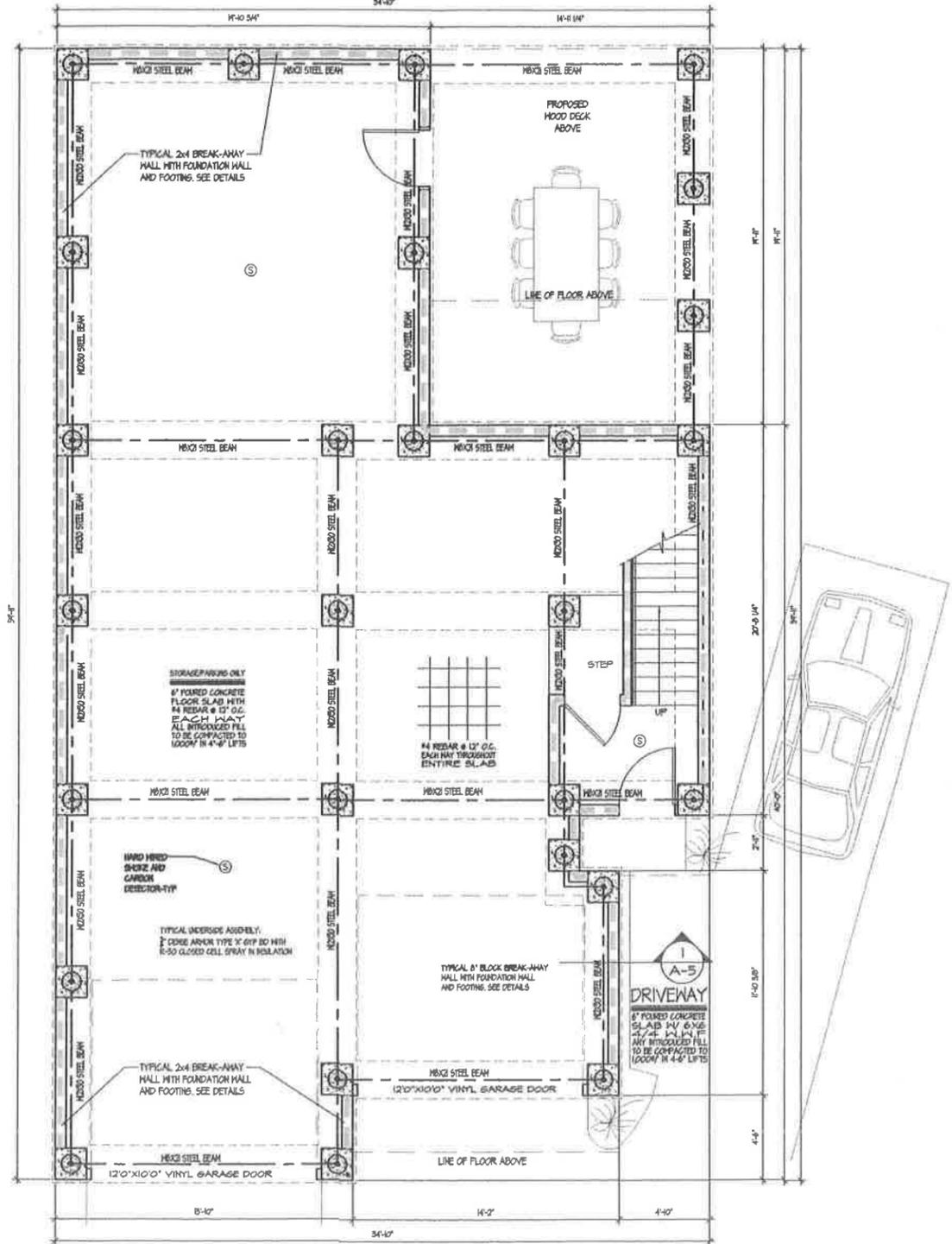
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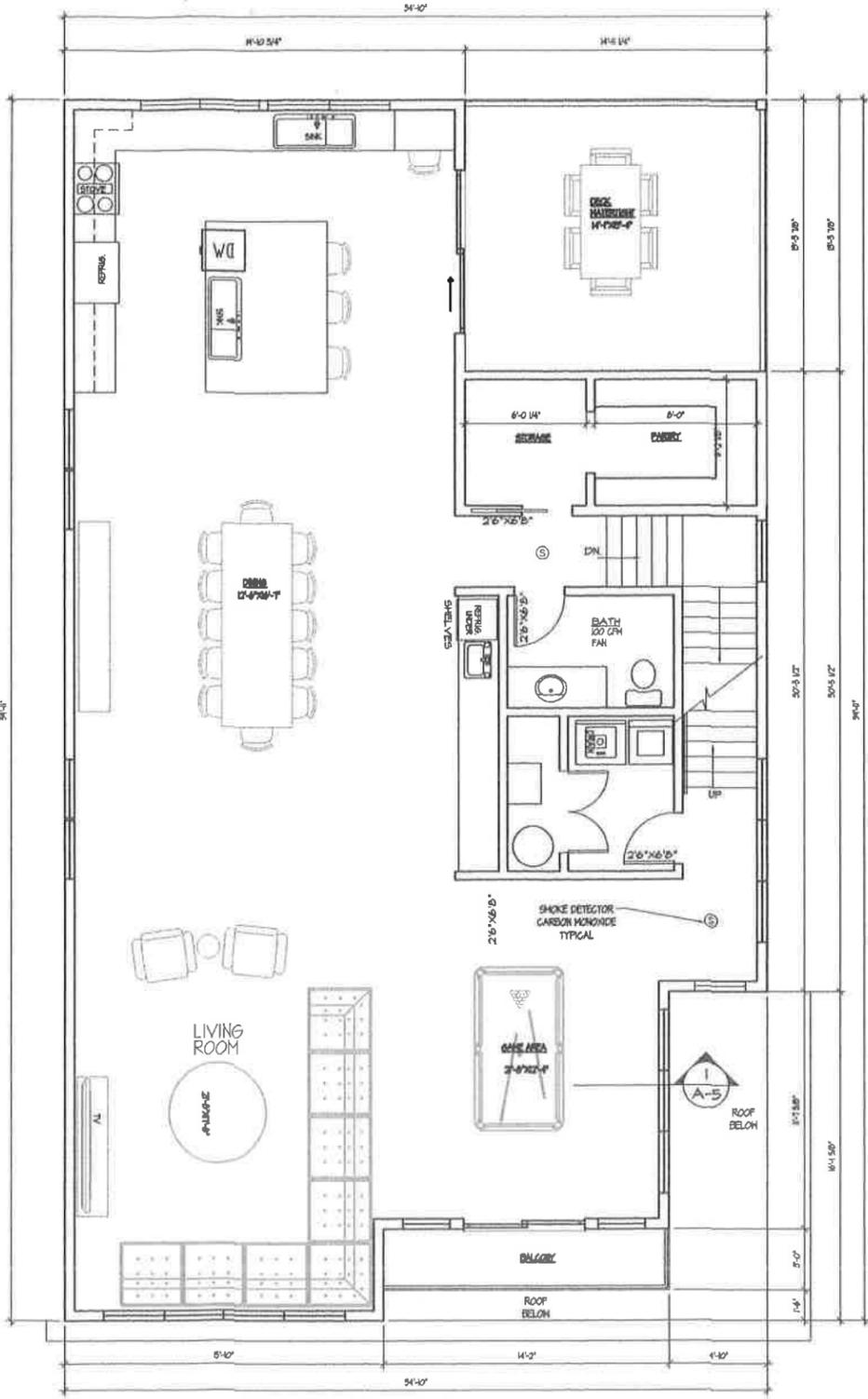
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SMOKE ALARMS
 INSTALLATION SHALL COMPLY WITH SECTION R40



LOWER LEVEL/FOUNDATION PLAN
SCALE: = 1/4" = 1'-0"

NOTES:
GARAGE: TO BE 6" BREAK AWAY WALLS
ADDITIONAL SILLS AS REQUIRED TO ALLOW HOUSE TO SIT LEVEL
HOMEOWNER TO INSTALL TRUSS SASH ON THE FRONT OF THE HOUSE
R302.2.2 ENCLOSED AREA BELONG DESIGN FLOOR ELEVATION ENCLOSED AREA, INCLUDING GRAVE SPACES, THAT ARE BELOW THE DESIGN FLOOR ELEVATION SHALL:
1. BE USED SOLELY FOR PARKING OF VEHICLES, INCLUDING ACCESS TO STORAGE;
2. BE PROVIDED WITH FLOOR OPENINGS THAT MEET THE FOLLOWING CRITERIA:
2.1 THERE SHALL BE A MINIMUM OF TWO OPENINGS ON DIFFERENT SIDES OF EACH ENCLOSED AREA, IF A BUILDING HAS MORE THAN ONE ENCLOSED AREA BELOW THE DESIGN FLOOR ELEVATION EACH AREA SHALL HAVE OPENINGS
2.2 THE TOTAL NET AREA OF ALL OPENINGS SHALL BE AT LEAST 1 SQUARE INCH (25.4 MM) FOR EACH SQUARE FOOT (0.093 M²) OF ENCLOSED AREA, OR THE OPENINGS SHALL BE DESIGNED AND THE CONSTRUCTION DOCUMENTS SHALL INCLUDE A STATEMENT THAT THE DESIGN AND INSTALLATION WILL PROVIDE FOR EQUALIZATION OF HYDROSTATIC FLOOD FORCES ON EXTERIOR WALLS BY ALLOWING FOR THE AUTOMATIC ENTRY AND EXIT OF FLOODWATERS.
2.3 THE BOTTOM OF EACH OPENING SHALL BE 1 FOOT (305 MM) OR LESS ABOVE THE ADJACENT GROUND LEVEL.
2.4 OPENINGS SHALL BE AT LEAST 3 FEET (914 MM) IN DIAMETER.
2.5 ANY LEVELING SCREENS OR OTHER OPENING CONTROLS SHALL ALLOW THE AUTOMATIC FLOW OF FLOODWATERS INTO AND OUT OF THE ENCLOSED AREA.
2.6 OPENINGS INSTALLED IN DOORS AND WINDOWS, THAT MEET REQUIREMENTS 2.1 THROUGH 2.5, ARE ACCEPTABLE; HOWEVER, DOORS AND WINDOWS WITHOUT INSTALLED OPENINGS DO NOT MEET THE REQUIREMENTS OF THIS SECTION.
R324.1.5 PROTECTION OF MECHANICAL AND ELECTRICAL SYSTEMS, ELECTRICAL SYSTEMS, EQUIPMENT AND COMPONENTS, AND HEATING, VENTILATING, AIR CONDITIONING AND PLUMBING APPLIANCES, PLUMBING FIXTURES, DUCT SYSTEMS, AND OTHER SERVICE EQUIPMENT SHALL BE LOCATED AT OR ABOVE THE DESIGN FLOOR ELEVATION PLUS FREEBOARD AS SPECIFIED IN SECTION R323.1.3.3. IF REPLACED AS PART OF A SUBSTANTIAL IMPROVEMENT, ELECTRICAL SYSTEMS, EQUIPMENT AND COMPONENTS, AND HEATING, VENTILATING, AIR CONDITIONING, AND PLUMBING APPLIANCES, PLUMBING FIXTURES, DUCT SYSTEMS, AND OTHER SERVICE EQUIPMENT SHALL MEET THE REQUIREMENTS OF THIS SECTION. SYSTEMS, FIXTURES, AND EQUIPMENT AND COMPONENTS SHALL NOT BE MOUNTED ON OR PENETRATE THROUGH WALLS INTENDED TO BREAK AWAY UNDER FLOOD LOADS.
EXCEPTION: ELECTRICAL SYSTEMS, EQUIPMENT AND COMPONENTS, AND HEATING, VENTILATING, AIR CONDITIONING AND PLUMBING APPLIANCES, PLUMBING FIXTURES, DUCT SYSTEMS, AND OTHER SERVICE EQUIPMENT ARE PERMITTED TO BE LOCATED BELOW THE DESIGN FLOOR ELEVATION PROVIDED THAT THEY ARE DESIGNED AND INSTALLED TO PREVENT WATER FROM ENTERING OR ACCUMULATING WITHIN THE COMPONENTS AND TO RESIST HYDROSTATIC AND HYDRODYNAMIC LOADS AND STRESSES, INCLUDING THE EFFECTS OF BUOYANCY, DURING THE OCCURRENCE OF FLOODING TO THE DESIGN FLOOR ELEVATION IN COMPLIANCE WITH THE FLOOD-RESISTANT CONSTRUCTION REQUIREMENTS OF THE BUILDING CODE OF NEW YORK STATE. ELECTRICAL WIRING SYSTEMS ARE PERMITTED TO BE LOCATED BELOW THE DESIGN FLOOR ELEVATION PROVIDED THEY CONFORM TO THE PROVISIONS OF THE ELECTRICAL PART OF THIS CODE FOR NET LOCATIONS.
R324.1.6 CONSTRUCTION DOCUMENTS THE CONSTRUCTION DOCUMENTS SHALL INCLUDE DOCUMENTATION THAT IS PREPARED AND SEALED BY A REGISTERED DESIGN PROFESSIONAL THAT THE DESIGN AND METHODS OF CONSTRUCTION TO BE USED MEET THE APPLICABLE CRITERIA OF THIS SECTION.



FIRST FLOOR PLAN
SCALE: = 1/4" = 1'-0"

ALL NEW WINDOWS BY ANDERSON 400 SERIES U FACTOR=0.3 AND SHGC=0.32. WINDOWS COMPLY WITH THE CODE AND EGRESS AT THE TIME OF ORIGINAL CONSTRUCTION AND A C.O. HAS ISSUED
ALL POINT LOADS ARE TO BE SOLID BLOCKING DOWN TO FOUNDATION OR BEAMS
NOTE: ALL HEADERS TO BE 2-2X10 UNLESS OTHERWISE NOTED
PROVIDE WOOD TRIMMED RETURNS ON THE INTERIOR WITH MOLDINGS SIMILAR TO EXISTING

DESIGN CALCULATIONS

R301.2.2.1 HEIGHTS OF MATERIALS
AVERAGE DEAD LOADS SHALL NOT EXCEED 15 PSF FOR ROOF/CEILING ASSEMBLIES OR 10 PSF FOR FLOOR ASSEMBLIES, EXCEPT AS FURTHER LIMITED BY SECTION R301.2.2.2 DEAD LOADS FOR WALLS ABOVE GRADE SHALL NOT EXCEED:
1. FIFTEEN PSF FOR EXTERIOR LIGHT-FRAME WOOD WALLS.
2. FOURTEEN PSF FOR EXTERIOR LIGHT-FRAME COLD-FORMED STEEL WALLS.
3. TEN PSF FOR INTERIOR LIGHT-FRAME WOOD WALLS.
4. FIVE PSF FOR INTERIOR LIGHT-FRAME COLD-FORMED STEEL WALLS.
5. EIGHT PSF FOR 8-INCH THICK MASONRY WALLS.
6. EIGHT PSF FOR 8-INCH THICK CONCRETE WALLS.
7. 10 PSF FOR 8-INCH THICK CONCRETE WALLS.
EXCEPTION: ROOF/CEILING DEAD LOADS NOT EXCEEDING 25 PSF SHALL BE PERMITTED PROVIDED THE WALL BRACKETS MOUNTED IN CHAPTER R301.2.2.2 ARE INCREASED IN ACCORDANCE WITH TABLE R302.10.3(4).

MINIMUM UNIFORM DISTRIBUTED LIVE LOADS (TABLE R301.5) IN POUNDS PER SQUARE FOOT

USE	LIVE LOAD
UNINHABITABLE ATTICS WITHOUT STORAGE ^B	10 PSF
UNINHABITABLE ATTICS WITH LIMITED STORAGE ^{B,C}	20 PSF
HABITABLE ATTICS AND ATTICS SERVED WITH FIXED STAIRS	30 PSF
BALCONIES (EXTERIOR) AND DECKS ^E	40 PSF
FIRE ESCAPES	40 PSF
GUARD AND HANDRAILS ^D	200 PSF
GUARD INFILL COMPONENTS ^F	50 PSF
PASSENGER VEHICLE GARAGES ^A	50 PSF ^A
ROOMS OTHER THAN SLEEPING ROOMS	40 PSF
SLEEPING ROOMS	30 PSF
STAIRS	40 PSF ^C

FOR 50 LBS PER SQUARE FOOT=0.0478 KN/M²; 1 SQ INCH=6.45 MM²; 1 POUND=4.45 N.
A. ELEVATED GARAGE FLOORS SHALL BE CAPABLE OF SUPPORTING A 2,000-POUND LOAD APPLIED OVER A 30-SQUARE-INCH AREA.
B. UNINHABITABLE ATTICS WITHOUT STORAGE ARE THOSE WHERE THE CLEAR HEIGHT BETWEEN JOISTS AND RAFTERS IS NOT MORE THAN 42" OR WHERE THERE ARE TWO OR MORE ADJACENT TRUSSES WITH HEB CONFIGURATIONS CAPABLE OF ACCOMMODATING AN ASSUMED RECTANGLE 42" IN HEIGHT BY 24" IN WIDTH OR GREATER WITH THE PLANE OF TRUSSES THE LIVE LOAD NEED NOT BE APPLIED TO ANY ONE LIVE LOAD REQUIREMENT.
C. DIVISIONAL STAIR TREADS SHALL BE DESIGNED FOR THE UNIFORM LIVE LOAD REQUIREMENT.
D. A SINGLE CONCENTRATED LOAD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP.
E. SEE SECTION R307.1 FOR DECKS ATTACHED TO EXTERIOR WALLS.
F. GUARD INFILL COMPONENTS (ALL THOSE EXCEPT THE HANDRAIL, BALUSTERS AND PANEL FILLS) SHALL BE DESIGNED TO WITHSTAND A HORIZONTAL APPLIED NORMAL LOAD OF 50 POUNDS ON AN AREA EQUAL TO 1 SQUARE FOOT. THIS LOAD NEED NOT BE APPLIED TO ACT CONCURRENTLY WITH WITH ANY OTHER LIVE LOAD REQUIREMENT.
G. UNINHABITABLE ATTICS WITH LIMITED STORAGE ARE THOSE WHERE THE CLEAR HEIGHT BETWEEN JOISTS AND RAFTERS IS NOT GREATER THAN 42" OR WHERE THERE ARE TWO OR MORE ADJACENT TRUSSES WITH HEB CONFIGURATIONS CAPABLE OF ACCOMMODATING AN ASSUMED RECTANGLE 42" IN HEIGHT BY 24" IN WIDTH OR GREATER WITHIN THE PLANE OF THE TRUSSES. THE LIVE LOAD NEED ONLY BE APPLIED TO THOSE PORTIONS OF THE JOISTS OR TRUSSES BOTTOM CHORDS WHERE ALL OF THE FOLLOWING CONDITIONS ARE MET:
1. THE ATTIC AREA IS ACCESSIBLE FROM AN OPENING NOT LESS THAN 20" IN WIDTH BY 30" IN LENGTH THAT IS LOCATED WHERE THE CLEAR HEIGHT IN THE ATTIC AREA IS NOT LESS THAN 50" OR 1300 MM.
2. THE SLOPE OF THE JOIST OR TRUSS BOTTOM CHORDS ARE NOT GREATER THAN 10% UNIFORM.
3. REQUIRED INSULATION DEPTH IS LESS THAN THE JOIST OR TRUSS BOTTOM CHORD MEMBER DEPTH.
THE REMAINING PORTIONS OF THE JOISTS OR TRUSS BOTTOM CHORDS SHALL BE DESIGNED FOR A UNIFORM DISTRIBUTED CONCURRENT LIVE LOAD OF NOT LESS THAN 10 LBS PER SQUARE FOOT.
H. GAZING USED IN HANDRAIL ASSEMBLIES AND GUARDS SHALL BE DESIGNED WITH A SAFETY FACTOR OF 4. THE SAFETY FACTOR SHALL BE APPLIED TO EACH OF THE CONCENTRATED LOADS APPLIED TO THE TOP OF THE RAIL AND TO THE LOAD ON THE INFILL COMPONENTS. THESE LOADS SHALL BE DETERMINED INDEPENDENT OF ONE ANOTHER AND LOADS ARE ASSUMED NOT TO OCCUR WITH ANY OTHER LIVE LOAD.

WINDOW EGRESS SCHEDULE (ALL SLEEPING ROOMS)

FLOOR	REQUIRED CLEAR OPENING AS A SECOND MEANS OF EGRESS
FIRST	5.0 SQ FT MINIMUM
SECOND	5.7 SQ FT MINIMUM

1. PROVIDE AT LEAST (1) WINDOW (OR DOOR) IN EACH HABITABLE SPACE FOR EMERGENCY ESCAPE IN CONFORMANCE WITH N.Y.S. CODE SECTION R310 MIN OPENINGS OF 5.7 SQ FT ON SECOND FLOOR AND 5.0 SQ FT AT GRADE LEVEL. MINIMUM CLEAR HEIGHT 2' AND MINIMUM CLEAR WIDTH OF 20" (OPERATION NOT NEEDED FOR TOOLS) BOTTOM OF OPENING = 64" MAXIMUM AT 7'.
2. ALL WINDOWS MUST BE ANDERSON "LOW E" OR APPROVED EQUAL

ALLOWABLE DEFLECTION OF STRUCTURAL MEMBERS^{B,C} (TABLE R301.7)

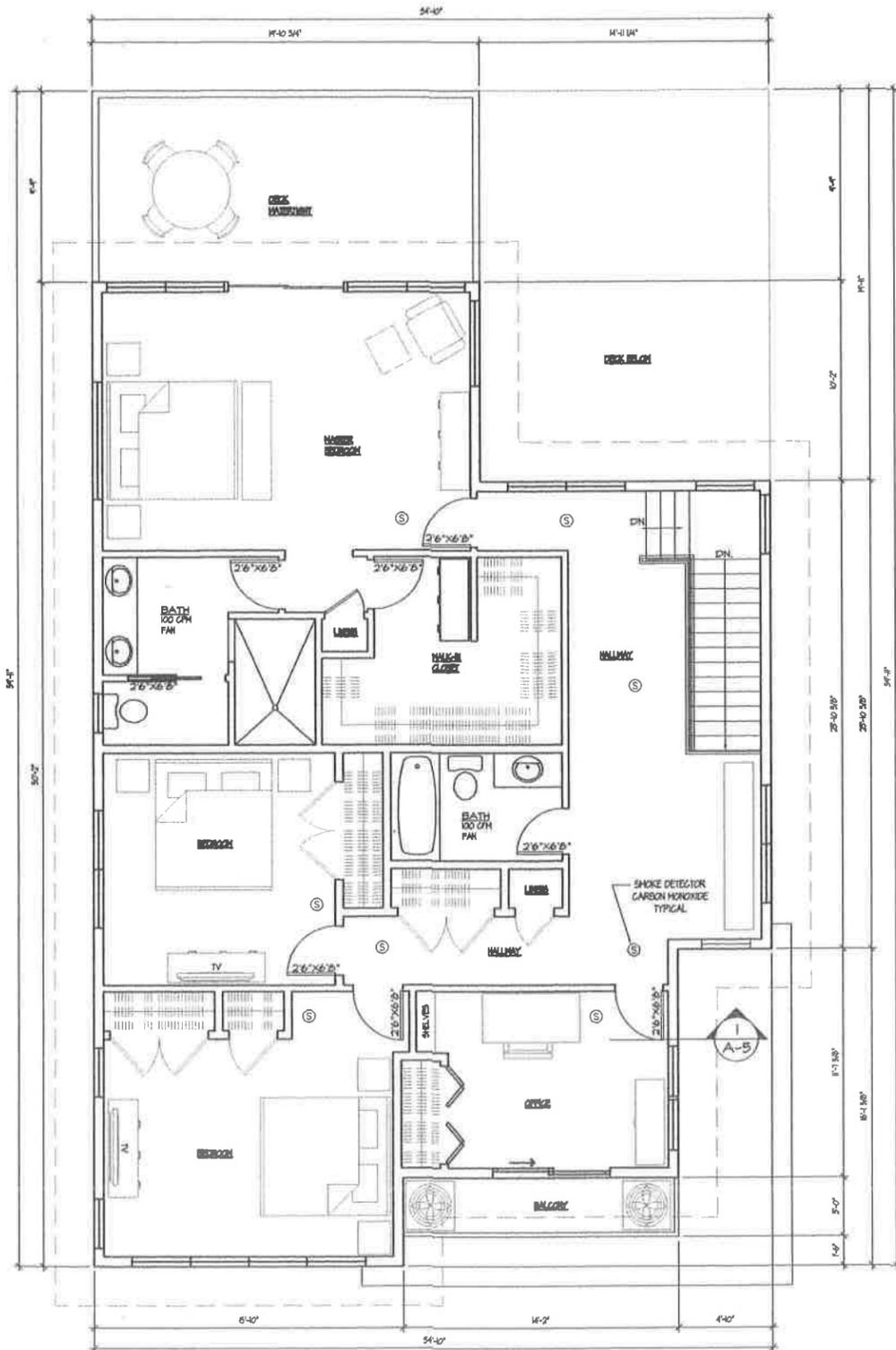
STRUCTURAL MEMBER	ALLOWABLE DEFLECTION
RAFTERS HAVING SLOPES GREATER THAN 5/12 WITH FINISHED CEILINGS NOT ATTACHED TO RAFTERS	L/180
INTERIOR WALLS AND PARTITIONS	H/180
FLOORS	L/360
CEILINGS WITH BRITTLE FINISHES (INCLUDING PLASTER AND STUCCO)	L/360
CEILINGS WITH FLEXIBLE FINISHES (INCLUDING GYPSUM BOARD)	L/240
ALL OTHER STRUCTURAL MEMBERS	L/240
EXTERIOR WALLS-WIND LOADS ^A WITH PLASTER OR STUCCO FINISH	H/360
EXTERIOR WALLS-WIND LOADS ^A WITH OTHER BRITTLE FINISH	H/240
EXTERIOR WALLS-WIND LOADS ^A WITH FLEXIBLE FINISHES	H/120
LINTELS SUPPORTING MASONRY VENEER WALLS ^A	L/600

NOTE: L = SPAN LENGTH, H = SPAN HEIGHT
A. FOR THE PURPOSE OF THE DETERMINING DEFLECTION LIMITS HEREIN THE WIND LOAD SHALL BE PERMITTED TO BE TAKEN AS 0.1 TIMES THE COMPONENT AND GLAZING (G) LOADS OBTAINED FROM TABLE R301.2(2).
B. FOR CANTILEVER MEMBERS, L SHALL BE TAKEN AS TWICE THE LENGTH OF THE CANTILEVER.
C. FOR ALUMINUM STRUCTURAL MEMBERS OR PANELS USED IN ROOFS OR WALLS OF GARAGES, ACCESSORIES OR PATIO COVERS, NOT SUPPORTING EDGE OF GLASS, GARAGEHOOD PANELS, THE TOTAL LOAD DEFLECTION SHALL NOT EXCEED L/60 FOR CONTINUOUS ALUMINUM STRUCTURAL MEMBERS SUPPORTING EDGE OF GLASS. THE TOTAL LOAD DEFLECTION SHALL NOT EXCEED L/30 FOR EACH GLASS LINE OR LOAD FOR THE ENTIRE LENGTH OF THE MEMBER, UNLESS IT IS MORE SPACED. FOR GARAGEHOOD PANELS USED IN ROOFS OR WALLS OR BROOM ADDITIONS OR PATIO COVERS, THE TOTAL LOAD DEFLECTION SHALL NOT EXCEED L/60. DEFLECTION FOR EXTERIOR WALLS WITH INTERIOR EXTERIOR WALLS SHALL BE LIMITED TO AN ALLOWABLE DEFLECTION OF 1/8".
SEE SECTION R301.2.2.2

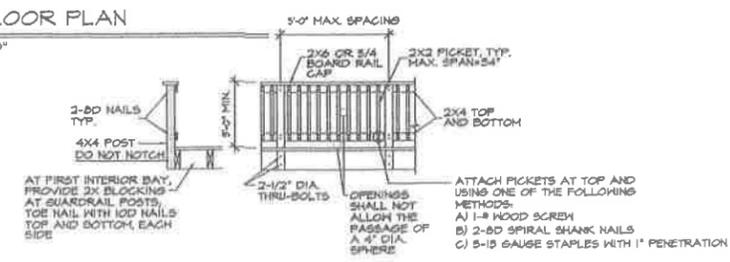
LEGEND

- 24" WIDE FTG WITH PILE AND CONC PIER
- PILE WITH CONC PIER
- WALLS
- BREAK AWAY WALLS
- NEW DOORS

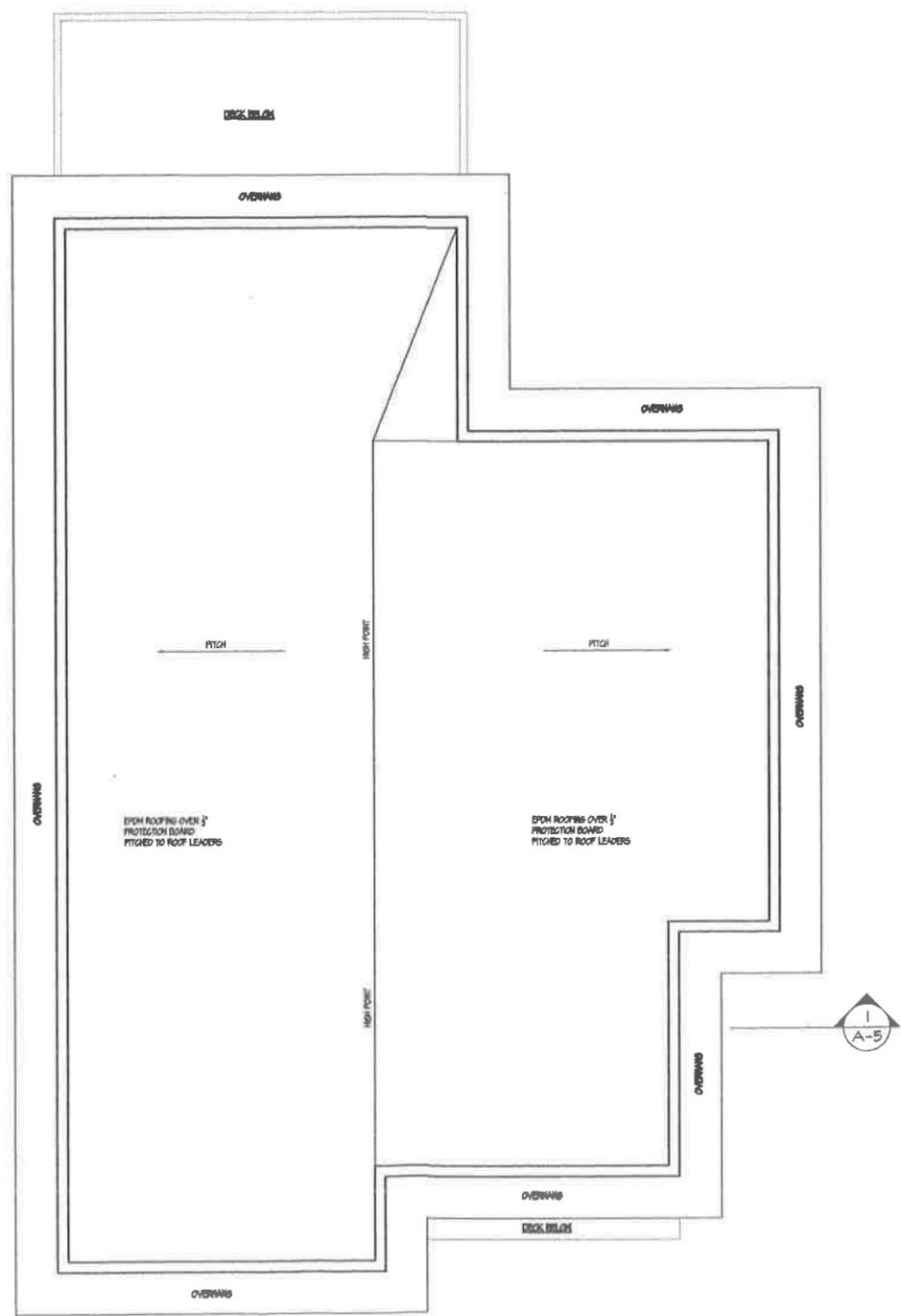
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 BOSTON DESIGNED RESIDENCES
 SPECIALTY WOODWORK, INTERIORS AND EXTERIORS DESIGN
 COMMERCIAL ARCHITECTURE & INTERIOR DESIGN
 EMAIL: BCNYARCHITECTURES@GMAIL.COM PHONE: 631-220-0569
 LOWER LEVEL PLAN
 FIRST FLOOR PLAN
 REVISIONS: 6/12/24 FILED FOR PERMIT
 JOB NO: 24-43
 SHEET NO: A-2
 ALL DRAWINGS COPYRIGHT © ALL RIGHTS RESERVED



SECOND FLOOR PLAN
SCALE: = 1/4" = 1'-0"



TYPICAL RAILING DETAIL



ROOF PLAN
SCALE: = 1/4" = 1'-0"

LEGEND

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CUSTOM DESIGNED RESIDENCES
SPECIALIZING IN ARCHITECTURAL INTERIORS
COMMERCIAL ARCHITECTURE & INTERIOR DESIGN
EMAIL: BCNYARCHITECTURE@GMAIL.COM PHONE: 631-220-0969

SECOND FLOOR PLAN
ROOF PLAN

REVISIONS
6/12/24 FILED FOR PERMIT

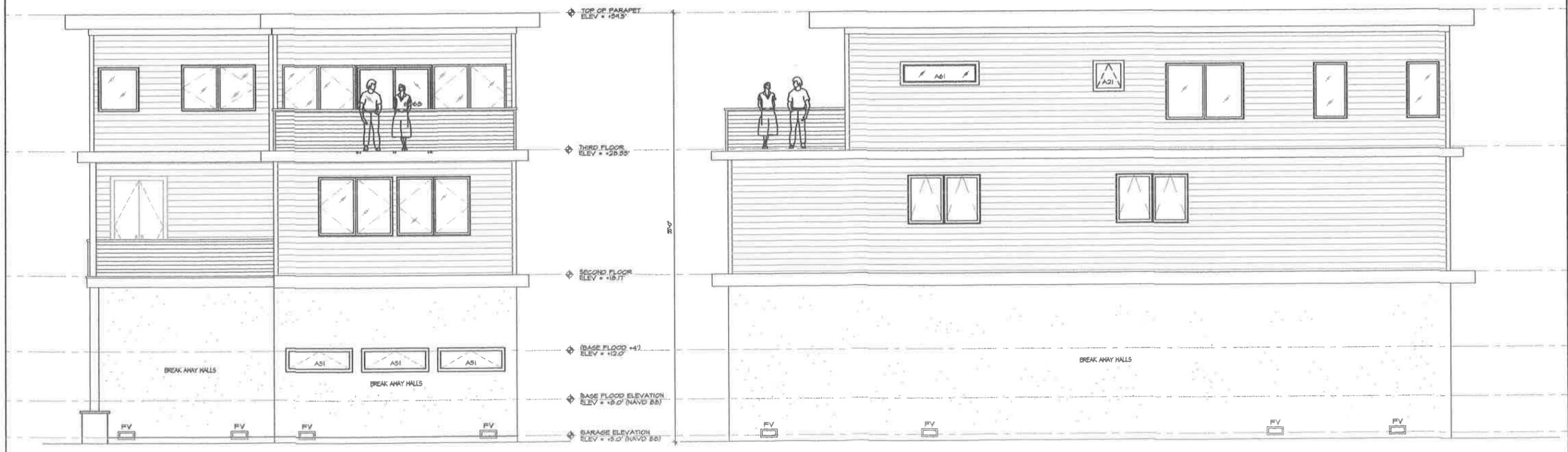
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JOB NO:
24-43
SHEET NO:
A-3



PROPOSED FRONT ELEVATION
SCALE: = 1/4" = 1'-0"

PROPOSED SIDE ELEVATION
SCALE: = 1/4" = 1'-0"



PROPOSED REAR ELEVATION
SCALE: = 1/4" = 1'-0"

PROPOSED SIDE ELEVATION
SCALE: = 1/4" = 1'-0"

SANDY REPAIR
RIEMER RESIDENCE
691 SOUTH BAYVIEW AVE. FREEPORT, NY

BCNY ARCHITECTURE
CUSTOM DESIGNED RESIDENCES
SPECIALTY INTERIORS
SUBMITTALS, PERMITS, CONTRACTS AND INTERIOR DESIGN
COMMERCIAL ARCHITECTURE & INTERIOR DESIGN
EMAIL: BCNYARCHITECTURE@GMAIL.COM PHONE: 631-220-0959

ELEVATIONS

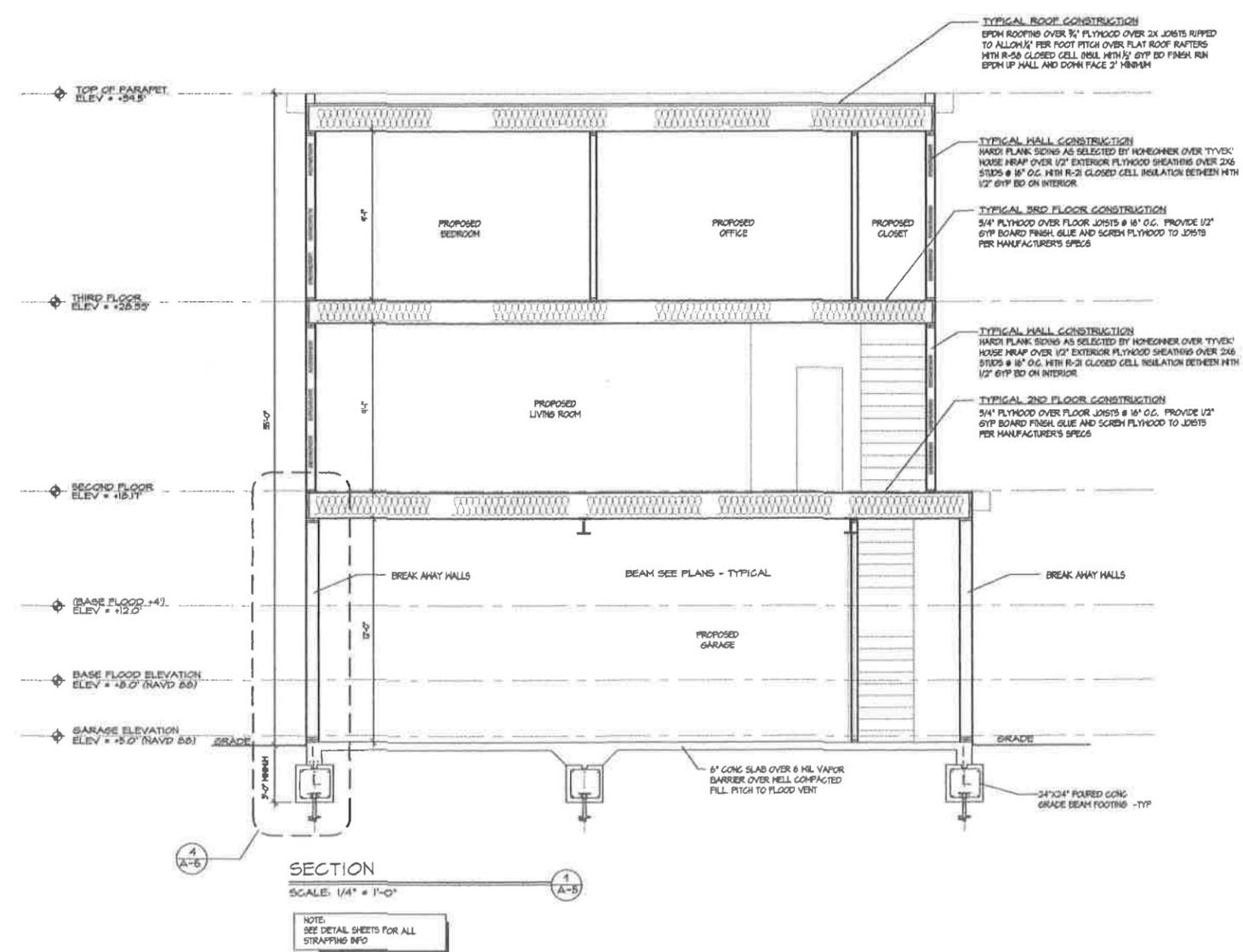
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JOB NO.
24-43

SHEET NO.
A-4

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COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
GENERAL REQUIREMENTS	A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE. THE EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER. BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED.	AIR-PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL.
CEILING/ATTIC	THE AIR BARRIER IN ANY DROPPED CEILING OR SOFFIT SHALL BE ALIGNED WITH THE INSULATION AND ANY GAPS IN THE AIR BARRIER SHALL BE SEALED. ACCESS OPENINGS, DROP DOWN STAIRS OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES SHALL BE SEALED.	THE INSULATION IN ANY DROPPED CEILING/SOFFIT SHALL BE ALIGNED WITH THE AIR BARRIER.
HALLS	THE JUNCTION OF THE FOUNDATION AND SILL PLATE SHALL BE SEALED. THE JUNCTION OF THE TOP PLATE AND THE TOP OF EXTERIOR WALLS SHALL BE SEALED. KNEE WALLS SHALL BE SEALED.	CAVITIES WITH CORNERS AND HEADERS OF FRAME WALLS SHALL BE INSULATED BY COMPLETELY FILLING THE CAVITY WITH A MATERIAL HAVING A THERMAL RESISTANCE R-VALUE OF NOT LESS THAN R-5 PER INCH. EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH THE AIR BARRIER.
WINDOWS, SKYLIGHTS AND DOORS	THE SPACE BETWEEN FRAMING AND SKYLIGHTS, AND THE JAMBS OF WINDOWS AND DOORS, SHALL BE SEALED.	
RIM JOISTS	RIM JOISTS SHALL INCLUDE THE AIR BARRIER.	RIM JOISTS SHALL BE INSULATED.
FLOORS, INCLUDING CANTILEVERED FLOORS ABOVE GARAGES	THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION.	FLOOR FRAMING CAVITY INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE UNDERSIDE OF SUBFLOOR DECKING. ALTERNATIVELY, FLOOR FRAMING CAVITY INSULATION SHALL BE IN CONTACT WITH THE TOP SIDE OF SHEATHING, OR CONTINUOUS INSULATION INSTALLED ON THE UNDERSIDE OF FLOOR FRAMING, AND SHALL EXTEND FROM THE BOTTOM TO THE TOP OF ALL PERIMETER FLOOR FRAMING MEMBERS.
CRANE SPACE WALLS	EXPOSED EARTH IN UNVENTED CRANE SPACES SHALL BE COVERED WITH A CLASS 1 VAPOR RETARDER WITH OVERLAPPING JOINTS TAPED.	CRANE SPACE INSULATION, WHERE PROVIDED INSTEAD OF FLOOR INSULATION, SHALL BE PERMANENTLY ATTACHED TO THE WALLS.
SHAFTS, PENETRATIONS	DUCT SHAFTS, UTILITY PENETRATIONS, AND FLUE SHAFTS OPENING TO EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED.	
NARROW CAVITIES		BATTS TO BE INSTALLED IN NARROW CAVITIES SHALL BE CUT TO FIT OR NARROW CAVITIES SHALL BE FILLED WITH INSULATION THAT ON INSTALLATION READILY CONFORMS TO THE AVAILABLE CAVITY SPACE.
GARAGE SEPARATION	AIR SEALING SHALL BE PROVIDED BETWEEN THE GARAGE AND CONDITIONED SPACES.	
RECESSED LIGHTING	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE FINISHED SURFACE.	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT AND IC RATED.
PLUMBING AND FIRING		IN EXTERIOR WALLS, BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND FIRING AND PLUMBING, OR INSULATION THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE, SHALL EXTEND BEHIND PIPING AND FIRING.
SHOWERS/TUBS ON EXTERIOR HALL	THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THE HALL FROM THE SHOWER OR TUB.	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED.
ELECTRICAL/PHONE BOX ON EXTERIOR WALLS	THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL AND COMMUNICATION BOXES. ALTERNATIVELY, AIR-SEALED BOXES SHALL BE INSTALLED.	
HVAC REGISTER BOOTS	HVAC SUPPLY AND RETURN REGISTER BOOTS AND PENETRATE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR, WALL COVERING OR CEILING PENETRATED BY THE BOOT.	
CONCEALED SPRINKLERS	WHERE REQUIRED TO BE SEALED, CONCEALED FIRE SPRINKLERS SHALL ONLY BE SEALED IN A MANNER THAT IS RECOMMENDED BY THE MANUFACTURER. CAULKING OR OTHER ADHESIVE SEALANTS SHALL NOT BE USED TO FILL VOIDS BETWEEN FIRE SPRINKLER COVER PLATES AND WALLS OR CEILINGS.	



GENERAL NOTES AND SPECIFICATIONS

REINFORCING:

1. ALL REINFORCING BARS ARE TO BE THE DIAMETER SHOWN, DEFORMED HYDROGRADE GRADE BILLET STEEL, HAVING A DESIGN STRENGTH OF 30000 P.S.I.
2. TYPICAL COVER FOR ALL REINFORCING SHALL BE THREE TIMES UNLESS OTHERWISE NOTED ON DRAWINGS.
3. ALL BARS TO BE CONTINUOUS UNLESS SPECIFIC LENGTHS ARE SHOWN. ALL SPLICES TO BE FORTY BAR DIAMETERS MINIMUM.
4. SPLICES FOR BOTTOM STEEL IN BEAMS TO BE LOCATED OVER A PILE SPLICE FOR TOP STEEL TO BE LOCATED BETWEEN PILES.
5. HELDED WIRE FABRIC (H.W.F.) IS TO BE 6"x6" SPACED, #4 #4 GAGE HIGH SHALL CONSIST OF COLD DRAWN MEMBERS HAVING AN ULTIMATE STRENGTH OF NOT LESS THAN 10000 P.S.I. HELDED WIRE FABRIC IS TO BE PLACED AS SHOWN ON THE PLAN.
6. ALL REINFORCING IS TO BE SECURELY FASTENED TO RESIST MOVEMENT DURING CONCRETE PLACEMENT. USE EPOXY REBAR IF WATER IS ENCOUNTERED.
7. SUPPLY 40 DEGREE BENT #5 BARS - 18" LEGS - AT ALL CORNERS. MINIMUM 5 PER CORNER. CENTER IN GRADE BEAMS, TOP, MIDDLE AND BOTTOM. PROVIDE MIN. 2 AT HATCH BEAMS TO GRADE B/S. TOP & BOTTOM W/ 2 BEAM SEAT AT SAME LOCATION. IF ANY WATER IS ENCOUNTERED, EPOXY REBAR TO BE USED.

PILES:

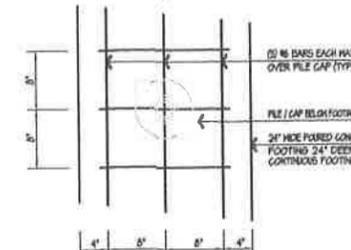
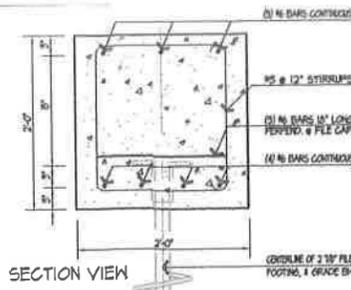
8. PILES ARE TO BE 2 7/8" DIA. GALVANIZED STEEL HELICAL PILES APPROX. 18" DIA. IF CAP HEIGHT IS 18" OR MORE. PILE TO BE 3 1/2" DIA. - PILE AND CAP SIZE TO BE VERIFIED BY LICENSED PILE CONTRACTOR AND ENGINEER.
9. ALL PILES ARE TO HAVE A SAFETY FACTOR OF (2) TWO (2) FOR ULTIMATE. PILES ARE TO BE DRIVEN TO MINIMUM DESIGN TORQUE SPECIFIED ON PLAN.

CONCRETE:

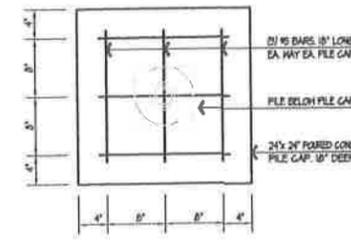
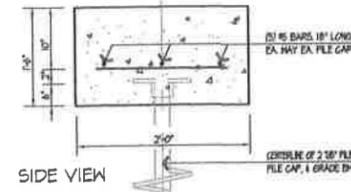
10. CONCRETE IS TO HAVE A MINIMUM STRENGTH OF 3500 P.S.I. AT 28 DAYS.
11. SLAB AND HATCH BEAMS ARE TO BE POURED MONOLITHICALLY.

GENERAL:

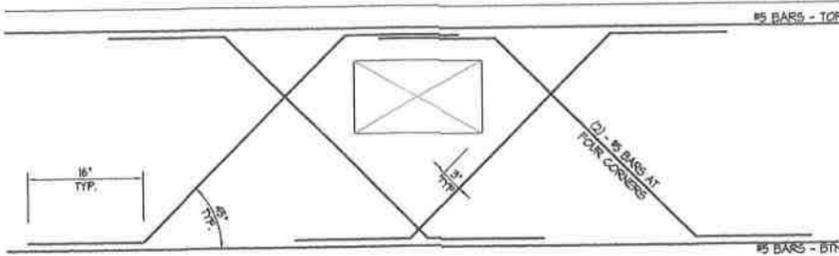
12. INSTALLATION OF PILES AND REINFORCING STEEL ARE TO BE INSPECTED AND CERTIFIED BY LICENSED PILE ENGINEER.
13. NO CONCRETE TO BE POURED UNTIL THE PILE LOG IS SUBMITTED AND APPROVED AND UNTIL FORMWORK AND STEEL WORK IS APPROVED.



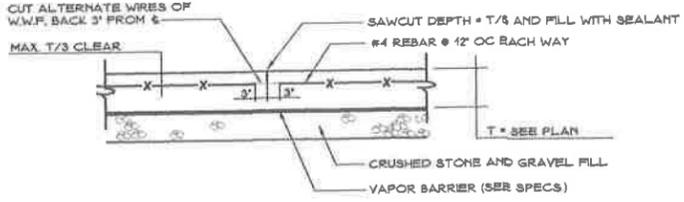
DETAIL - PILE CAP FOOTING PLAN 1
CONTINUOUS FTG 1"=1'-0" A-6
ALL PILES TO BE 2 7/8" DIA



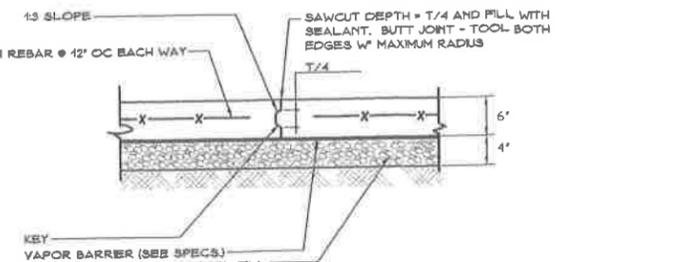
DETAIL - PILE CAP PLAN 2
NTS A-6



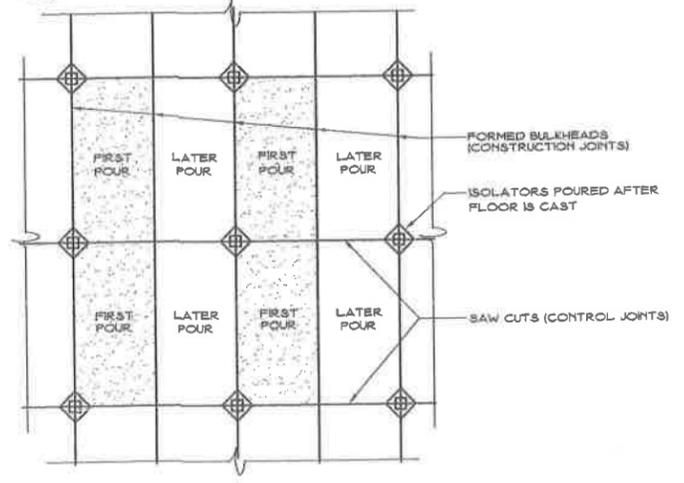
DETAIL - GRADE BEAM OPENINGS 3
1"=1'-0" A-6



TYPICAL CONTROL JOINT DETAIL
NOT TO SCALE



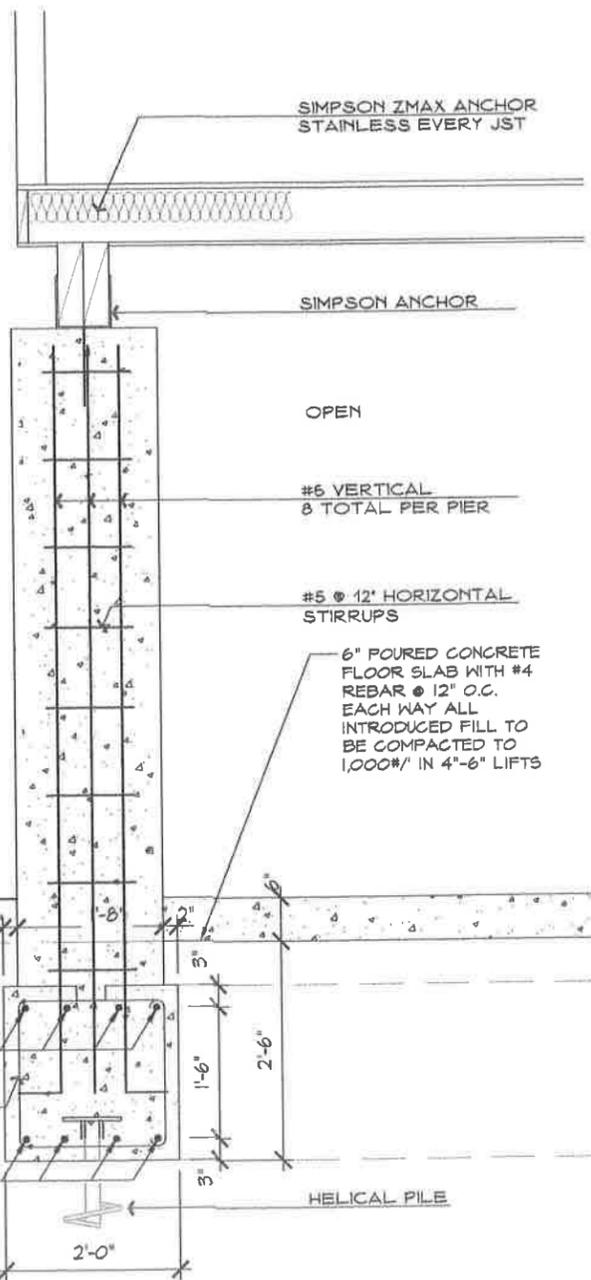
TYP. CONSTRUCTION JOINT DETAIL
NOT TO SCALE



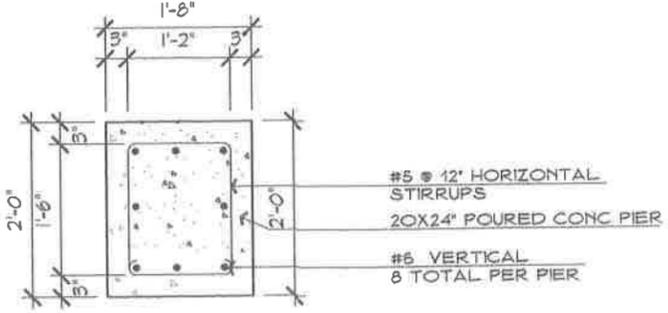
- NOTE:
1. PROVIDE CONTINUOUS GALVANIZED METAL JOINT.
 2. CONSTRUCTION JOINTS SHALL BE LOCATED ON COLUMN CENTERLINES UNLESS OTHERWISE INDICATED ON DRAWINGS.
 3. PROVIDE ISOLATION JOINTS FOR COLUMNS, FOOTINGS AND OTHER POINTS OF RESTRAINT.
 4. INSERT EXPANSION JOINT FILLERS FULL DEPTH OF THE JOINT BEFORE OR DURING CONCRETING OPERATIONS.
 5. CONSTRUCTION JOINTS SHALL BE LOCATED NOT LESS THAN 8'-0" FROM ANY OTHER JOINT TO WHICH THEY ARE PARALLEL.
 6. PROVIDE CONTROL JOINTS SPACED AT 15 TO 20 FOOT INTERVALS IN BOTH DIRECTIONS. IF COLUMNS ARE LOCATED FARTHER APART THAN 20'-0", PROVIDE INTERMEDIATE JOINTS. THE RESULTING SLAB PANELS SHOULD BE APPROXIMATELY SQUARE. ELONGATED AND L-SHAPED PANELS SHOULD BE AVOIDED. SAW CUT WITHIN 24 HOURS.
 7. CONCRETE SHOULD NOT BE PLACED ON THE SUBGRADE FASTER THAN IT CAN BE SPREAD, STRAIGHTENED AND BULL FLOATED.

SLAB ON GRADE PLACING SEQUENCE
NOT TO SCALE

RAISED FIRST FLOOR
ELEV = +16'-5" (+16.41')



SECTION 4
SCALE: 1"=1'-0" A-6



PIER PLAN
SCALE: 1"=1'-0"

SANDY REPAIR
RIEMER RESIDENCE
691 SOUTH BAYVIEW AVE. FREEPORT, NY

BCNY ARCHITECTURE
CUSTOM DESIGNED RESIDENCES
208 TRINITY PLACE, SAUGERTOWN, NY 11789
PHONE: 516-334-9494
COMMERCIAL ARCHITECTURE & INTERIOR DESIGN
EMAIL: BCNYARCHITECTURE@GMAIL.COM PHONE: 516-220-0969

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CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520

(516) 377-2242

FAX (516) 377-2493

ROBERT T. KENNEDY
MAYOR

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

SERGIO MAURAS
SUPERINTENDENT OF
BUILDINGS

March 20, 2025

LETTER OF DENIAL

Patricia O'keefe
157 Gordon Place
Freeport, NY 11520

RE: 157 Gordon Place Freeport, NY

Zoning District – Residence A Sec. 62 Blk. 092, Lot 400

Building Permit Application #20244039

**Description– Code compliance for apportionment - to create a new buildable lot A 40' x 100'
(4,000 sq. ft.)**

Dear Sir/Madam:

Please be advised that the above captioned Building Permit Application must be denied for the following reason(s):

Village Ordinance §210-6A. Conformity Required. No building or land shall hereafter be used or occupied and no building or part thereof shall be erected, moved or altered unless in conformity with the regulations herein specified for the district in which it is located.

Village Ordinance §210-40. Lot area; street frontage; lot width.

No building shall be erected on a lot whose area is less than 5,000 square feet. According to the drawings submitted the area of the lot is 4,000SF. You will be seeking a variance of 1,000SF.

On any lot which has a street frontage of less than 50 feet and on any lot whose width is less than 50 feet at a point between the side lines from the front property line to the rear building line of the proposed structure. According to the plans submitted indicates that they have a 40' lot width. You will be seeking a variance of 10' width.

Please be further advised that if you intend to appeal this decision you must file an application within sixty (60) days of the date of this letter. For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-2202 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's office. Only after this initial appointment should the additional copies be made.

Be further advised that you must submit an application to the Zoning Board of Appeals within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Zoning Board of Appeals Application, please call the VILLAGE CLERK'S OFFICE at 377-2300.

Very truly yours,



Sergio A. Mauras
Superintendent of Buildings
Daniela Hernandez,

cc: Village Clerk

SITE PLAN APPROVAL NEEDED: NO

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VILLAGE OF FREEPORT, NY

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VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project :

Building Permit App. 20244039

Location: 157 Gordon Place, Freeport, NY

Applicant: Patricia O'keefe

Description: Code compliance for apportionment - to create a new buildable lot A 40' x 100' (4,000 sq. ft.)

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A)

B) Possible environment effects identified:
(only if positive determination)

Dated: March 20, 2025

Sergio A. Mauras
Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

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2025 MAR 20 10 38 AM
VILLAGE OF FREEPORT, NY
DEPARTMENT OF BUILDINGS



Lot A

SEC. 62 BLK. 092 LOT. 400

BOARD OF APPEALS OF THE VILLAGE OF FREEPORT

In the Matter
Of
the Application of

To The Board of Appeals of the Village of Freeport, New York

The application of Patricia O'Keefe
respectfully states and alleges:

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VILLAGE OF FREEPORT, NY

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Index No.

COMPLY WITH ORIGINAL NOTES

Strike out inapplicable phrase

State whether applicant is owner, lessee, or has option or contract. If other than owner, state briefly terms of agreement.

Obtain reason for denial from Department of Buildings.

Describe by construction and number of stories. If none, so state.

State nature of use of property. If a business, give brief description.

Describe fully and clearly the use desired.

1. That the applicant (~~resides at~~) (has its principal office for the conducting of its business at) MARIA J. MIRO of MARIA J Miro Design + Drafting 1002 Merrick Ave., N. Merrick, NY 11566
2. That the premises affected by this application is located at 157 Gordon Pl., Freeport, NY Land Map of Nassau County Sec. 62 Blk. 092 Lot(s) 400 and that the interest which the applicant has in the property concerned is that of Agent For Patricia O'Keefe, owner
3. That (the applicant) (the applicant's duly authorized Maria Miro) on or about the 10th day of Dec 2024, filed in the office of the Department of Buildings of the Village of Freeport, New York, an application for a Building Permit. Documents filed with said application were as follows: Code Compliance For Apportionment - to Create a new buildable lot A 40'x100', 4000 SQ FT.
4. That on or about the 15th day of Jan, 20 25, the Department of Buildings denied said application; upon information and belief that the reason for said denial was as follows: Village Ordinance 210-6A. Conformity Req'd Village Ordinance 210-40. Lot Area, Street Frontage, Lot width
5. That the nature of the improvements now upon said premises is as follows: Code Compliance For Apportionment - to Create a new buildable Lot A, 40'x100', 4000 SQ FT.
6. That said premises are now being used as follows: 1 Family Residence
7. That the applicant seeks authority to make use of said premises as follows: Code Compliance For Apportionment - To Create A New

Patricia O'Keefe

157 Gordon Place, Freeport, N.Y.

Zoning District - Residence A Sec. 62, Block 092, Lot 400

Description - Code Compliance for apportionment - to create a new buildable lot A 40' x 100' (4,000 Sq. Ft.).

Continuation of #8 and #10 (Annexed Statement)

Village Ordinance 210-6A. Conformity Required. No Building or land shall hereafter be used or occupied and no building or part thereof shall be erected, moved or altered unless in conformity with the regulations herein specified for the district in which it is located.

Village Ordinance 210-40. Lot Area; Street Frontage; Lot Width.

No building shall be erected on a lot whose area is less than 5,000 square feet. According to the drawings submitted the area of the lot is 4,000 SF. You will be seeking a variance of 1,000 SF. On any lot which has a street frontage of less than 50 feet and on any lot whose width is less than 50 feet at a point between the side lines from the property line to the rear building line of the proposed structure. According to the plans submitted, it indicates that they have a 40 ft. lot width. You will be seeking a variance of 10 ft. width.

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VILLAGE OF FREEPORT, NY

617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

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VILLAGE OF FREEPORT, NY

Part 1 - Project and Sponsor Information			
Name of Action or Project: <i>Patricia O'Keefe</i>			
Project Location (describe, and attach a location map): <i>157 Gordon Pl., Freeport, NY 11520</i>		<i>Sec 82 Blk-92 Lots 402-403</i>	
Brief Description of Proposed Action: <i>Proposed New House - Code Compliance to Subdivide Lot A</i>			
Name of Applicant or Sponsor: <i>Patricia O'Keefe</i>		Telephone: <i>516-835-7655</i>	
		E-Mail: <i>pattyhomes1712@gmail.com</i>	
Address: <i>36 Central Blvd.</i>			
City/PO: <i>Bethpage</i>		State: <i>NY</i>	Zip Code: <i>11714</i>
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: <i>Village of Freeport</i>			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		<i>.09</i> acres	
b. Total acreage to be physically disturbed?		<i>.09</i> acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		<i>.09</i> acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			

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	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Are public transportation service(s) available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing potable water: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100 year flood plain?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ <i>Drywells + Catch basins</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>Patricia O'Keefe</u>	Date: <u>11/12/2025</u>	2025 MAR 20 11:45
Signature: <u>xx Patricia O'Keefe</u>		

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Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:		
a. public / private water supplies?	<input type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

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 VILLAGE OF FREEPORT, NY

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

DEPARTMENT OF BUILDINGS

OF THE VILLAGE OF FREEPORT, N.Y.

APPLICATION NO. _____

Filing Date _____

Application for Erection of Buildings or Alterations

IMPORTANT - Applicant to complete all items in sections: I, II, III, IV, V

I. LOCATION OF BUILDING	AT (LOCATION) <u>157 GORDON PLACE</u> ZONING DISTRICT _____ (No.) (Street)
	BETWEEN <u>Presidents ST.</u> AND _____ (Cross Street) (Cross Street)
	SECTION <u>62</u> BLOCK <u>92</u> LOT <u>403</u> 402- APPROX. LOT SIZE <u>40</u> x <u>100</u> LOT AREA <u>4,000</u>

II. TYPE AND COST OF BUILDING - All applicants complete Parts A - D.

A. TYPE OF IMPROVEMENT 1 New building 2 Addition-Alteration (if residential, enter number of new housing units added. If none-state none) 3 Swimming Pool 4 Repair (replacement) 5 Bulkhead (New, Repair) 6 Fence 7 Moving (relocation)	B. PROPOSED OR EXISTING USE RESIDENTIAL 11 <input checked="" type="checkbox"/> One Family 12 Two families 13 Apartment - Enter No. of Units _____ 14 Transient hotel, motel, or dormitory - Enter No. of Units _____ 15 Garage or Accessory Structure 16 Other - Specify _____ NON RESIDENTIAL - Complete Part "E" 17 Industrial 18 Office, bank, professional 19 Stores, mercantile 20 Church, other religious 21 Hospital, institutional 22 Other - Specify _____
---	--

C. COST 10 TOTAL COST OF IMPROVEMENT \$ _____	D. DESCRIPTION OF PROJECT <u>MAINTAIN EXISTING HOUSE ON LESSEE LOT.</u> <u>CODE COMPLIANT TO SUBDIVISION LOT 19</u>
---	--

III. IDENTIFICATION - To be completed by all applicants

NAME	MAILING ADDRESS - Number, street, city and state, Zip	TEL. NO.
1. Owner or Lessee <u>PATRICIA O'KEEFE</u>	<u>36 Central Blvd.</u> <u>Bethpage, NY 11714</u>	<u>516-835-7655</u>
2. Contractor	_____	_____
3. Architect or Engineer	_____	_____

IV. OWNER - CONTRACTOR STATEMENT

Building permit is issued subject to the provisions of Section 57 of the Workmen's Compensation Law.

Workmen's Compensation Certificate No. _____ Company _____ Exp. Date _____

Contractor or Owner PATRICIA O'KEEFE
(Print)

Address 36 Central Blvd. Bethpage
Phone 516-835-7655

State of New York
County of Nassau
PATRICIA O'KEEFE being duly sworn, says that site is the contractor or owner of the above mentioned building. That the items of the above application also the estimated cost of said building or alteration, is correct to the best of Her knowledge and belief and agrees to conform to all applicable laws of this

V. FLOOD ZONE

IS PROJECT LOCATED WITHIN A DESIGNATED FLOOD HAZARD ZONE?
 YES NO _____
 IF YES, WHICH ZONE? _____

IS PROJECT TO REPAIR FLOOD DAMAGE?
 YES _____ NO

PROJECT DESCRIPTION

Total/First Flr Square Feet

Upper Flrs

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VILLAGE OF FREEPORT/NY



157 Gordon Place, Subject Property

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VILLAGE OF FREEHO



157 Gordon Place, Subject Property



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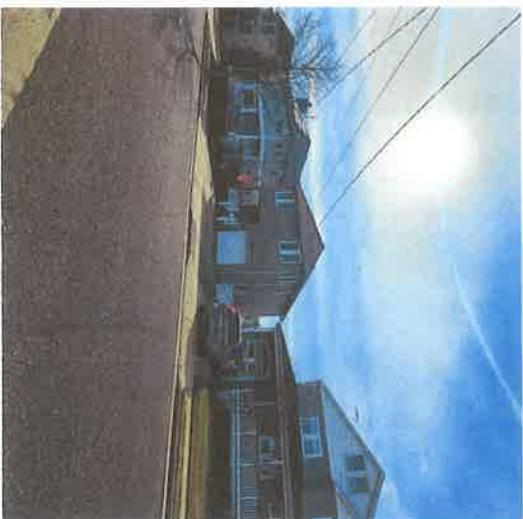


157 Gordon Place, Adjacent Property Owners.

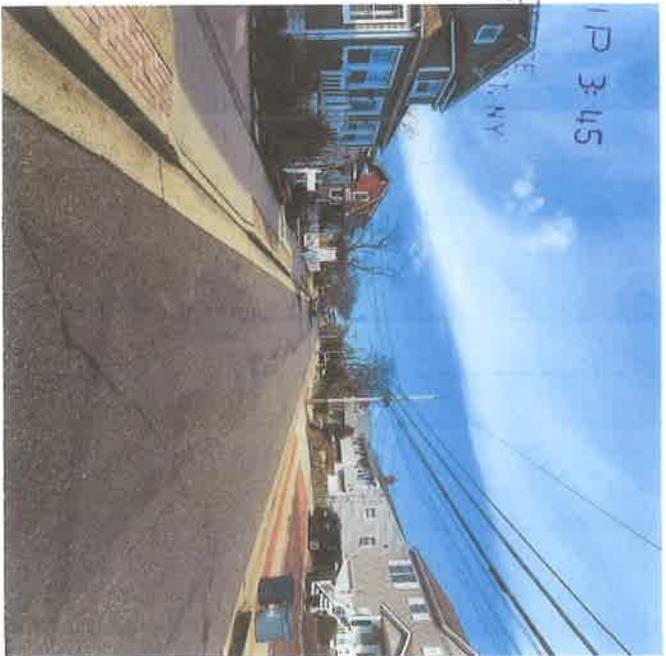
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VILLAGE OF FREEDOM, NY



157 Gordon Place Adjacent Property Owners



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VILLAGE OF FR

157 Gordon Place, Adjacent Property Owners

UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW. COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYORS INKED OR EMBOSSED SEAL ARE NOT CONSIDERED TO BE A TRUE VALID COPY. DISTANCES SHOWN FROM PROPERTY LINES TO EXISTING STRUCTURES ARE FOR A SPECIFIC PURPOSE AND USE, AND ARE NOT INTENDED TO GUIDE IN THE ERECTION OF FENCES OR OTHER STRUCTURES. CERTIFICATION INDICTED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED AND ON HIS BEHALF, TO THE COMPANY OR AGENCIES LISTED HEREON AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

APPLICANT-PROPERTY OWNER:

JTL REAL PROPERTY LLC
 36 CENTRAL BOULEVARD
 BETHPAGE, NEW YORK 11714
 PHONE: (516)-835-7655
 E-MAIL: _____

PROPERTY INFORMATION:

AREA: 4,000.00 Sq.Ft. = 0.09 ACRES
 ZONED: A-RESIDENCE
 ELEVATION: IN ASSUMED DATUM

DRAWING INFORMATION:

SCALE: 1"=20'
 DRAWN BY: R.K.H.
 FILE No.: Q072-24-A
 DATE: JUNE 18, 2024

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 25 MAR 2019 P 3:



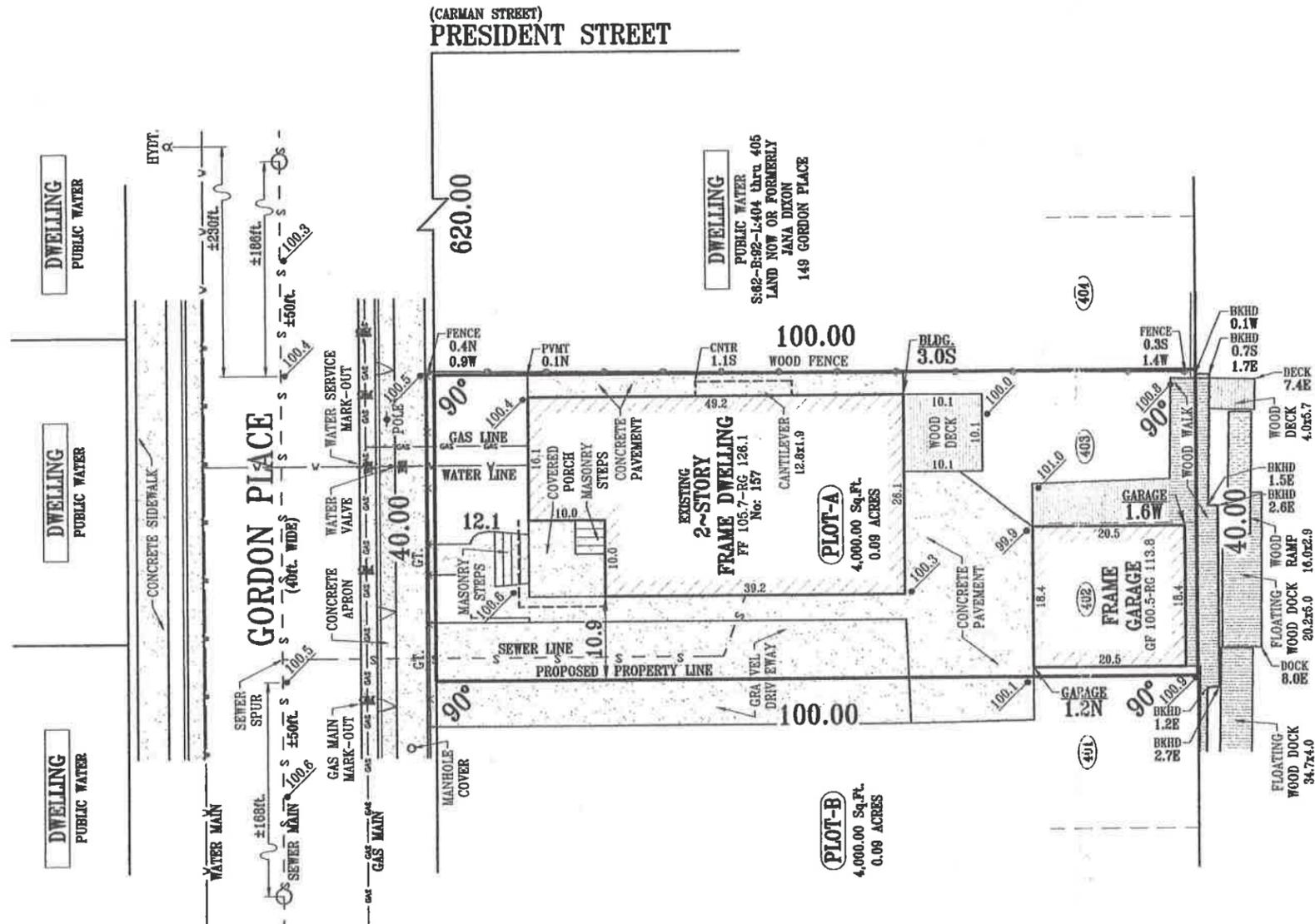
LISA McQUILKIN
 LAND SURVEYING

274 EAST MAIN STREET
 EAST ISLIP, NEW YORK 11730
 PHONE: 631-277-3605
 E-MAIL: lisa@longislandsurveyor.com

SURVEY OF LOTS 402 THRU 403,
 AS SHOWN ON MAP OF
SPORTSMANS HARBOR
 SECTION No. 1
 FILED: JULY 22, 1925 - No: 568
 SITUATED IN THE
 INCORPORATED VILLAGE OF FREEPORT,
 TOWN OF HEMPSTEAD,
 NASSAU COUNTY, NEW YORK
 SECTION: 62 ~ BLOCK: 92 ~ LOTS: 402-403

157 GORDON PLACE, FREEPORT

(CARMAN STREET)
PRESIDENT STREET



HUDSON CHANNEL
 (60ft. WIDE) ~ (UNDERWATER LAND)

NOTES:

- AVERAGE FRONT YARD SETBACK ALONG THE EASTERLY SIDE OF GORDON PLACE WITHIN 200ft. OF SUBJECT PROPERTY IS 25.15ft.
- EXISTING WATER MAIN & GAS MAIN LOCATIONS AS PER PHYSICAL MARK-OUT.
- EXISTING WATER LINE & GAS LINE LOCATIONS AS PER OTHERS.
 -EXACT LOCATION TO BE VERIFIED PRIOR TO EXCAVATING.
- EXISTING SEWER SPUR LOCATIONS AS PER NASSAU COUNTY SEWER RECORDS.
- ON-SITE MARK-OUT ADVISED FOR SEWER LINE LOCATION PRIOR TO EXCAVATING.
- ALL SURROUNDING DWELLINGS WITHIN 150.0ft. HAVE PUBLIC WATER.
- SURVEYOR IS NOT RESPONSIBLE FOR UNDERGROUND UTILITIES OR STRUCTURES.
- LOCATION OF UNDERGROUND UTILITIES AS PER MARK-OUT BY UTILITY COMPANIES.
- EXISTENCE OF ANY EASEMENTS IS TO BE VERIFIED BY A COMPLETE TITLE SEARCH.

F.A.R. CALCULATIONS-PLOT A:

CALCULATIONS AS PER NASSAU COUNTY
 • LOT AREA: 4,000.00 Sq.Ft. = 0.09 ACRES
 1st FLOOR AREA: ±1200 Sq.Ft.
 GARAGE AREA: ±1014 Sq.Ft.
 TOTAL AREAS: ±2214 Sq.Ft.
 • F.A.R. OF LOT: = 55.35%

UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW. COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYORS INKED OR EMBOSSED SEAL ARE NOT CONSIDERED TO BE A TRUE VALID COPY. DISTANCES SHOWN FROM PROPERTY LINES TO EXISTING STRUCTURES ARE FOR A SPECIFIC PURPOSE AND USE, AND ARE NOT INTENDED TO GUIDE IN THE ERECTION OF FENCES OR OTHER STRUCTURES. CERTIFICATION INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED AND ON HIS BEHALF, TO THE COMPANY OR AGENCIES LISTED HEREON AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

APPLICANT-PROPERTY OWNER:

JTL REAL PROPERTY LLC
 36 CENTRAL BOULEVARD
 BETHPAGE, NEW YORK 11714
 PHONE: (516)-835-7855
 E-MAIL: _____

PROPERTY INFORMATION:

AREA: 4,000.00 Sq.Ft. = 0.09 ACRES
 ZONED: A-RESIDENCE
 ELEVATION: IN ASSUMED DATUM

DRAWING INFORMATION:

SCALE: 1"=20'
 DRAWN BY: R.K.H.
 FILE No.: Q072-24-8
 DATE: JUNE 18, 2024

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 2025 MAR 20 10 P 3:46
 CLERK'S OFFICE
 VILLAGE OF FREEPORT, N.Y.
 STATE OF NEW YORK
 ELIZABETH G. McQUILKIN
 LICENSED LAND SURVEYOR
 NO 050211

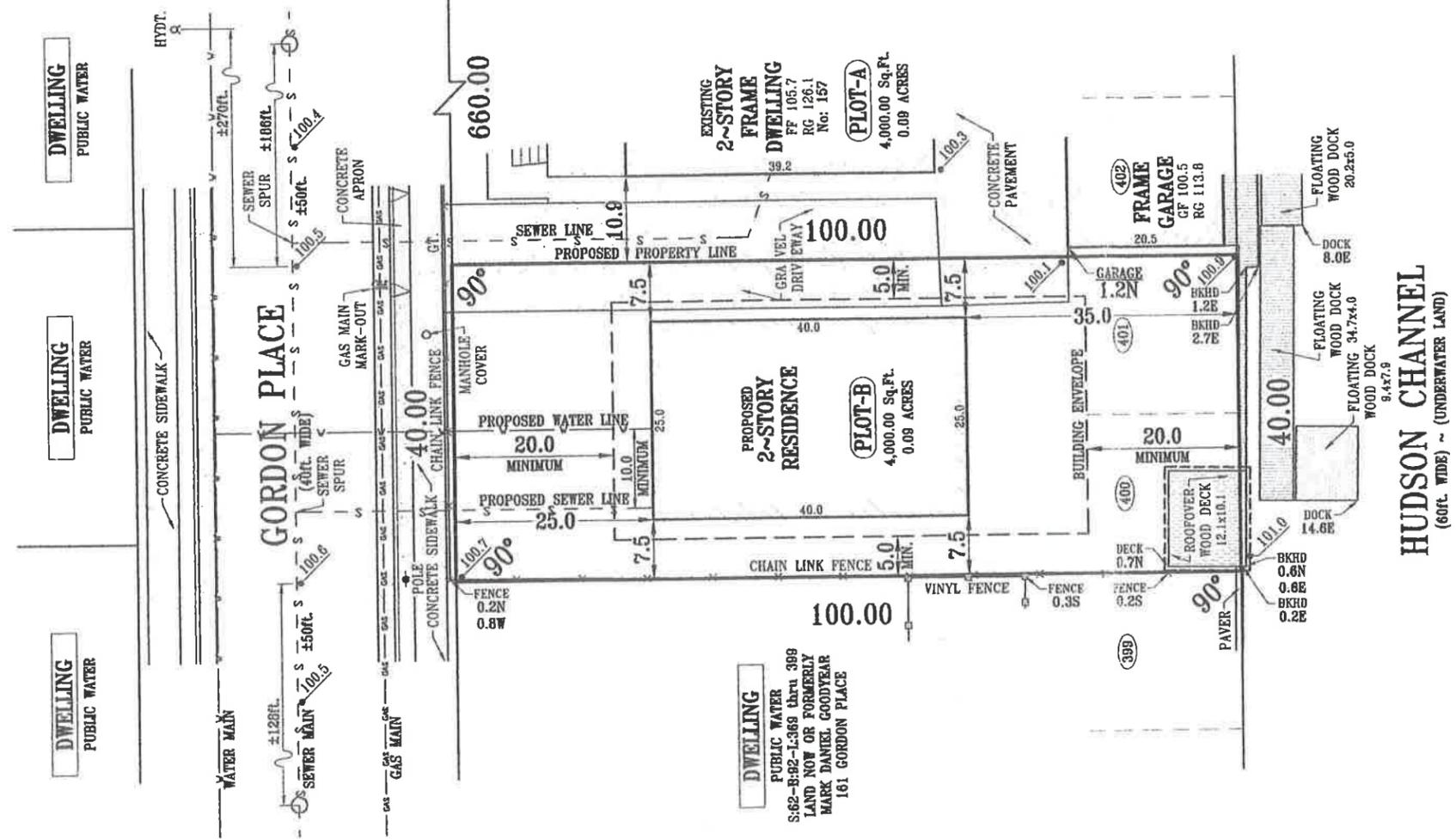
LISA McQUILKIN
 LAND SURVEYING

274 EAST MAIN STREET
 EAST ISLIP, NEW YORK 11730
 PHONE: 631-277-3605
 E-MAIL: lisa@longislandsurveyor.com

SURVEY OF LOTS 400 THRU 401,
 AS SHOWN ON MAP OF
SPORTSMANS HARBOR
 SECTION No. 1
 FILED: JULY 22, 1925 - No: 568
 SITUATED IN THE
 INCORPORATED VILLAGE OF FREEPORT,
 TOWN OF HEMPSTEAD,
 NASSAU COUNTY, NEW YORK
 SECTION: 62 ~ BLOCK: 92 ~ LOTS: 400-401

GORDON PLACE, FREEPORT

(CARMAN STREET)
PRESIDENT STREET



DWELLING
 PUBLIC WATER
 S:62-S:92-1:369 thru 399
 LAND NOW OR FORMERLY
 MARK DANIEL GOODYEAR
 161 GORDON PLACE

F.A.R. CALCULATIONS-PLOT B:

- LOT AREA: 4,000.00 Sq.Ft. = 0.09 ACRES
- 1st FLOOR AREA: ±1000 Sq.Ft.
- 2nd FLOOR AREA: ±1000 Sq.Ft.
- TOTAL AREAS: ±2000 Sq.Ft.
- F.A.R. OF LOT: = 50.00%

- NOTES:**
- AVERAGE FRONT YARD SETBACK ALONG THE EASTERLY SIDE OF GORDON PLACE WITHIN 200ft. OF SUBJECT PROPERTY IS 25.15ft.
 - EXISTING WATER MAIN & GAS MAIN LOCATIONS AS PER PHYSICAL MARK-OUT.
 - EXISTING WATER LINE & GAS LINE LOCATIONS AS PER OTHERS.
 -EXACT LOCATION TO BE VERIFIED PRIOR TO EXCAVATING.
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 - ON-SITE MARK-OUT ADVISED FOR SEWER LINE LOCATION PRIOR TO EXCAVATING.
 - ALL SURROUNDING DWELLINGS WITHIN 150.0ft. HAVE PUBLIC WATER.
 - SURVEYOR IS NOT RESPONSIBLE FOR UNDERGROUND UTILITIES OR STRUCTURES.
 - LOCATION OF UNDERGROUND UTILITIES AS PER MARK-OUT BY UTILITY COMPANIES.
 - EXISTENCE OF ANY EASEMENTS IS TO BE VERIFIED BY A COMPLETE TITLE SEARCH.

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VILLAGE OF FREEPORT, NY

I HEREBY CERTIFY THAT THIS PLAT WAS MADE FROM AN ACTUAL SURVEY DATED: JUNE 18, 2024 AND THAT THE 2 LOTS SHOWN HEREBON ARE ALL IN ACCORDANCE WITH THE REQUIREMENTS OF THE "A" RESIDENCE ZONING DISTRICT OF THE INCORPORATED VILLAGE OF FREEPORT.

Lisa McQuilkin
 ■ = CONCRETE MONUMENT
 ○ = REBAR MONUMENT
 ELIZABETH McQUILKIN, LAND SURVEYOR ~ LICENSE No: 050211

UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY IS A VIOLATION OF SECTION 7009 OF THE NEW YORK STATE EDUCATION LAW. COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S SEAL OR SIGNATURE SHALL BE CONSIDERED TO BE A TRUE AND FAITHFUL COPY. DISTANCES SHOWN FROM PROPERTY LINES TO EXISTING STRUCTURES ARE FOR A SPECIFIC PURPOSE AND USE AND ARE NOT INTENDED TO GUIDE IN THE ERECTION OF FRAMES OR OTHER STRUCTURES. CERTIFICATION NOTICES HEREBON SHALL BE GIVEN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED AND ON BE HALF TO THE COMPANY OR AGENCIES LISTED HEREBON AND TO THE ASSOCIATES OF THE LEADING INSTITUTION. CERTIFICATIONS ARE NOT TRANSFERABLE TO ANY OTHER INSTITUTIONS OR SUBSEQUENT OWNERS.

NOTICE

THIS DRAWING, PREPARED FOR THE SPECIFIC PROJECT INDICATED IS AN INSTRUMENT OF SERVICE AND THE PROPERTY OF LISA McQUILKIN LAND SURVEYING. UNAUTHORIZED OR ANY USE OF THIS DRAWING FOR ANY OTHER PROJECT IS PROHIBITED. ANY ALTERATION OR REPRODUCTION OF THIS DOCUMENT IS ALSO PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE SURVEYOR.

APPLICANT:
 JTL REAL PROPERTY LLC
 36 CENTRAL BOULEVARD
 BETHPAGE, NEW YORK 11714
 PHONE: (516)-835-7655
 E-MAIL: _____

PROPERTY OWNER:
 JTL REAL PROPERTY LLC
 36 CENTRAL BOULEVARD
 BETHPAGE, NEW YORK 11714
 PHONE: (516)-835-7655
 E-MAIL: _____

DRAWING INFORMATION:
 SCALE: 1"=20'
 DRAWN BY: R.K.H.
 FILE No.: Q072-24
 DATE: JUNE 18, 2024

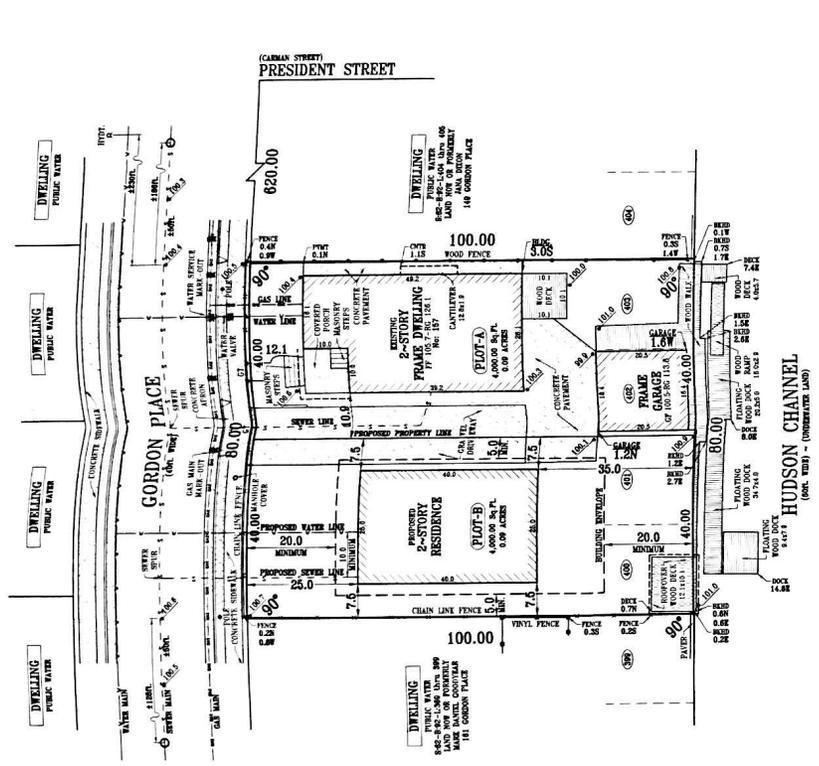
PROPERTY INFORMATION:
 ZONED: A - RESIDENCE
 ELEVATION: IN ASSUMED DATUM
 AREA CALCULATIONS:
 LOT A: 4,000.00 Sq.Ft. = 0.09 ACRES
 LOT B: 4,000.00 Sq.Ft. = 0.09 ACRES
 TOTAL: 8,000.00 Sq.Ft. = 0.18 ACRES



LISA McQUILKIN
 LAND SURVEYING
 274 EAST MAIN STREET
 EAST ISLIP, NEW YORK 11730
 PHONE: 631-277-3605
 E-MAIL: lisa@longislandsurveyor.com

PROPOSED LAND DIVISION MAP OF
GORDON SPLIT
 INCORPORATED VILLAGE OF FREEPORT,
 TOWN OF HEMPSTREAD,
 NASSAU COUNTY, NEW YORK

SURVEY OF LOTS 400 THRU 403,
 AS SHOWN ON MAP OF
SPORTSMANS HARBOR
 SECTION No. 1
 FILED: JULY 22, 1925 - No: 568
 SITUATED IN THE
 INCORPORATED VILLAGE OF FREEPORT,
 TOWN OF HEMPSTREAD,
 NASSAU COUNTY, NEW YORK
 SECTION: 62 - BLOCK: 92 - LOTS: 400-403



F.A.R. CALCULATIONS—PLOT A:
 CALCULATIONS AS PER NASSAU COUNTY
 • LOT AREA: 4,000.00 Sq.Ft. = 0.09 ACRES
 1st FLOOR AREA: ±1200 Sq.Ft.
 GARAGE AREA: ±1014 Sq.Ft.
 TOTAL AREAS: ±2214 Sq.Ft.
 • F.A.R. OF LOT = 55.35%

F.A.R. CALCULATIONS—PLOT B:
 • LOT AREA: 4,000.00 Sq.Ft. = 0.09 ACRES
 1st FLOOR AREA: ±1000 Sq.Ft.
 2nd FLOOR AREA: ±1900 Sq.Ft.
 TOTAL AREAS: ±2900 Sq.Ft.
 • F.A.R. OF LOT = 50.00%

- NOTES:
- AVERAGE FRONT YARD SETBACK ALONG THE EASTERLY SIDE OF GORDON PLACE WITHIN 200FT. OF SUBJECT PROPERTY IS 25.15FT.
 - EXISTING WATER MAIN & GAS MAIN LOCATIONS AS PER PHYSICAL MARK-OUT.
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VILLAGE OF FREEPORT, NY

INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520

(516) 377-2242

FAX (516) 377-2493

ROBERT T. KENNEDY
MAYOR

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

SERGIO MAURAS
SUPERINTENDENT OF
BUILDINGS

March 20, 2025

LETTER OF DENIAL

Patricia O'keefe
157 Gordon Place
Freeport, NY 11520

RE: 157 Gordon Place Freeport, NY

Zoning District – Residence A Sec. 62 Blk. 092, Lot 400

Building Permit Application #20244040

**Description– Code compliance for apportionment - to create a new buildable lot B 40' x 100'
(4,000 sq. ft.)**

Dear Sir/Madam:

Please be advised that the above captioned Building Permit Application must be denied for the following reason(s):

Village Ordinance §210-6A. Conformity Required. No building or land shall hereafter be used or occupied and no building or part thereof shall be erected, moved or altered unless in conformity with the regulations herein specified for the district in which it is located.

Village Ordinance §210-40. Lot area; street frontage; lot width.

No building shall be erected on a lot whose area is less than 5,000 square feet. According to the drawings submitted the area of the lot is 4,000SF. You will be seeking a variance of 1,000SF.

On any lot which has a street frontage of less than 50 feet and on any lot whose width is less than 50 feet at a point between the side lines from the front property line to the rear building line of the proposed structure. According to the plans submitted indicates that they have a 40' lot width. You will be seeking a variance of 10' width.

Please be further advised that if you intend to appeal this decision you must file an application within sixty (60) days of the date of this letter. For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-2202 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's office. Only after this initial appointment should the additional copies be made.

Be further advised that you must submit an application to the Zoning Board of Appeals within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Zoning Board of Appeals Application, please call the VILLAGE CLERK'S OFFICE at 377-2300.

Very truly yours,



Sergio A. Mauras
Superintendent of Buildings
Daniela Hernandez,

cc: Village Clerk

SITE PLAN APPROVAL NEEDED: NO

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CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project :

Building Permit App. 20244040

Location: 157 Gordon Place, Freeport, NY

Applicant: Patricia O'keefe

Description: Code compliance for apportionment - to create a new buildable lot B 40' x 100' (4,000 sq. ft.)

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A)

B) Possible environment effects identified:
(only if positive determination)

Dated: March 20, 2025

Sergio A. Mauras
Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

2025 MAR 20 1 P 3:41
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VILLAGE OF FREEPORT, NY

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Lot B

SEC. 62 BLK. 92 LOT. 400

BOARD OF APPEALS OF THE VILLAGE OF FREEPORT

In the Matter
Of
the Application of

To The Board of Appeals of the Village of Freeport, New York

COMPLY WITH
ORIGINAL NOTES

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VILLAGE OF FREEPORT, NY

Index No.

The application of PATRICIA O'KEEFE

respectfully states and alleges:

1. That the applicant (~~resides at~~) (has its principal office for the conducting of its business at) MARIA J MIRO, MARIA J. MIRO Design + Drafting, 1002 Merrick Ave., U. Merrick, N.Y. 11566
2. That the premises affected by this application is located at Land Map of Nassau County 157 GARDEN PL., FREEPORT, N.Y. 11520 Sec. 62 BLK 92 Lot(s) 400 and that the interest which the applicant has in the property concerned is that of AGENT FOR the owner PATRICIA O'KEEFE.

State whether applicant is owner, lessee, or has option or contract. If other than owner, state briefly terms of agreement.

3. That (the applicant) (the applicant's duly authorized MARIA MIRO) on or about the 10th day of Dec. 2024, filed in the office of the Department of Buildings of the Village of Freeport, New York, an application for a Building Permit. Documents filed with said application were as follows:

CODE COMPLIANT FOR APPURTENANCEMENT - TO CREATE A NEW BUILDABLE LOT B 40' X 100' 14000 SQ. FT.

4. That on or about the 15th day of JAN, 2025, the Department of Buildings denied said application; upon information and belief that the reason for said denial was as follows:

VILLAGE ORDINANCE 210-6A - CONFORMITY REQUIRED VILLAGE ORDINANCE 210-40 - LOT AREA; ST. FRONTAGE, LOT WIDTH

Describe by construction and number of stories. If none, so state.

5. That the nature of the improvements now upon said premises is as follows: CODE COMPLIANT FOR APPURTENANCEMENT - TO CREATE A NEW BUILDABLE LOT B, 40' X 100' FT, 4000 SQ FT

State nature of use of property. If a business, give brief description.

6. That said premises are now being used as follows: 1-FAMILY RESIDENCE

Describe fully and clearly the use desired.

7. That the applicant seeks authority to make use of said premises as follows: CODE COMPLIANT FOR APPURTENANCEMENT - TO CREATE A NEW BUILDABLE LOT B, 40' X 100', 4000 SQ FT.

Strike out whichever word is not applicable. Follow language in ordinance.

8. Upon information and belief that a (permit) (variance) for such use may be granted by this Board by virtue of the following sections of the said Zoning Code of The Village of Freeport or statutes of the State of New York SEE ANNEXED STATEMENT ATTACHED

Refer where possible to paragraphs and section by numbers.

9. That the following is a statement of other factual information deemed pertinent by the applicant. If the application involves a subdivision of property, describe the existing property: EXISTING 1-FAMILY RESIDENCE A. ON 80 FT X 100 FT LOT.

If more space is needed annex statement on separate sheet and refer to it here with following words: "See annexed statement which is made a part hereof." Save opinions for the hearing.

10. That the grounds for this application are as follows:

"SEE Attached Annexed Statement which is made hereof"

11. That any deed restrictions running with the land prohibiting the desired use are as follows:

NONE

12. That (the applicant has made no previous application to this Board for the authority sought herein) (upon information and belief a previous application was made for the same or similar authority sought herein and denied by this Board, but that this application contains facts not alleged or shown in any previous proceeding before this Board).

WHEREFORE, the applicant respectfully prays that the authority sought herein be granted.

Dated: February 20, 20 25

Mrs. J. Miro

BY: MARIA J MIRO

ITS: AGENT TO OWNER

PATRICIA O'KEEFE

If this verification is made by an officer of a corporation or an Association or by a legal representative of an estate, his name and office should be designated on the first line.

State of New York)
County of Nassau) ss:

The applicant MARIA J. Miro named in the foregoing application, being duly sworn, depose and say that SHE read the foregoing application subscribed by Applicant and know the contents thereof; and that the same is true to her own knowledge except as to the matters therein stated to be alleged on information and belief, and that as to those matters SHE believe 5 to be true.

Sworn to before me this 20th day

of February, 20 25

Notary Public Amarilis Ledesma



**Notice
Conflict of Interest**

I have read Section 809 of the General Municipal Law concerning disclosure of and conflict of interest and hereby certify that there are no conflicts in respect to this application requiring disclosure.

February 20, 20 25
Date Year

Mrs. J. Miro
Signature

Affidavit of Owner
To be completed only if the owner is not the applicant.

State of New York)
County of Nassau) ss:

1 Patricia O'Keefe being duly sworn, depose and say:

That he/she (the owner of 157 Gerard Pl.) (is the owner

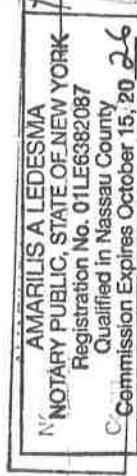
157 Gerard Pl., Freeport, NY 11520 the property concerned is correct to the best of the knowledge of deponent MARIA J. Miro)

That the owner Patricia O'Keefe consents to the granting of the authority sought in the above application.

Sworn to before me this 20th day

of February, 20 25

Notary Public Amarilis Ledesma



Patricia O'Keefe
Signature

Patricia O'Keefe

157 Gordon Place, Freeport, N.Y.

Zoning District - Residence A Sec. 62, Block 092, Lot 400

Description - Code Compliance for apportionment - to create a new buildable lot B 40' x 100' (4,000 Sq. Ft.).

Continuation of #8 and #10 (Annexed Statement)

Village Ordinance 210-6A. Conformity Required. No Building or land shall hereafter be used or occupied and no building or part thereof shall be erected, moved or altered unless in conformity with the regulations herein specified for the district in which it is located.

Village Ordinance 210-40. Lot Area; Street Frontage; Lot Width.

No building shall be erected on a lot whose area is less than 5,000 square feet. According to the drawings submitted the area of the lot is 4,000 SF. You will be seeking a variance of 1,000 SF. On any lot which has a street frontage of less than 50 feet and on any lot whose width is less than 50 feet at a point between the side lines from the property line to the rear building line of the proposed structure. According to the plans submitted indicates that they have a 40 ft. lot width. You will be seeking a variance of 10 ft. width.

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Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: <i>PATRICIA O'Keefe</i>			
Project Location (describe, and attach a location map): <i>157 GORDON PL., FREEPORT; SEC 62, BLK 22, LOTS 402-403</i>			
Brief Description of Proposed Action: <i>PROPOSED SUBDIVISION OF EXIST. 8,000 SF LOT TO (2) 4,000 SF LOTS COMPLIANCE TO SUBDIVIDE LOT B</i>			
Name of Applicant or Sponsor: <i>PATRICIA O'Keefe.</i>		Telephone: <i>516-835-7655</i>	
		E-Mail:	
Address: <i>36 CENTRAL BLYD.</i>			
City/PO: <i>BETHPAGE</i>		State: <i>NY</i>	Zip Code: <i>11714</i>
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO	YES
		<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:		NO	YES
<i>Village of Freeport</i>		<input type="checkbox"/>	<input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		<i>.18</i>	acres
b. Total acreage to be physically disturbed?		<i>.18</i>	acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		<i>.18</i>	acres
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

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5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing potable water: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ <i>Drywells + Catch Basins.</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

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18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>PATRICIA O'Keefe</u>		Date: <u>11/12/24</u>
Signature: <u>xx Patricia O'Keefe</u>		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

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 OF THE ENVIRONMENT
 AND FORESTRY
 STATE OF NEW YORK

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

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<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

DEPARTMENT OF BUILDINGS

OF THE VILLAGE OF FREEPORT, N.Y.

APPLICATION NO. _____

Filing Date _____

Application for Erection of Buildings or Alterations

IMPORTANT - Applicant to complete all items in sections: I, II, III, IV, V

I. LOCATION OF BUILDING	AT (LOCATION) <u>157 GORDEN PLACE</u> (No.) (Street)	ZONING DISTRICT _____
	BETWEEN <u>PRESIDENT ST.</u> (Cross Street)	AND _____ (Cross Street)
	SECTION <u>62</u> BLOCK <u>92</u> LOT <u>403</u> APPROX. LOT SIZE <u>80</u> X <u>100</u> LOT AREA <u>8000</u>	

II. TYPE AND COST OF BUILDING - All applicants complete Parts A - D.

A. TYPE OF IMPROVEMENT 1 New building 2 Addition-Alteration (If residential, enter number of new housing units added. If none-state none) 3 Swimming Pool 4 Repair (replacement) 5 Bulkhead (New, Repair) 6 Fence 7 Moving (relocation)		B. PROPOSED OR EXISTING USE RESIDENTIAL 11 <input checked="" type="checkbox"/> One Family 12 Two families 13 Apartment - Enter No. of Units _____ 14 Transient hotel, motel, or dormitory - Enter No. of Units _____ 15 Garage or Accessory Structure 16 Other - Specify _____ NON RESIDENTIAL - Complete Part "E" 17 Industrial 18 Office, bank, professional 19 Stores, mercantile 20 Church, other religious 21 Hospital, institutional 22 Other - Specify _____	
---	--	--	--

C. COST 10 TOTAL COST OF IMPROVEMENT \$ _____	D. DESCRIPTION OF PROJECT <u>PROPOSED SUBDIVISION</u> <u>TO (2) 4,000 SF LOTS</u> <u>COMPLIANCE TO SUBDIVIDE</u> <u>LOT B</u>
---	--

III. IDENTIFICATION - To be completed by all applicants

	NAME	MAILING ADDRESS - Number, street, city and state, Zip	TEL. NO.
1. Owner or Lessee	<u>PATRICIA O'KEEFE</u>	<u>36 CENTRAL BLVD.</u> <u>BETHPAGE, NY 11714</u>	<u>516-835-7655</u>
2. Contractor			
3. Architect or Engineer			

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IV. OWNER - CONTRACTOR STATEMENT Building permit is issued subject to the provisions of Section 67 of the Workmen's Compensation Law. Workmen's Compensation Certificate No. _____ Company _____ Exp. Date _____ Contractor or Owner <u>PATRICIA O'KEEFE</u> (Print) Address <u>36 CENTRAL BLVD, BETHPAGE</u> Phone <u>516-835-7655</u> <u>11714</u> State of New York County of Nassau <u>PATRICIA O'KEEFE</u> being duly sworn, says that <u>SHE</u> is the contractor or owner of the above mentioned building. That the items of the above application also the estimated cost of said building or alteration, is correct to the best of <u>HER</u> knowledge and belief and to conform to all applicable laws of this State. <small>(Initials or Mark)</small>	V. FLOOD ZONE IS PROJECT LOCATED WITHIN A DESIGNATED FLOOD HAZARD ZONE? YES <input checked="" type="checkbox"/> NO _____ IF YES, WHICH ZONE? _____ IS PROJECT TO REPAIR FLOOD DAMAGE? YES _____ NO <input checked="" type="checkbox"/> PROJECT DESCRIPTION Total/First Flr Square Feet <input type="text"/> Upper Flrs Square Feet <input type="text"/>
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157 Gordon Place, Subject Property





157 Gordon Place, Subject Property

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VILLAGE OF FRETTON

157 Gordon Place, Adjacent Property Owners



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VILLAGE OF DEERFIELD

157 Gordon Place Adjacent Property Owners



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VILLAGE OF FREEPORT, NY

157 Gordon Place, Adjacent Property Owners



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APPLICANT-PROPERTY OWNER:

JTL REAL PROPERTY LLC
 36 CENTRAL BOULEVARD
 BETHPAGE, NEW YORK 11714
 PHONE: (516)-835-7655
 E-MAIL: _____

PROPERTY INFORMATION:

AREA: 4,000.00 Sq.Ft. = 0.09 ACRES
 ZONED: A-RESIDENCE
 ELEVATION: IN ASSUMED DATUM

DRAWING INFORMATION:

SCALE: 1"=20'
 DRAWN BY: R.K.H.
 FILE No.: Q072-24-A
 DATE: JUNE 18, 2024



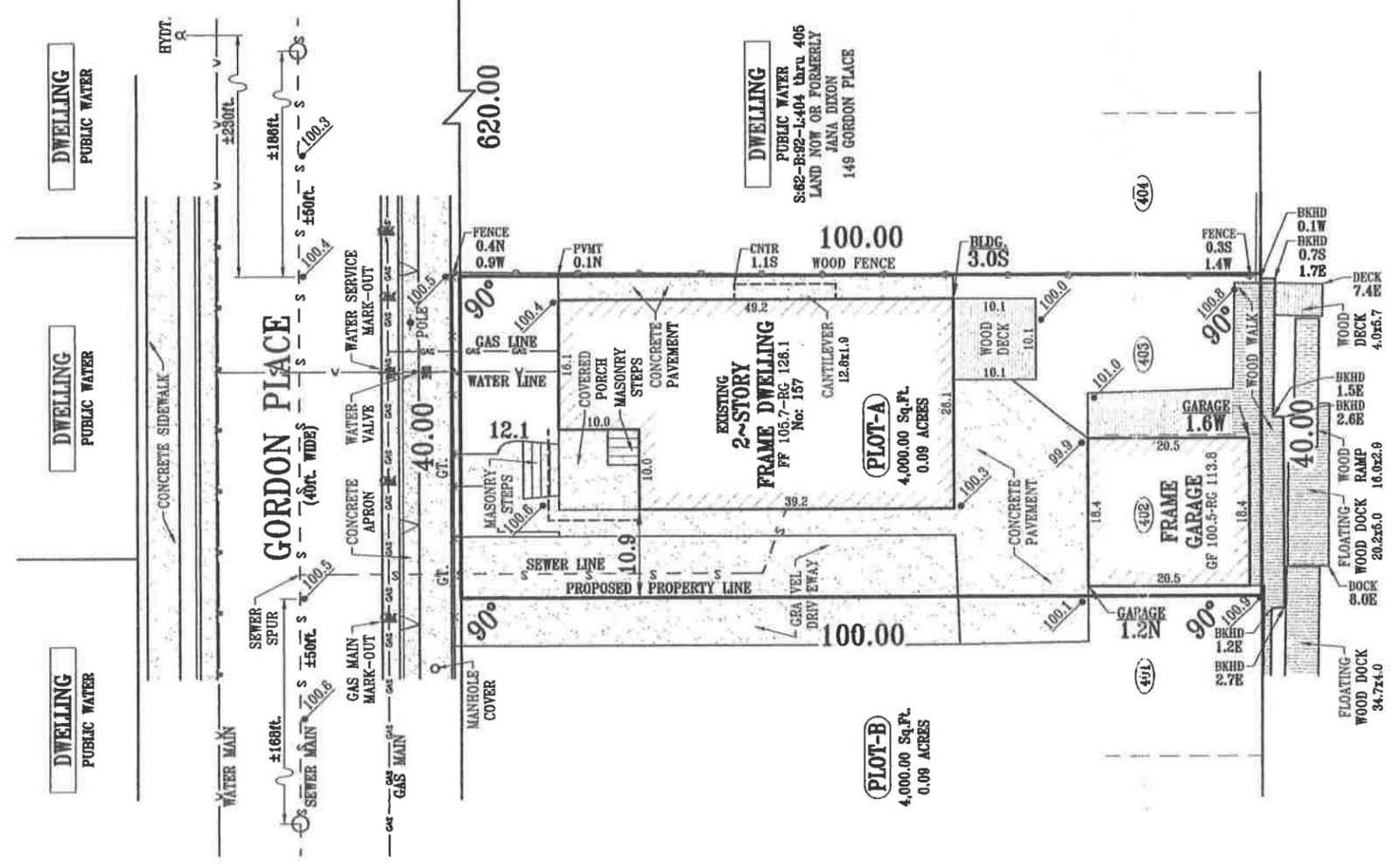
LISA McQUILKIN
 LAND SURVEYING

274 EAST MAIN STREET
 EAST ISLIP, NEW YORK 11730
 PHONE: 631-277-3605
 E-MAIL: lisa@longislandsurveyor.com

SURVEY OF LOTS 402 THRU 403,
 AS SHOWN ON MAP OF
SPORTSMANS HARBOR
 SECTION No. 1
 FILED: JULY 22, 1925 - No: 568
 SITUATED IN THE
 INCORPORATED VILLAGE OF FREEPORT,
 TOWN OF HEMPSTEAD,
 NASSAU COUNTY, NEW YORK
 SECTION: 62 ~ BLOCK: 92 ~ LOTS: 402-403

157 GORDON PLACE, FREEPORT

(CARMAN STREET)
PRESIDENT STREET



HUDSON CHANNEL
 (60ft. WIDE) ~ (UNDERWATER LAND)

NOTES:

- AVERAGE FRONT YARD SETBACK ALONG THE EASTERLY SIDE OF GORDON PLACE WITHIN 200ft. OF SUBJECT PROPERTY IS 25.15ft.
- EXISTING WATER MAIN & GAS MAIN LOCATIONS AS PER PHYSICAL MARK-OUT.
- EXISTING WATER LINE & GAS LINE LOCATIONS AS PER OTHERS.
 -EXACT LOCATION TO BE VERIFIED PRIOR TO EXCAVATING.
- EXISTING SEWER SPUR LOCATIONS AS PER NASSAU COUNTY SEWER RECORDS.
- ON-SITE MARK-OUT ADVISED FOR SEWER LINE LOCATION PRIOR TO EXCAVATING.
- ALL SURROUNDING DWELLINGS WITHIN 150.0ft. HAVE PUBLIC WATER.
- SURVEYOR IS NOT RESPONSIBLE FOR UNDERGROUND UTILITIES OR STRUCTURES.
- LOCATION OF UNDERGROUND UTILITIES AS PER MARK-OUT BY UTILITY COMPANIES.
- EXISTENCE OF ANY EASEMENTS IS TO BE VERIFIED BY A COMPLETE TITLE SEARCH.

F.A.R. CALCULATIONS-PLOT A:

CALCULATIONS AS PER NASSAU COUNTY
 • LOT AREA: 4,000.00 Sq.Ft. = 0.09 ACRES
 1st FLOOR AREA: ±1200 Sq.Ft.
 GARAGE AREA: ±1014 Sq.Ft.
 TOTAL AREAS: ±2214 Sq.Ft.
 • F.A.R. OF LOT: = 55.35%

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APPLICANT-PROPERTY OWNER:

JTL REAL PROPERTY LLC
 36 CENTRAL BOULEVARD
 BETHPAGE, NEW YORK 11714
 PHONE: (516)-835-7655
 E-MAIL: _____

PROPERTY INFORMATION:

AREA: 4,000.00 Sq.Ft. = 0.09 ACRES
 ZONED: A-RESIDENCE
 ELEVATION: IN ASSUMED DATUM

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SCALE: 1"=20'
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 VILLAGE OF FREEPORT, NY

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LISA McQUILKIN
 LAND SURVEYING

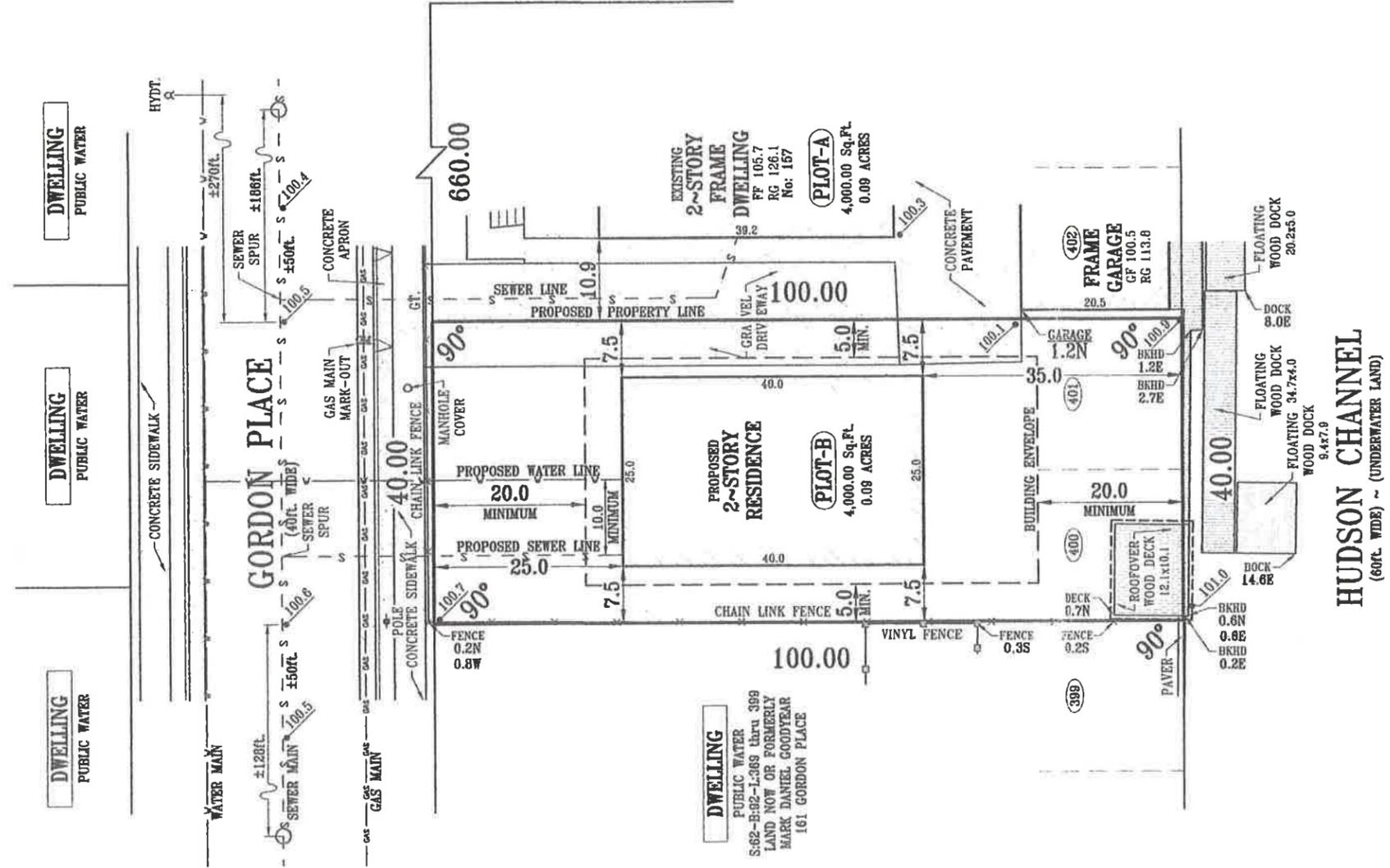
274 EAST MAIN STREET
 EAST ISLIP, NEW YORK 11730
 PHONE: 631-277-3605
 E-MAIL: lisa@longislandsurveyor.com

**SURVEY OF LOTS 400 THRU 401,
 AS SHOWN ON MAP OF
 SPORTSMANS HARBOR**

SECTION No. 1
 FILED: JULY 22, 1925 - No: 568
 SITUATED IN THE
 INCORPORATED VILLAGE OF FREEPORT,
 TOWN OF HEMPSTEAD,
 NASSAU COUNTY, NEW YORK
 SECTION: 62 ~ BLOCK: 92 ~ LOTS: 400-401

GORDON PLACE, FREEPORT

(CARMAN STREET)
PRESIDENT STREET



DWELLING
 PUBLIC WATER
 S62-B-92-1-389 thru 399
 LAND NOW OR FORMERLY
 MARK DANIEL GOODYEAR
 161 GORDON PLACE

F.A.R. CALCULATIONS-PLOT B:

- LOT AREA: 4,000.00 Sq.Ft. = 0.09 ACRES
- 1st FLOOR AREA: ±1000 Sq.Ft.
- 2nd FLOOR AREA: ±1000 Sq.Ft.
- TOTAL AREAS: ±2000 Sq.Ft.
- F.A.R. OF LOT: = 50.00%

NOTES:

- AVERAGE FRONT YARD SETBACK ALONG THE EASTERLY SIDE OF GORDON PLACE WITHIN 200ft. OF SUBJECT PROPERTY IS 25.15ft.
- EXISTING WATER MAIN & GAS MAIN LOCATIONS AS PER PHYSICAL MARK-OUT.
- EXISTING WATER LINE & GAS LINE LOCATIONS AS PER OTHERS.
 -EXACT LOCATION TO BE VERIFIED PRIOR TO EXCAVATING.
- EXISTING SEWER SPUR LOCATIONS AS PER NASSAU COUNTY SEWER RECORDS.
- ON-SITE MARK-OUT ADVISED FOR SEWER LINE LOCATION PRIOR TO EXCAVATING.
- ALL SURROUNDING DWELLINGS WITHIN 150.0ft. HAVE PUBLIC WATER.
- SURVEYOR IS NOT RESPONSIBLE FOR UNDERGROUND UTILITIES OR STRUCTURES.
- LOCATION OF UNDERGROUND UTILITIES AS PER MARK-OUT BY UTILITY COMPANIES.
- EXISTENCE OF ANY EASEMENTS IS TO BE VERIFIED BY A COMPLETE TITLE SEARCH.

I HEREBY CERTIFY THAT THIS PLAT WAS MADE FROM AN ACTUAL SURVEY DATED: JUNE 18, 2024 AND THAT THE 2 LOTS SHOWN HEREON ARE ALL IN ACCORDANCE WITH THE REQUIREMENTS OF THE "A" RESIDENCE ZONING DISTRICT OF THE INCORPORATED VILLAGE OF FREEPORT.

Elizabeth McQuilkin
 ■ = CONCRETE MONUMENT
 ● = REBAR MONUMENT

ELIZABETH McQUILKIN, LAND SURVEYOR ~ LICENSE No: 050211

UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW. COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S INKED OR IMPRINTED SEAL ARE NOT CONSIDERED TO BE A TRUE AND CORRECT COPY. DISTANCES SHOWN FROM PROPERTY LINES TO EXISTING STRUCTURES ARE FOR A GUIDING PURPOSE AND USE AND ARE NOT INTENDED TO GUIDE IN THE RELOCATION OF FOUND OR OTHER UTILITIES.

CERTIFICATION ISSUED BY THE SURVEYOR SHALL BE VALID ONLY TO THE EXTENT THAT THE SURVEYOR'S PREPARED AND ISSUED HEREON AND TO THE ACCURACY OF THE LENSING, INSTRUMENT CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

NOTICE

THIS DRAWING PREPARED FOR THE SPECIFIC PROJECT INDICATED IS AN INSTRUMENT OF SERVICE AND THE PROPERTY OF THE SURVEYOR. IT IS NOT TO BE REPRODUCED OR USED IN ANY MANNER FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE SURVEYOR.

APPLICANT:

JTL REAL PROPERTY LLC
 36 CENTRAL BOULEVARD
 BETHPAGE, NEW YORK 11714
 PHONE: (516)-835-7855
 E-MAIL: _____

PROPERTY OWNER:

JTL REAL PROPERTY LLC
 36 CENTRAL BOULEVARD
 BETHPAGE, NEW YORK 11714
 PHONE: (516)-835-7855
 E-MAIL: _____

DRAWING INFORMATION:

SCALE: 1"=20'
 DRAWN BY: R.K.H.
 FILE No.: Q072-24
 DATE: JUNE 18, 2024

PROPERTY INFORMATION:

ZONED: A - RESIDENCE
 ELEVATION: IN ASSUMED DATUM

AREA CALCULATIONS:

LOT A: 4,000.00 Sq.Ft. = 0.09 ACRES
 LOT B: 4,000.00 Sq.Ft. = 0.09 ACRES
 TOTAL: 8,000.00 Sq.Ft. = 0.18 ACRES



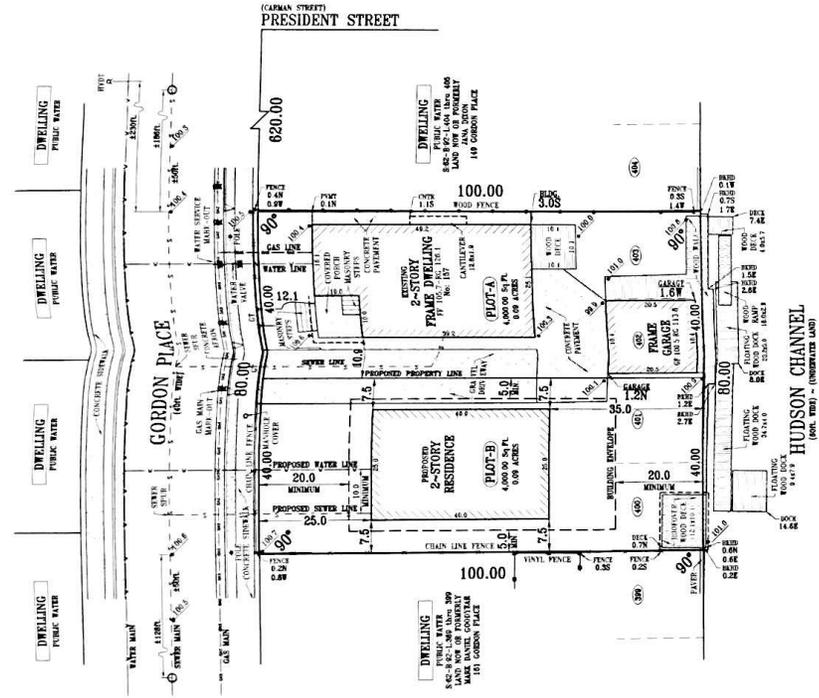
LISA McQUILKIN

LAND SURVEYING

274 EAST MAIN STREET
 EAST ISLIP, NEW YORK 11730
 PHONE: 631-277-3605
 E-MAIL: lisa@longislandsurveyor.com

PROPOSED LAND DIVISION MAP OF
GORDON SPLIT
 INCORPORATED VILLAGE OF FREEPORT,
 TOWN OF HEMPSTEAD,
 NASSAU COUNTY, NEW YORK

SURVEY OF LOTS 400 THRU 403,
 AS SHOWN ON MAP OF
SPORTSMANS HARBOR
 SECTION No. 1
 FILED: JULY 22, 1925 - No: 568
 INCORPORATED VILLAGE OF FREEPORT,
 TOWN OF HEMPSTEAD,
 NASSAU COUNTY, NEW YORK
 SECTION: 62 ~ BLOCK: 92 ~ LOTS: 400-403



F.A.R. CALCULATIONS - PLOT A:

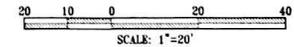
CALCULATIONS AS PER NASSAU COUNTY
 • LOT AREA: 4,000.00 Sq.Ft. = 0.09 ACRES
 1st FLOOR AREA: ±1200 Sq.Ft.
 GARAGE AREA: ±1014 Sq.Ft.
 TOTAL AREAS: ±2214 Sq.Ft.
 • F.A.R. OF LOT: = 55.35%

F.A.R. CALCULATIONS - PLOT B:

CALCULATIONS AS PER NASSAU COUNTY SEWER RECORDS
 • LOT AREA: 4,000.00 Sq.Ft. = 0.09 ACRES
 1st FLOOR AREA: ±1000 Sq.Ft.
 2nd FLOOR AREA: ±1099 Sq.Ft.
 TOTAL AREAS: ±2100 Sq.Ft.
 • F.A.R. OF LOT: = 50.00%

- NOTES:**
- AVERAGE FRONT YARD SETBACK ALONG THE EASTERLY SIDE OF GORDON PLACE WITHIN 200FT. OF SUBJECT PROPERTY IS 25.15FT.
 - EXISTING WATER MAIN & GAS MAIN LOCATIONS AS PER PHYSICAL MARK-OUT.
 - EXISTING WATER LINE & GAS LINE LOCATIONS AS PER OTHERS. -EXACT LOCATION TO BE VERIFIED PRIOR TO EXCAVATING.
 - EXISTING SEWER SPUR LOCATIONS AS PER NASSAU COUNTY SEWER RECORDS.
 - ON-SITE MARK-OUT ADVISED FOR SEWER LINE LOCATION PRIOR TO EXCAVATING.
 - ALL SURROUNDING DWELLINGS WITHIN 150.0FT. HAVE PUBLIC WATER.
 - SURVEYOR IS NOT RESPONSIBLE FOR UNDERGROUND UTILITIES OR STRUCTURES.
 - LOCATION OF UNDERGROUND UTILITIES AS PER MARK-OUT BY UTILITY COMPANIES.
 - EXISTENCE OF ANY EASEMENTS IS TO BE VERIFIED BY A COMPLETE TITLE SEARCH.

INCORPORATED VILLAGE OF FREEPORT
 JULY 22, 1925
 SECTION: 62 ~ BLOCK: 92 ~ LOTS: 400-403





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CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520

(516) 377-2242

FAX (516) 377-2493

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

ROBERT T. KENNEDY
MAYOR

SERGIO A MAURAS
SUPERINTENDENT OF BUILDINGS

LETTER OF DENIAL

March 21, 2025

Patricia Arias
40 E Seaman Ave
Freeport, NY 11520

RE: 40 E Seaman Ave, Freeport, NY
Zoning District – Residence A Sec. 55 Blk. 255 Lot 20
Building Permit Application #20243753
Description: Maintain cellar entrance.

Dear Mr.

Please be advised that the above captioned Building Permit Application must be denied for the following reason(s):

Village Ordinance §210-6A. Conformity Required. No building or land shall hereafter be used or occupied and no building or part thereof shall be erected, moved or altered unless in conformity with the regulations herein specified for the district in which it is located.

Village Ordinance §210-43. Required yards.

A. Yards of the following depths or widths shall be provided for the principal building on the lot:

(3) Side yards width: minimum five feet; the sum of the width of the two side yards shall, at minimum, equal 25% of the lot width. According to the drawings the entrance for the cellar indicates that have a 4' rear setback.

Please be further advised that if you intend to appeal this decision you must file a Zoning Board of Appeals application within sixty (60) days of the date of this letter. For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the **Village Clerk's Office at 516-377-2202** to make an appointment to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's office. Only after this initial appointment should the additional copies be made.

In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Zoning Board of Appeals Application only, please call the VILLAGE CLERK'S OFFICE at 377-2202.

Very truly yours,



Sergio A. Mauras
Superintendent of Buildings
Daniela Hernandez, Plans Examiner
cc: Village Clerk

SITE PLAN APPROVAL NEEDED: Yes

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VILLAGE OF FREEPORT, NY

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project:

Building Permit App. 20243753

Location: 40 E Seaman Ave

Applicant: Patricia Arias

Description: Maintain cellar entrance.

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) _____

B) Possible environment effects identified:
(only if positive determination)

Dated: March 21, 2025

Sergio A. Mauras

Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

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OFFICE
VILLAGE OF FREEPORT, NY



SEC. 55 BLK. 255 LOT. 54
20

BOARD OF APPEALS OF THE VILLAGE OF FREEPORT

In the Matter
Of
the Application of

To The Board of Appeals of the Village of Freeport, New York

Index No. _____

COMPLY WITH
ORIGINAL NOTES

The application of PATRICIA ARIAS

respectfully states and alleges:

1. That the applicant (resides at) (has its principal office for the conducting of its business at)

40 E Seaman Ave, Freeport, N.Y

2. That the premises affected by this application is located at

Land Map of Nassau County

40 E Seaman Ave, Freeport Sec. 55 Blk. 255 Lot(s) 20
1,1520

and that the interest which the applicant has in the property concerned is that of

OWNER

3. That (the applicant) (the applicant's duly authorized MARIA J MIRO) on or about the

22ND day of May 2024, filed in the office of the Department of Buildings of the Village of

Freeport, New York, an application for a Building Permit. Documents filed with said application were

as follows:

Maintain Cellar Entrance

4. That on or about the 22ND day of May, 2024, the Department of Buildings denied said

application; upon information and belief that the reason for said denial was as follows:

Village Ordinance 210-6A Conformity Req'd.
Village Ordinance 210-43 Reserved Yards

5. That the nature of the improvements now upon said premises is as follows:

Addition to a 1-Family Residence,
Maintain Cellar Entrance

6. That said premises are now being used as follows:

1-Family Residence

7. That the applicant seeks authority to make use of said premises as follows:

1-Family Residence

8. Upon information and belief that a (permit) (variance) for such use may be granted by this Board by

virtue of the following sections of the said Zoning Code of The Village of Freeport or statutes of the

State of New York SEE Attached Appendix

Statement

9. That the following is a statement of other factual information deemed pertinent by the applicant. If the

application involves a subdivision of property, describe the existing property:

No Subdivision- 1 Family Residence

Strike out
inapplicable
phrase

State whether
applicant is owner,
lessee, or has option
or contract, if other
than owner, state
briefly terms of
agreement.

Obtain reason for
denial from
Department of
Buildings.

Describe by
construction and
number of stories. If
none, so state.

State nature of use of
property. If a
business, give brief
description.

Describe fully and
clearly the use
desired.

Strike out whichever
word is not
applicable. Follow
language in
ordinance.

Refer where possible
to paragraphs and
section by numbers.

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2024 MAR 21 4 17:00 PM
CLERK'S OFFICE
VILLAGE OF FREEPORT, N.Y.

* If more space is needed annex statement on separate sheet and refer to it here with following words: "See annexed statement which is made a part hereof." Save opinions for the hearing.

10. That the grounds for this application are as follows: "SEE Annexed Statement which is made a part hereof"

11. That any deed restrictions running with the land prohibiting the desired use are as follows: No Deed Restrictions For 1-Family Use

12. That (the applicant has made no previous application to this Board for the authority sought herein) (upon information and belief a previous application was made for the same or similar authority sought herein and denied by this Board, but that this application contains facts not alleged or shown in any previous proceeding before this Board).

WHEREFORE, the applicant respectfully prays that the authority sought herein be granted.

Dated: May 29, 2024.
Patricia Arias
BY: Patricia Arias
ITS: owner

If this verification is made by an officer of a corporation or an Association or by a legal representative of an estate, his name and office should be designated on the first line.

State of New York)
County of Nassau) ss:

The applicant Maria Miriam in the foregoing application, being duly sworn, depose and say that she read the foregoing application subscribed by Patricia Arias and know the contents thereof; and that the same is true to her own knowledge except as to the matters therein stated to be alleged on information and belief, and that as to those matters she believe s to be true.

AMARILIS A LEDESMA
Signature of Applicant

Sworn to before me this 29th day of May, 2024.

Notary Public Amarilis Ledesma

AMARILIS A LEDESMA NOTARY PUBLIC, STATE OF NEW YORK Registration No. 01LE6382087 Qualified in Nassau County Commission Expires October 15, 20 <u>26</u>

**Notice
Conflict of Interest**

I have read Section 809 of the General Municipal Law concerning disclosure of and conflict of interest and hereby certify that there are no conflicts in respect to this application requiring disclosure.

May 29, 2024.
Date Year

Patricia Arias
Signature

Affidavit of Owner

To be completed only if the owner is not the applicant.

State of New York)
County of Nassau) ss:

I Patricia Arias being duly sworn, depose and say:

That he/she (the owner of the Residence) (is the owner) of 40 E. Seaman Ave, Freeport the property concerned is correct to the best of the knowledge of

deponent Maria Miriam

That the owner Patricia Arias consents to the granting of the authority sought in the above application.

Sworn to before me this 29th day of May, 2024.

AMARILIS A LEDESMA
Signature

Notary Public Amarilis Ledesma

AMARILIS A LEDESMA NOTARY PUBLIC, STATE OF NEW YORK Registration No. 01LE6382087 Qualified in Nassau County Commission Expires October 15, 20 <u>26</u>

*

617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information							
Name of Action or Project:							
Project Location (describe, and attach a location map): 40 E Seaman Ave							
Brief Description of Proposed Action: Maintain cellar entrance							
Name of Applicant or Sponsor: Patricia Arias		Telephone: 631 394 7917	RECEIVED 2025 MAR 21 P CLERK'S OFFICE VILLAGE OF FREEPORT				
Address: 44 Meadowmere Ave		E-Mail: Patricia.Choluteca@G.Mail					
City/PO: MASTIC	State: NY	Zip Code: 11950					
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1"> <tr> <td>NO</td> <td>YES</td> </tr> <tr> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			<table border="1"> <tr> <td>NO</td> <td>YES</td> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> </table>	NO	YES	<input type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input type="checkbox"/>	<input type="checkbox"/>						
3.a. Total acreage of the site of the proposed action? _____ acres							
b. Total acreage to be physically disturbed? _____ acres							
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres							
4. Check all land uses that occur on, adjoining and near the proposed action.							
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)							
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____							
<input type="checkbox"/> Parkland							

5. Is the proposed action, a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Are public transportation service(s) available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing potable water: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban	CLEVER'S OFFICE PAGE OF SHEET POINT NY		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100 year flood plain?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>Patricia Arias</u>	Date: <u>5-15-2024</u>	<i>X</i>
Signature: <u>[Handwritten Signature]</u>		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:		
a. public / private water supplies?	<input type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

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VILLAGE OF FREEPORT, NY

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

DEPARTMENT OF BUILDINGS

OF THE VILLAGE OF FREEPORT, N.Y. APPLICATION NO. _____

Filing Date 5/15/24

Application for Erection of Buildings or Alterations

IMPORTANT - Applicant to complete all items in sections: I, II, III, IV, V

I. LOCATION OF BUILDING

AT (LOCATION) 40 E Seaman Ave (Street) ZONING DISTRICT Residence A

BETWEEN _____ AND _____ (Cross Street)

SECTION 009-55 BLOCK 255 LOT 0020 APPROX. LOT SIZE _____ X _____

LOT AREA _____

II. TYPE AND COST OF BUILDING - All applicants complete Parts A - D.

A. TYPE OF IMPROVEMENT

1 New building

2 Addition-Alteration (if residential, enter number of new housing units added, if none-state none)

3 Swimming Pool

4 Repair (replacement)

5 Bulkhead (New, Repair)

6 Fence

7 Moving (relocation)

B. PROPOSED OR EXISTING USE

RESIDENTIAL	NON RESIDENTIAL - Complete Part "E"
11 <input checked="" type="checkbox"/> One Family	17 <input type="checkbox"/> Industrial
12 <input type="checkbox"/> Two families	18 <input type="checkbox"/> Office, bank, professional
13 <input type="checkbox"/> Apartment - Enter No. of Units _____	19 <input type="checkbox"/> Stores, mercantile
14 <input type="checkbox"/> Transient hotel, motel, or dormitory - Enter No. of Units _____	20 <input type="checkbox"/> Church, other religious
15 <input type="checkbox"/> Garage or Accessory Structure _____	21 <input type="checkbox"/> Hospital, institutional
16 <input type="checkbox"/> Other - Specify _____	22 <input type="checkbox"/> Other - Specify _____

C. COST

10 TOTAL COST OF IMPROVEMENT \$ 2500.00

D. DESCRIPTION OF PROJECT

Maintain Cellar Entrance

III. IDENTIFICATION - To be completed by all applicants

NAME	MAILING ADDRESS - Number, street, city and state, Zip	TEL. NO.
1. Owner or Lessee <u>Patricia Arias</u>	<u>44 Medowmere Ave</u>	<u>631</u>
2. Contractor	<u>Mastic NY 11950</u>	<u>3947911</u>
3. Architect or Engineer		

IV. OWNER - CONTRACTOR STATEMENT

Building permit is issued subject to the provisions of Section 57 of the Workmen's Compensation Law.

Workmen's Compensation Certificate No. _____ Company _____ Exp. Date _____

Contractor or Owner _____ (Print)

Address _____

Phone _____

State of New York

County of Nassau

Patricia Arias being duly sworn, says that she (He or She) is the contractor or owner of the above mentioned building. That the items of the above application also the estimated cost of said building or alteration, is correct to the best of her (His or Her) knowledge and belief and agrees to conform to all applicable laws of this jurisdiction.

Sworn to before me this 15th day of May, 2024

Amarilis Ledesma
Notary Public, County, N.Y.

Amarilis Ledesma
(Applicant Signature)

AMARILIS A LEDESMA
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 011LE6382087
Qualified in Nassau County
Commission Expires October 15, 2026

V. FLOOD ZONE

IS PROJECT LOCATED WITHIN A DESIGNATED FLOOD HAZARD ZONE? YES NO

IF YES, WHICH ZONE? 2

IS PROJECT TO REPAIR FLOOD DAMAGE? YES NO

PROJECT DESCRIPTION

Total/First Floor Square Feet _____

Upper Floors Square Feet _____

of Fixtures _____

of Floors _____

Occup. Type _____

VI. VALIDATION (Official Use Only)

Building Permit Number _____

Building Permit Issued _____

Building Permit Fee \$ _____

Approved by: _____ Superintendent of Buildings

40 E. SEAMAN AVE

MAINTAIN CELLAR ENTRANCE

CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

2025 MAR 21 P 1:10

RECEIVED



FRONT of 40 E. SEAMAN



Front View

40 E. Seaman Ave.
Freeport, NY

2015 MAR 21 P 1:10
K/S OFFICE
40 E. SEAMAN
FREEPORT, NY

RECEIVED



Basement Entry



Rear of House



Basement Entry
at East Side of
House

40 East Seaman Ave.
Freeport, N.Y.

CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

2025 MAR 21 P 1:10

RECEIVED



REAR of HOUSE EAST.



REAR BASEMENT
ENTRY



REAR of HOUSE
WEST.



MAR 21
CLERK'S
IMAGE OF

410 E. Seaman Ave
Freeport N.Y.



68 EAST SEAMAN



38 A EAST SEAMAN



RECEIVED
38 EAST SEAMAN
ADJACENT PROPERTY
OWNER - EAST



68 EAST SEAMAN
ADJACENT PROPERTY
OWNER WEST

2025 N
VILLA

GENERAL NOTES

- All work shall be done in strict accordance with provisions of local, state, and federal codes, laws, ordinances, and regulations whenever applicable.
- Each contractor shall be held to have visited the site and to have verified all existing conditions prior to submission of bid.
- In all cases, drawings shall not be scaled for information. Figure dimensions and conditions must be verified in the field.
- Contractor shall verify and be responsible for all field dimensions and job conditions, and shall notify the Engineer of any discrepancies, conflicts, and/or omissions which would interfere with the satisfactory completion of the work. Should he fail to follow this procedure and continue with the work, he shall assume responsibility and liability arising therefrom.
- All items of work identified on the drawings by name, note, or material designation are new, unless otherwise noted.
- All new materials and installations shall be in accordance with manufacturer's latest printed specifications, and with all applicable code requirements.
- All work shall be performed in accordance with best standard trade practices. Each trade shall cooperate with the Owner and other trades to facilitate job scheduling and completion.
- Proprietary name identifying items of work are used to designate the standard of construction. Items of equal quality may be substituted for the Engineer's review.
- Each contractor shall be responsible for any damage to adjoining remaining areas as a result of his work, and shall repair damaged surfaces to their pre-existing conditions or as may be required to complete the entire scope of work.
- Indications of work to be removed are general only, and one not intended to show all items which may require removal. Such items shall be removed, relocated, and/or reinstalled as required for installation of new work.
- Existing equipment and materials to be removed, which are not required to be relocated or retained by the Owner, shall become the property of the Contractor and removed from the premises.
- At the completion of each workday, each trade shall be responsible for cleaning up their work. Debris removal shall be done in a dust-free fashion, and the job site shall be free of all debris and broom cleaned upon completion.
- Drywall Construction
 - Provide sizes and types as shown on the drawings, taped and spackled with three (3) coats and sanded smooth.
 - Provide all metal corner beads, stops, edge trim, casing, beads, etc., as required to finish all drywall surfaces with flush, level edges.
 - Use Fibrecode "X" green board where required to obtain the ratings per N.Y.S. Building Codes. See Partitions Types and Plans for exact locations.
- Alterations to existing work shall be patched and finished, as necessary, to match existing contiguous surfaces or new finishes shown.
- Clean all floors, walls, doors, misc. metals, glass, etc., leaving job free of dust and debris, prior to project completion.
- All existing floor slabs which are damaged as a result of any demolition and new work are to be restored as required to match and be level with contiguous surfaces.
- Plans spread of all interior finishes shall meet or exceed Class "B" (ASTM F-94) or Class "1" (Roofing Panel Test) requirements.
- All mechanical and electrical work shall be in full accordance with the Building Codes of N.Y. State, and all other applicable codes and regulations.
- Plumbing work shall be installed by a plumber licensed with the Village of Freeport, in accordance with New York State and National Plumbing Codes.
- Electrical work shall be installed by an electrician licensed in Nassau County, in accordance with New York State and National Electrical Codes. A Fire Underwriter's Laboratory certificate shall be obtained for all electrical work, and supplied to the Owner and the Engineer.
- All cabinetry and casework to be fabricated and installed in accordance with the N.Y.S. Building Codes.
- During demolition work, properly protect all existing work scheduled to remain. Provide any shoring, bracing, and temporary partitions as required to protect adjoining existing areas so that the owner can continue daily operations with minimal interruptions.
- Soil pressure assumed as 3,000 Lbs. per sq. Ft. (typical Long sand and gravel). See Table R404.1 of 200 RUMS.
- All new construction is to conform to the latest Energy Conservation Construction Code of N.Y. State, effective August 5, 2007.

GENERAL STRUCTURAL NOTES

- ALLOWABLE WOOD STRESSES:**
 CONSTRUCTION GRADE DOUGLAS FIR - SOUTH #1
 Fc = 1,500 PSI
 Ft = 675 or 825 PSI if E 4" WIDTH (COMPRESSION PARALLEL TO GRAIN)
 Fc = 800 PSI (COMPRESSION PARALLEL TO GRAIN)
 Ft = 240 PSI (COMPRESSION PERPENDICULAR TO GRAIN)
 Fv = 90 PSI (HORIZONTAL SHEAR)
- REFERENCES:**
 BUILDING CODE OF NEW YORK STATE
 RESIDENTIAL CODE OF NEW YORK STATE-OCTOBER 2010
 AMERICAN FOREST & PAPER ASSOCIATION (AF&P) - 2001 EDITION
 TIMBER CONSTRUCTION MANUAL (ATTC)
 MANUAL OF STEEL CONSTRUCTION (AISC)
 AMERICAN CONCRETE INSTITUTE (ACI)
- CONCRETE:**
 1. Design, materials and methods of construction shall comply with the Building Code Requirements for Reinforced Concrete ACI 318-05 of the American Concrete Institute. Compressive strength at 28 days (f'c) for reinforced concrete in footings and slabs shall be 3,000 psi.
 2. Concrete and reinforcing materials shall conform to the following standards:
 A. Portland cement as per ASTM C595-04
 B. Air-entraining Admixtures shall conform to ASTM C-260-11 Section R 402.3 of IC of NY.S.
 C. Concrete aggregates as per ASTM C33-04
 D. Water shall be clean and free from injurious amounts of oils, acids, alkalis, salt, organic materials and deleterious substances.
 E. Deformed reinforcing bars shall conform to ASTM A63-02(5) Grade 60.
 F. Welded smooth wire fabric for concrete reinforcement shall conform to ASTM A66-70 and A67-70
 3. All bars shall be securely held in proper position while placing concrete. If required, additional bars or stirrups shall be provided by the contractor to that effect.
 4. Minimum concrete cover of reinforcement shall be as follows:
 A. Footings and other principal structural members cast against ground, 3".
 B. Concrete, after removal of forms exposed to weather or in contact with ground to be 2" for bars larger than #4, and 1 1/2" for #4 or smaller.
 C. Slabs and walls not exposed to ground or weather to be 3/4" and beams and girders to be 1 1/2".
 5. All dowels, anchor bolts, embedded steel, electrical conduits, pipe sleeves, waterstops, inserts, grounds and all other embedded items shall be in place before placement of concrete.

DRAWING LIST

- T-1 TITLE/INFORMATION, GENERAL NOTES, NYS/ZONING ANALYSIS, PLUMBING RISER
 SP-1 GENERAL SITE NOTES, PLOT PLAN, PROPERTY INFORMATION & MISC. DETAILS, LOCATION MAP
 C-1 NEW YORK STATE CODE - REQUIREMENTS - DETAILS
 C-2 NEW YORK STATE CODE - REQUIREMENTS - DETAILS
 C-3 NEW YORK STATE CODE - REQUIREMENTS - DETAILS
 C-4 NEW YORK STATE CODE - REQUIREMENTS - DETAILS
 A-1 BASEMENT/FOUNDATION & FIRST FLOOR PLANS
 A-2 SECOND FLOOR & ROOF PLANS
 A-3 ELEVATIONS
 A-4 BUILDING SECTION
 FP-1 FIRST & SECOND FLOOR FRAMING PLANS
 FP-2 SECOND FLOOR CEILING & ROOF FRAMING PLANS

NEW YORK STATE RESIDENTIAL CODE ANALYSIS

BUILDING CODE OF NEW YORK STATE-OCTOBER 2010
BUILDING USE CLASSIFICATION:
 (AS PER SECTION 101.2) ONE FAMILY DWELLING

BUILDING HEIGHT:
 3 STORIES ALLOWED AS PER SECTION R 101.2
 2 STORIES W/BASEMENT AND ATTIC (ACTUAL)

CONSTRUCTION CLASSIFICATION:
 TYPE 5B - WOOD FRAME

FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS:
 AS PER TABLE 601-NO FIRE RESISTANCE RATINGS REQUIRED FOR ANY BUILDING

CHAPTER 11 - ACCESSABILITY (SECTION 1103)
 1103.2.4 DETACHED ONE AND TWO FAMILY DWELLINGS AND ACCESSORY STRUCTURES, AND THEIR ASSOCIATED SITES AND FACILITIES AS APPLICABLE IN SECTION 101.2, ARE NOT REQUIRED TO BE ACCESSIBLE.

RESIDENTIAL CODE OF NEW YORK STATE-OCTOBER 2010

CHAPTER 3 - BUILDING PLANNING
LOCAL DESIGN CRITERIA
 (TABLE R301.2(1)) UNLESS NOTED OTHERWISE
NOTE:
 CONSTRUCTION SHALL BE DESIGNED IN ACCORDANCE WITH THE AMERICAN FOREST & PAPER ASSOCIATION WOOD FRAME CONSTRUCTION MANUAL FOR ONE-AND TWO-FAMILY DWELLINGS (AF&P) 1995 EDITION, (AS PER R301.2(1))

FLOOR LIVE LOAD (AS PER TABLE R301.4)
 EXTERIOR BALCONIES .40 PSF
 DECKS .40 PSF
 ATTICS WITHOUT STORAGE .10 PSF
 ATTICS WITH STORAGE .20 PSF
 ROOMS OTHER THAN SLEEPING ROOMS .40 PSF
 SLEEPING ROOMS .30 PSF
 STAIRS .40 PSF
 GUARDRAILS AND HANDRAILS .200 PSF

ROOF LIVE LOAD
 (ROOF SHALL BE DESIGNED FOR THE LIVE LOAD INDICATED IN TABLE R301.5 OR THE SNOW LOAD INDICATED IN TABLE R301.2(1) WHICHEVER IS GREATER.)

ROOF SNOW LOAD
 (AS PER FIGURE R301.2(5)) .45 P.S.F.

BASIC WIND SPEED
 (AS PER FIGURE R301.2(4)) 110, M.P.H.

WIND EXPOSURE CATEGORY
 (AS PER R301.2(1)) - EXPOSURE B

SEISMIC DESIGN CATEGORY (SDC)
 (AS PER FIGURE R301.2(2)) - CATEGORY B

WEATHERING AREA
 (AS PER FIGURE R301.2(3)) - SEVERE
FROST LINE DEPTH - 3 FT.

TERMITE AREA
 (AS PER FIGURE R301.2(6)) - MODERATE TO HEAVY

DECAY AREA
 (AS PER FIGURE R301.2(7)) - SLIGHT TO MODERATE

WINTER DESIGN TEMPERATURE (AS PER TABLE N101.2)
 -11 DEGREES (SUFFOLK COUNTY)
 -13 DEGREES (NASSAU COUNTY)

FLOOD HAZARDS - NA

ZONING ANALYSIS

ZONING: PER VILLAGE OF FREEPORT
 (ZONED: RES 'A')
BUILDING HEIGHT:
 (35' OR 3 STORIES MAX. HEIGHT)

ADDITION TO ONE-FAMILY RESIDENCE

40 EAST SEAMAN AVENUE, FREEPORT NY 11520
 SEC #: 55 BLK: 255 LOT: 20

RESIDENTIAL CODE OF NEW YORK STATE - OCTOBER 2010

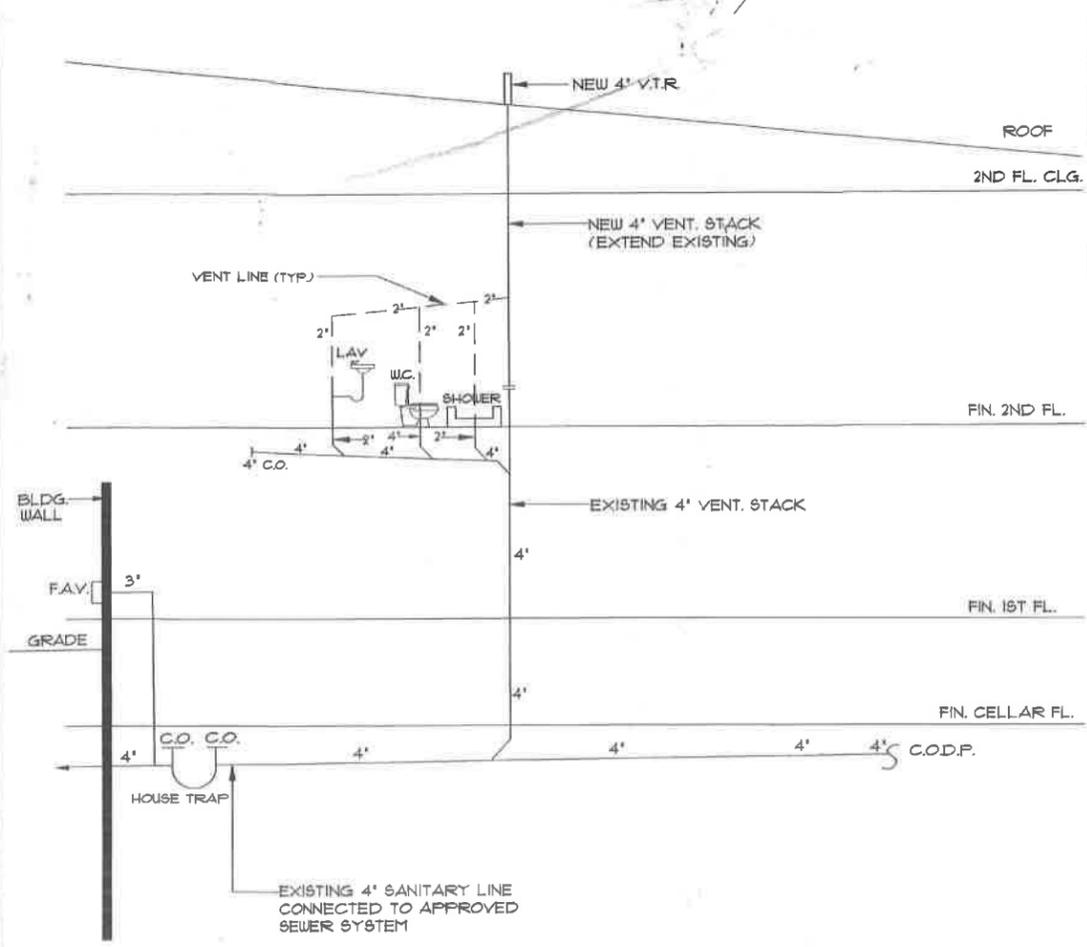
TABLE R301.2(1)
CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOWLOAD As per figure R301.2(5)	WIND SPEED (mph) As per figure R301.2(4)	SEISMIC DESIGN CATEGORY As per figure R301.2(2)	SUBJECT TO DAMAGE FROM			ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARDS
			WEATHERING As per figure R301.2(3)	FROST LINE DEPTH	TERMITE As per figure R301.2(6)		
20 psf	110 mph	B	SEVERE	3 FT.	MODERATE TO HEAVY	YES	

SYMBOLS LIST

- North Arrow
- Detail No. (DETAIL DESIGNATION Drawing No.)
- Section Number (SECTION Drawing No.)
- Marker (Marker Designation Letter Number Elevation)
- Column Designation
- Room Number (ROOM OR AREA DESIGNATION Ceiling Height)
- Room or Area Number
- New Window Marker Designation (See Window Schedule Sheet R-3)
- New Door Marker Designation (See Door Schedule Sheet R-3)
- Furniture Designation
- Partition Type Designation
- Fire Extinguisher (Rat Inq)
- Shower Pan
- Existing Construction to Remain
- Existing Construction to be Removed (S.O.U.)
- New Drywall Partition
- Existing Door & Frame to Remain
- Existing Door & Frame to be Removed
- New Door & Frame
- Building Exit Sign to Remain (Arrow Points Direction of Travel)
- Building Exit Sign to be Relocated (Arrow Points Direction of Travel)
- New Ceiling Mounted Exit Sign (Arrow Points Direction of Travel)
- New Wall Mounted Exit Sign (Arrow Points Direction of Travel)

PLUMBING RISER DIAGRAM (N.T.S.)



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REVISIONS

NO.	DATE	DESCRIPTION

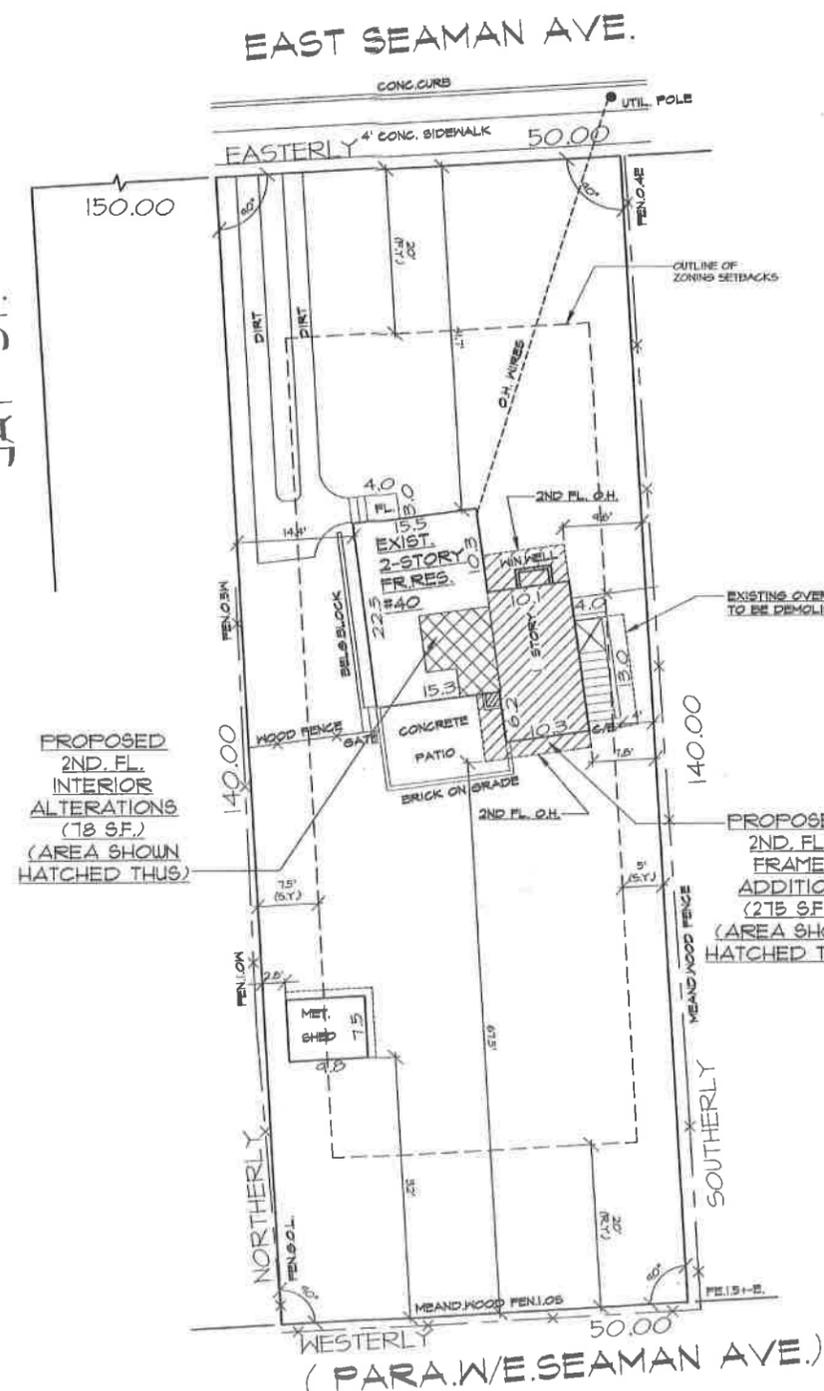
ISSUED TO	NO.	DATE

PROJECT TITLE
ADDITION TO ONE-FAMILY RESIDENCE

40 EAST SEAMAN AVENUE
 FREEPORT, NY 11520
 SEC: 55 BLK: 255 LOT: 20

DRAWING TITLE
 TITLE/INFORMATION
 GENERAL NOTES, NYS/
 ZONING ANALYSIS,
 PLUMBING RISER

DRAWN BY: JFT	DRAWING NO. T-1
CHECKED BY: LCS	
DATE: 1/25/16	
SCALE: AS SHOWN	PROJECT NO. 2015-32



PLOT PLAN
 SCALE: 1"=10' (7,000 SF = 0.16 ACRES)
 ZONED: 'RES-A'

DRAINAGE CALCULATIONS (2" RAINFALL RETENTION)

KEY	USE	MATERIAL	AREA (S.F.)	RUNOFF COEF. = EQUIV. DRAIN DENSITY X DESIGN RAINFALL = DESIGN VOL. (C.F.)
AREA 1	ROOF AREA	(EXISTING TO REMAIN)		
	LANDSCAPED	GRASS		
	PAVED	ASPHALT/CONCRETE		
TOTAL CAPACITY REQD. = C.F.				
EXISTING - C.F.				
NEED - C.F. + 88.42 FOR 10" DIAM RING = - V.F.				
USE:				

- ### GENERAL SITE NOTES
- ALL SITE WORK TO CONFORM TO LATEST VILLAGE OF FREEPORT, PLANNING BOARD SPECIFICATIONS AND STANDARDS.
 - THE DEVELOPER SHALL NOTIFY THE VILLAGE OF FREEPORT ENGINEERING DIVISION AT LEAST 24 HRS BEFORE COMMENCEMENT OF ANY ON-SITE DRAINAGE WORK OR PAVING WORK.
 - THE DEVELOPER SHALL NOTIFY THE VILLAGE OF FREEPORT HIGHWAY DEPT. AND NEW YORK STATE DEPT. OF TRANSPORTATION AT LEAST 24 HRS BEFORE COMMENCEMENT OF ANY OFF-SITE DRAINAGE CURB OR PAVING WORK, INCLUDING DRIVEWAY APRON AND SIDEWALKS.
 - ALL PAVING TO CONFORM TO VILLAGE OF FREEPORT AND NEW YORK STATE DEPT. OF TRANSPORTATION SPECIFICATIONS.
 - UNDERGRADE SHALL BE CONSTRUCTED TO A STABILIZED DEPTH OF 6" AND GRACED AS SHOWN ON PLOT PLAN.
 - BASE COURSE SHALL BE 4" GRADED STONE BLEND (CONTRACT).
 - TOP COURSE SHALL BE 2" ASPHALT/CONCRETE (CONTRACT) DESIGNATED AS NEW YORK STATE ASPHALT TYPE "B". ALL PAVEMENT SHALL BE BUILT ON AN APPROVED GRANULAR BASE, MINIMUM 4-0" DEEP.
 - ALL AREAS PLANTED WITH SHRUBS TO BE MIXED WITH LARGE CEDAR BARK CHIPS.
 - THE DEVELOPER SHALL COMPLY WITH APPROVED HORIZONS DRAWINGS AND REVISION SHEETS. NO DEVIATIONS WILL BE PERMITTED EXCEPT BY WRITTEN APPROVAL OF THE VILLAGE OF FREEPORT PLANNING BOARD.
 - AS SHOWN ON PLOT PLAN, CORRECT LEADERS TO DRYWELLS WITH 6" DIAMETER PVC PIPE AND INTERCONNECT DRYWELLS WITH 2" DIAMETER RCP PIPE.
 - DRYWELLS SHALL BE CONSTRUCTED OF PRECAST DRAINAGE SECTIONS, MINIMUM 4000 PSI, REINFORCED CONCRETE.
 - INSTALL MINIMUM 24" GRAVEL BAGFILL AS PER PLANNING BOARD SPECIFICATIONS AROUND ALL DRAINAGE DRYWELLS.
 - ALL BUILDING OR POLE MOUNTED LIGHTING SHALL BE DIRECTED TO ILLUMINATE SUBJECT PROPERTY AND SHALL NOT PROJECT UPON ADJOINING ROADS OR PROPERTIES.
 - ALL ELECTRIC AND TELEPHONE SERVICES SHALL BE INSTALLED UNDERGROUND.
 - MINIMUM ELEVATION TOP OF NEW STREET CURB SHALL BE SAME AS CENTERLINE OF STREET FRONTAGE. MINIMUM ELEVATION TOP OF NEW CURB SHALL BE 6" ABOVE PAVING.
 - ALL CONCRETE USED FOR ON-SITE CONSTRUCTION SHALL BE MINIMUM 4000 PSI AFTER 28 DAYS.
 - AT ENTRANCE DRIVEWAY, EXISTING CURB AND GUTTER TO BE REMOVED AND REPLACED WITH EXPANSION JOINT TO EXPANSION JOINT TO FULL DEPTH FOR CURB CUT INSTALLATION.
 - THE DEVELOPER SHALL VERIFY ALL UTILITY LOCATIONS IN THE CONSTRUCTION AREA PRIOR TO COMMENCING WORK.

LANDSCAPE SCHEDULE (N/A)

NO.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	QUANTITY
1		RED OAK	2 1/2"-8" DIA.	20' O.C.	0
2		PIN OAK	2 1/2"-8" DIA.	20' O.C.	0
3		DOUGLAS FIR	8'-6"	5' O.C.	0
4	JUNI PERIS CHINESE PYRAMIDALIS	NORWAY SPRUCE	5'-6"	5' O.C.	0
5	PICEA EXCELSA	CHINESE COLUMN JUNIPER	6'-7"	5' O.C.	0
6	RIBES ALPINUM	ALPINE CURRANT	3'-8"	3' O.C.	0

PROPERTY INFORMATION

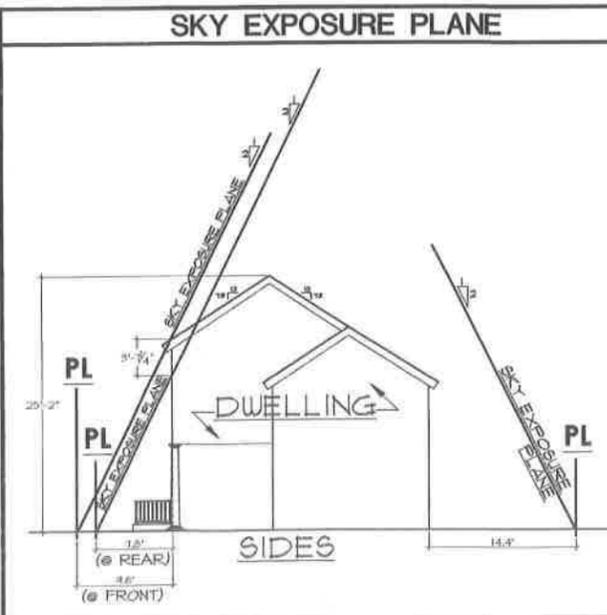
COUNTY TAX MAP NO.: SECTION 55 BLDG. 255 LOT# 20 SITE DATA: BLDG. USE ONE-FAMILY DWELLING ZONING RES. 'A'

ITEM	AS REQUIRED BY ZONING	%	AS PROPOSED	%
LOT AREA:	5,000 SF		7,000 SF = 0.16 AC	
YARDS @ STRAIGHT LINE:	50 FT		50 FT	
STREET FRONTAGE:	50 FT		50 FT	
FAR (MAX BLDG. AREA % OF TOTAL LOT AREA):	5,500 SF	50	1,051 SF	16.4
FRONT YD. SETBACK:	20 FT		41.7 FT	
REAR YD. SETBACK:	20 FT		61.5 FT	
TOTAL SIDE YD. SETBACK:	MIN. 20% OF LOT FRONT (LOT FRONT=50' X .25=12.5')	25	18'41.4"=22.2 FT	
MINIMUM SIDE YD. SETBACK:	5 FT		7.6 FT	
BUILDING HEIGHT:	35 FT OR 3 STYS		28'-10 3/4" FT / 2 STY	
LOT COVERAGE:	PRINCIPAL BLDG=2,100 SF	50	620 SF	6.4
	ACC. BLDG= 700 SF.	10	73.5 SF	1.1

ZONING AREAS

BUILDING AREA:

GARAGE:	EXIST. 0 SF	PROPOSED 0 SF
BASEMENT:	EXIST. 253 SF	PROPOSED 253 SF
FIRST FLOOR:	EXIST. 531 SF	PROPOSED 531 SF (NOT INCLUDING GARAGE)
ROOFED OVER PORCHES & DECKS:	EXIST. 84 SF	PROPOSED 0 SF
OPEN PORCHES & DECKS:	EXIST. 0 SF	PROPOSED 0 SF
SECOND FLOOR:	EXIST. 845 SF	PROPOSED 620 SF
ACCESSORY STRUCTURES:	EXIST. 13.5 SF	PROPOSED 13.5 SF
INGROUND POOL:	EXIST. 0 SF	PROPOSED 0 SF
ABOVE GROUND POOL:	EXIST. 0 SF	PROPOSED 0 SF
TOTAL BLDG. AREA (INCLUDING FIRST FL., SECOND FL., ACCESSORY BUILDINGS AND SHEDS):	1,224.5 SF.	
LOT COVERAGE REQUIRED:	30% MAX (PRINCIPAL BLDG=7,000 X 0.30= 2,100 SF)	
	10% MAX (ACCESSORY BLDG=7,000 X 0.10= 700 SF)	
ACTUAL LOT COVERAGE:	PRINCIPAL BLDG=620 SF = 8.4%	
	ACCESSORY BLDG=13.5 SF = 1.1%	
FAR (REQUIRED):	50% MAX (7,000 X 5 = 3,500 SF)	
FAR (ACTUAL):	1,051 SF = 16.4%	



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REVISIONS

NO.	DATE	DESCRIPTION
△	-	-
△	-	-
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△	-	-
△	-	-
△	-	-

ISSUED TO	NO.	DATE

PROJECT TITLE
 ADDITION TO ONE-FAMILY RESIDENCE

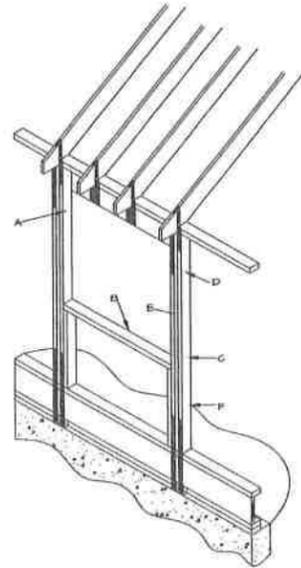
40 EAST SEAMAN AVENUE
 FREEPORT, NY 11520
 SEC. 55 BLK. 255 LOT: 20

DRAWING TITLE
 GEN. SITE NOTES, PLOT PLAN, PROPERTY INFO. & MISC. DETAILS
 LOCATION MAP

DRAWN BY: JFT	DRAWING NO. SP-1
CHECKED BY: LCS	PROJECT NO. 2015-32
DATE: 1/25/16	
SCALE: AS SHOWN	

NEW YORK STATE CODE REQUIREMENTS - 2010

NAILS & STRAPPING EXTERIOR WINDOW/DOOR HEADER



FASTENING SCHEDULE B

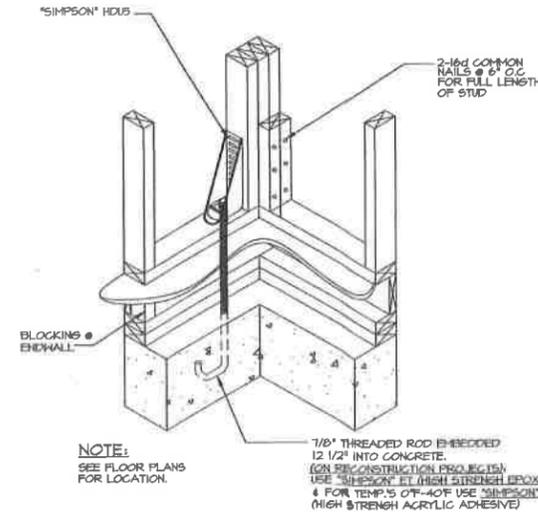
ROUGH OPENING FRAMING REQUIREMENTS FOR WINDOW OPENINGS (IN ACCORDANCE WITH WOOD FRAME CONSTRUCTION MANUAL 2000 EDITION)

NOTATION	A	B	C	D	E	F
2'-0"	2	(1)-2" X 4"	1	1	1	1
4'-0"	4	(1)-2" X 4"	2	2	2	2
6'-0"	6	(2)-2" X 4" 1-2" X 6"	3	3	3	3
8'-0"	8	(2)-2" X 4" 1-2" X 6"	3	3	3	3
10'-0"	10	(2)-2" X 6"	4	4	4	4
12'-0"	12	(2)-2" X 6"	5	4	5	4

NOTATION: (NOTE: ALL STRAPPING TO BE 1 1/4" X 20 GA. STL.)

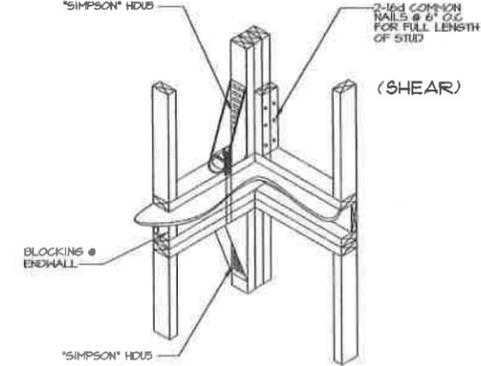
- A- NUMBER OF 9D NAILS @ EA. END OF STRAPPINGS (TABLE 3.5.P.115) & (TABLE 3.1.P.110)
- B- NUMBER OF SILL STUDS-ON FLAT (DOES NOT APPLY TO DOORS) (TABLES 3.216, P. 146)
- C- NUMBER OF 16d NAILS END-NAILED THROUGH ADJACENT KING STUD TO END OF HEADER @ EA. SIDE (TABLE 3.5, P.110) & (TABLE 3.1, P. 110)
- D- NUMBER OF JACK STUDS @EA. END OF HEADERS (TABLES 3.21/A, P.140, TABLE 3.21, P. 141, TABLE 3.21C, P. 142, TABLE 3.21D, P. 149 & TABLE 3.21E, P. 144)
- E- NUMBER OF 16d NAILS END-NAILED THROUGH ADJACENT JACK STUDS TO END OF SILL(S) @ EA. SIDE (DOES NOT APPLY TO DOORS) (TABLES 3.6, P.111) & (TABLE 3.1, P. 110)

HOLDOWN CONNECTION ATTACHMENT



NOTE: SEE FLOOR PLANS FOR LOCATION.

1/2" THREADED ROD EMBEDDED 12 1/2" INTO CONCRETE (ON RECONSTRUCTION PROJECTIONS) USE "SIMPSON" ET (HIGH STRENGTH EPOXY ADHESIVE) & FOR TEMP'S 0°F-40°F USE "SIMPSON" AT (HIGH STRENGTH ACRYLIC ADHESIVE)

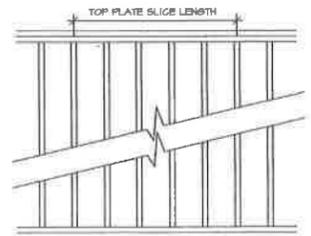
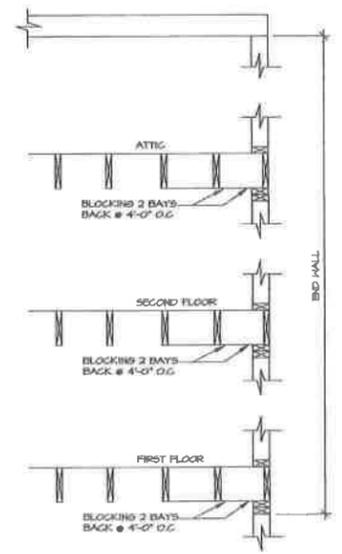


NOTE: SEE FLOOR PLANS FOR LOCATION.

FIRST FLOOR ATTACHMENT SECOND FLOOR ATTACHMENT

BLOCKING / ENDWALL

RIDGE- PLATFORM FRAMING ONLY/SEE GABLE END WALL DETAIL

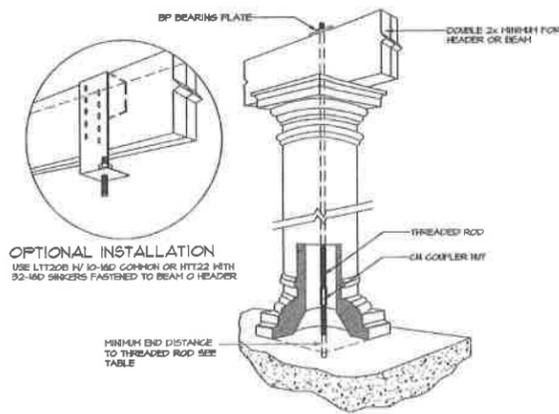


1. TABULATED SPLICE LENGTH ASSUME TOP PLATE-TO-TOP PLATE CONNECTIONS USING 2-16d NAILS PER FOOT; FOR SHORTER SPLICE LENGTHS, THE NAIL SPACINGS SHALL BE REDUCED IN ORDER TO PROVIDE AN EQUIVALENT NUMBER OF NAILS
2. TABULATED SPLICE LENGTHS ASSUME A BUILDING LOCATED IN
3. TABULATED SPLICE LENGTHS ARE BASED ON 8 FOOT WALL HEIGHTS FOR OTHER WALL HEIGHTS, H THE TABULATED UNIT LATERAL LOADS SHALL BE MULTIPLIED BY H/8 EXPOSURE B
4. TOP PLATES SHALL BE A MINIMUM OF STUD GRADE MATERIAL

TOP PLATE SPLICE REQUIREMENTS FOR WIND- EXPOSURES B4 C- ONE STORY SLAB ON GRADE		TOP PLATE SPLICE REQUIREMENTS FOR WIND- EXPOSURES B4 C- ALL OTHER CASES	
BUILDING DIMENSION (FT)	MINIMUM SPLICE LENGTH (FT)	BUILDING DIMENSION (FT)	MINIMUM SPLICE LENGTH (FT)
12'-0"	3'-0"	12'-0"	2'-0"
16'-0"	4'-0"	16'-0"	3'-0"
20'-0"	5'-0"	20'-0"	4'-0"
24'-0"	6'-0"	24'-0"	4'-0"
28'-0"	7'-0"	28'-0"	5'-0"
32'-0"	8'-0"	32'-0"	6'-0"
36'-0"	9'-0"	36'-0"	7'-0"
40'-0"	11'-0"	40'-0"	8'-0"
50'-0"	13'-0"	50'-0"	10'-0"
60'-0"	16'-0"	60'-0"	12'-0"
70'-0"	19'-0"	70'-0"	14'-0"
80'-0"	22'-0"	80'-0"	16'-0"

HOLLOW COLUMN UPLIFT CONNECTIONS

DETAIL 'A'

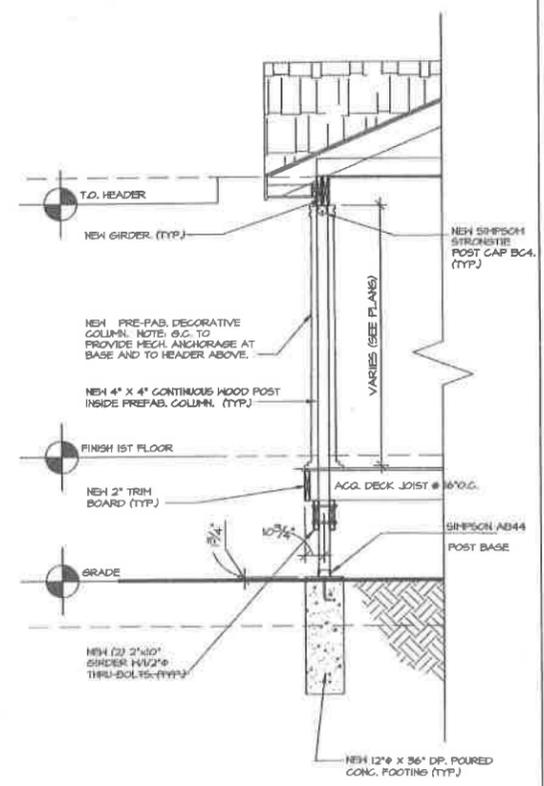


OPTIONAL INSTALLATION
USE LTT208 HV 10-16d COMMON OR HTT22 WITH 32-16d SINKERS FASTENED TO BEAM OR HEADER

ANCHOR DIA.	ANCHOR DRILL BIT DIA.	MIN. EMBED.	MIN. ANCHOR LENGTH	MIN. END DIST.	MIN. EDGE DIST.	ET22 ALLOWABLE LOADS Fc=200 PS	BEAM CONNECTION MODEL NO.	ALLOWABLE LOADS
1/2	5/8	4-1/4	6-1/4	6-3/8	3-1/2	2650	BP 1/2	2345
1/2	5/8	4-1/4	6-1/4	6-3/8	1-3/4	1920	LTT208B	1750
5/8	3/4	5	7	7-1/2	4	4000	HTT22	4000
5/8	3/4	12	14	7-1/2	1-3/4	2860	BP 5/8	2860
3/4	7/8	6-3/4	8-3/4	10-1/8	5	6115	BP 3/4	4400
3/4	7/8	6-3/4	8-3/4	10-1/8	2-1/2	4785	BP 3/4	4400
7/8	1	7-3/4	9-3/4	11-5/8	6	7850	BP 3/4	5195
7/8	1	15-1/2	17-1/2	11-5/8	1-3/4	5450	BP 7/8	5195
1	1-1/8	9	11	13-1/2	6	8045	BP 1	7100
1	1-1/8	9	11	13-1/2	3-1/2	6745	BP 1	6745

1. ALLOWABLE LOADS FOR BOND STRENGTH ARE BASED ON A FACTOR OF SAFETY OF FOUR ON THE AVERAGE ULTIMATE LOAD. THEY MAY NOT INCREASED FOR LOAD DURATION.
2. FOR TWO FOUR CONDITION, INCREASE ANCHOR LENGTH AND EMBEDMENT DEPTH 4".
3. COUPLER NUT TO BE A-301 OR BETTER
4. LOADS ARE BASED ON GRADE A 301/SAE1018 THREADED ROD.
5. BP LOADS ARE BASED ON Fc:1 EQUAL TO 625 PSI. ALLOWABLE LOADS FOR OTHER SPECIES MUST BE ADJUSTED TO CODE.
6. SEE OPTIONAL INSTALLATION.

DETAIL 'B'



LUIGI CLAUDIO SCIANDRA
PROFESSIONAL ENGINEER
5 WESLEYAN COURT
SMITHTOWN, NEW YORK 11787-3011
(631) 543 - 2853 FAX: (631) 543-1516



THESE DRAWINGS ARE AN INSTRUMENT OF SERVICE AND THE PROPERTY OF THE ARCHITECT. INFRINGEMENTS WILL BE PROSECUTED.

REVISIONS

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		

ISSUED TO NO. DATE

ISSUED TO	NO.	DATE

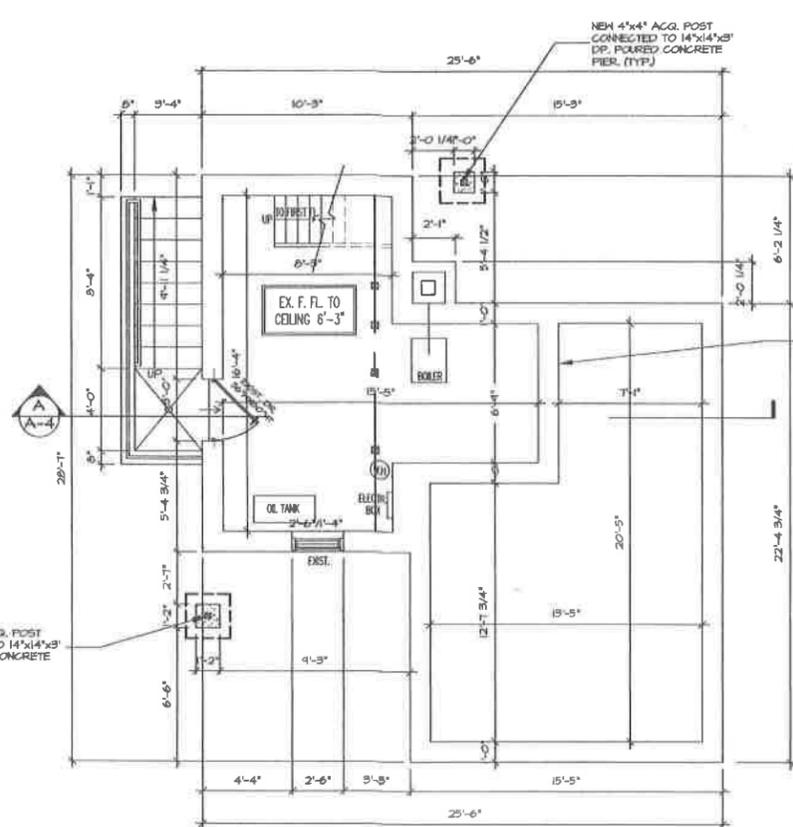
PROJECT TITLE

ADDITION TO ONE-FAMILY RESIDENCE
40 EAST SEAMAN AVENUE
FREEPORT, N.Y. 11520
SEC. 55 BLK. 255 LOT: 20

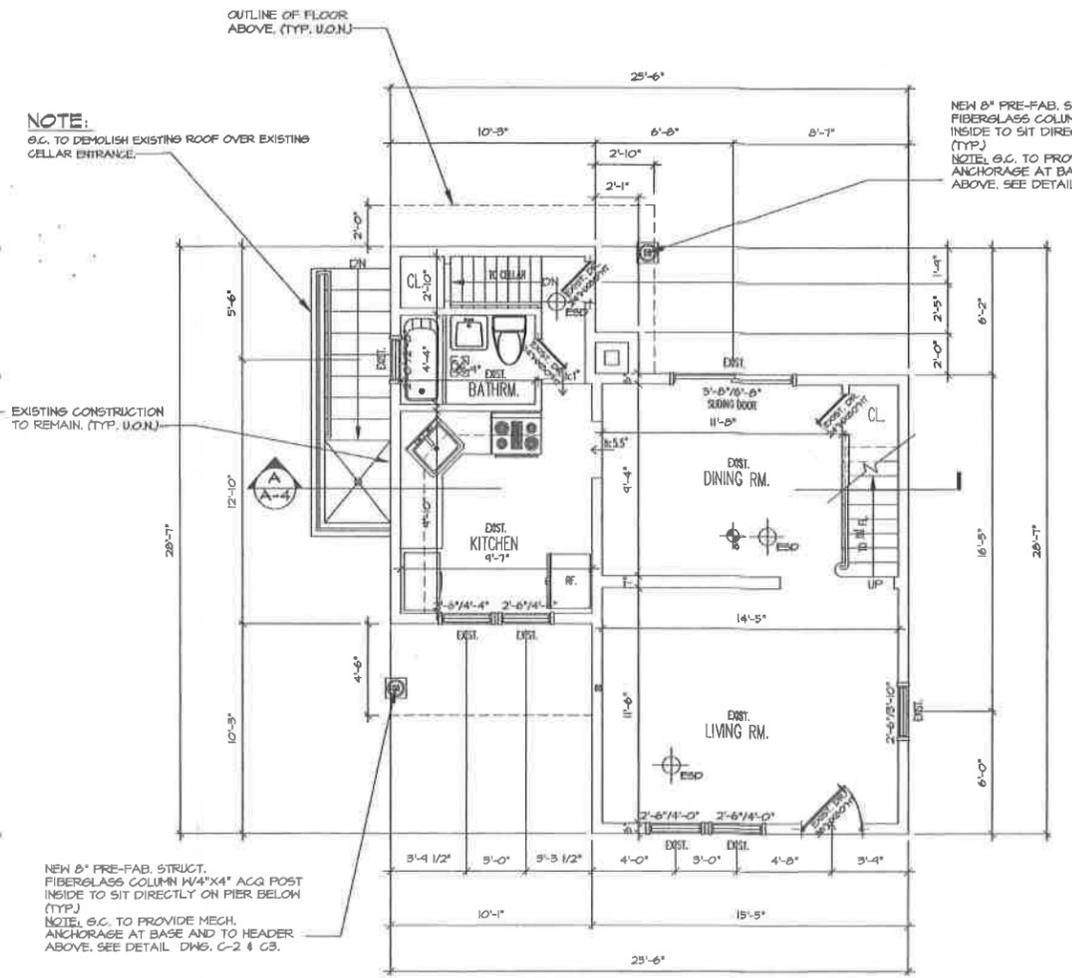
DRAWING TITLE

NEW YORK STATE CODE REQUIREMENTS, DETAILS

DRAWN BY: JFT	DRAWING NO. C-3
CHECKED BY: LCS	
DATE: 1/25/16	
SCALE: AS SHOWN	PROJECT NO. 2015-32



BASEMENT/FOUNDATION PLAN
SCALE: 1/4" = 1'-0" (25% SF)



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0" (50% SF)



- GENERAL NOTES:**
- SEE DRAWING C-1 FOR NEW DOOR AND WINDOW SCHEDULES.
 - SEE DRAWING C-1 THRU C-4 FOR THE RESIDENTIAL CODE OF NEW YORK STATE GENERAL CONSTRUCTION DETAILS, FASTENING/NAILING & STRAPPING SCHEDULES.
 - NEW SMOKE ALARM DETECTOR TO BE INSTALLED AT EACH SLEEPING ROOM, HALLWAY & BASEMENT. ALL SMOKE DETECTORS TO BE INTERCONNECTED IN ACCORDANCE W/SECTION R317.2 OF THE NYS RESIDENTIAL CODE. (TYP)
 - NEW CARBON MONOXIDE DETECTOR IS TO BE INSTALLED, LISTED AND LABELED AS COMPLYING W/UL 2054-2002 STANDARD AND TO BE INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
 - FOR BASEMENT HALLS, FOUND. HALLS, EXT. WALLS AND OTHER VERTICAL CONC. WORK EXPOSED TO THE WEATHER USE 5000 PSI AIR ENTRAINED CONCRETE.
 - PORCHES, GARAGE SLABS AND STEPS EXPOSED TO THE WEATHER, AND GARAGE FLOOR SLABS USE 5000 PSI AIR ENTRAINED CONCRETE.
 - FOR STRUCTURAL FRAMING INFORMATION, SEE FRAMING PLANS FF-1 THRU FF-2.
 - SEE DRAWING C-2 FOR ANCHOR BOLT SIZE AND SPACING.

- HEADER SCHEDULE:**
ALL HEADERS OVER WINDOWS AND OPENINGS TO BE AS FOLLOWS:
- (2) 2"x8" FOR OPENINGS LESS THAN 5' WIDE
 - (2) 2"x10" FOR OPENINGS BETWEEN 5' AND 8' WIDE
 - (2) 2"x12" FOR OPENINGS BETWEEN 8' AND 12' WIDE
 - FOR LARGER OPENINGS, SEE FLOOR PLANS.

SYMBOLS LEGEND:

	FIRE EXTINGUISHER
	BATHROOM MECH. EXHAUSTED TO EXTERIOR WITH MIN. 30 CFM VENTILATION. (TYP.)
	COPED ELECT. INTERCONNECTED SMOKE DETECT. & CO. DETECTOR. (TYP.)
	ELECTRIC INTERCONNECTED SMOKE DETECTOR (TYP.)
	ELECT. CARBON MONOXIDE DETECTOR (TYP.)
	PROVIDE GROUND FAULT OUTLETS @ ALL GRADE ACCESS DOORS AS PER RCNYS SEC. 3801.1 (TYP.)
	INCANDESCENT LIGHT FIXTURE AS PER RCNYS SEC. 3803.3. (TYP.)
	FLUORESCENT LIGHT FIXTURE AS PER RCNYS SEC. 3803.3. (TYP.)
	SWITCH (TYP.)
	CEILING FAN (TYP.)
	INTERIOR INCANDESCENT LIGHT FIXTURE AS PER RCNYS SEC. 3803.3. (TYP.)
	NEW WINDOW SYMBOL. SEE DWG. C-1 FOR SCHEDULE.
	NEW DOOR SYMBOL. SEE DWG. C-1 FOR SCHEDULE.

VILLAGE OF FREEPORT
COUNTY OF SUFFOLK
STATE OF NEW YORK

LUIGI CLAUDIO SCIANDRA
PROFESSIONAL ENGINEER

5 WESLEYAN COURT
SMITHTOWN, NEW YORK 11787-3011
(631) 543-2953 FAX: (631) 543-1526



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REVISIONS

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ISSUED TO	NO.	DATE

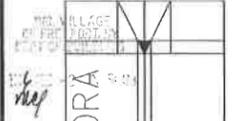
PROJECT TITLE
ADDITION TO ONE-FAMILY RESIDENCE

40 EAST SEAMAN AVENUE
FREEPORT, NY 11520

SEC. 56 BLK. 255 LOT: 20

DRAWING TITLE
BASEMENT/FOUNDATION & FIRST FLOOR PLANS

DRAWN BY: JFT	DRAWING NO. A-1
CHECKED BY: LCS	
DATE: 1/25/16	
SCALE: AS SHOWN	PROJECT NO. 2015-32


LUIGI CLAUDIO SCIANDRA
 PROFESSIONAL ENGINEER
 5 WESLEYAN COURT
 SMITHTOWN, NEW YORK 11787-3011
 (631) 543-2953 FAX: (631) 543-1526



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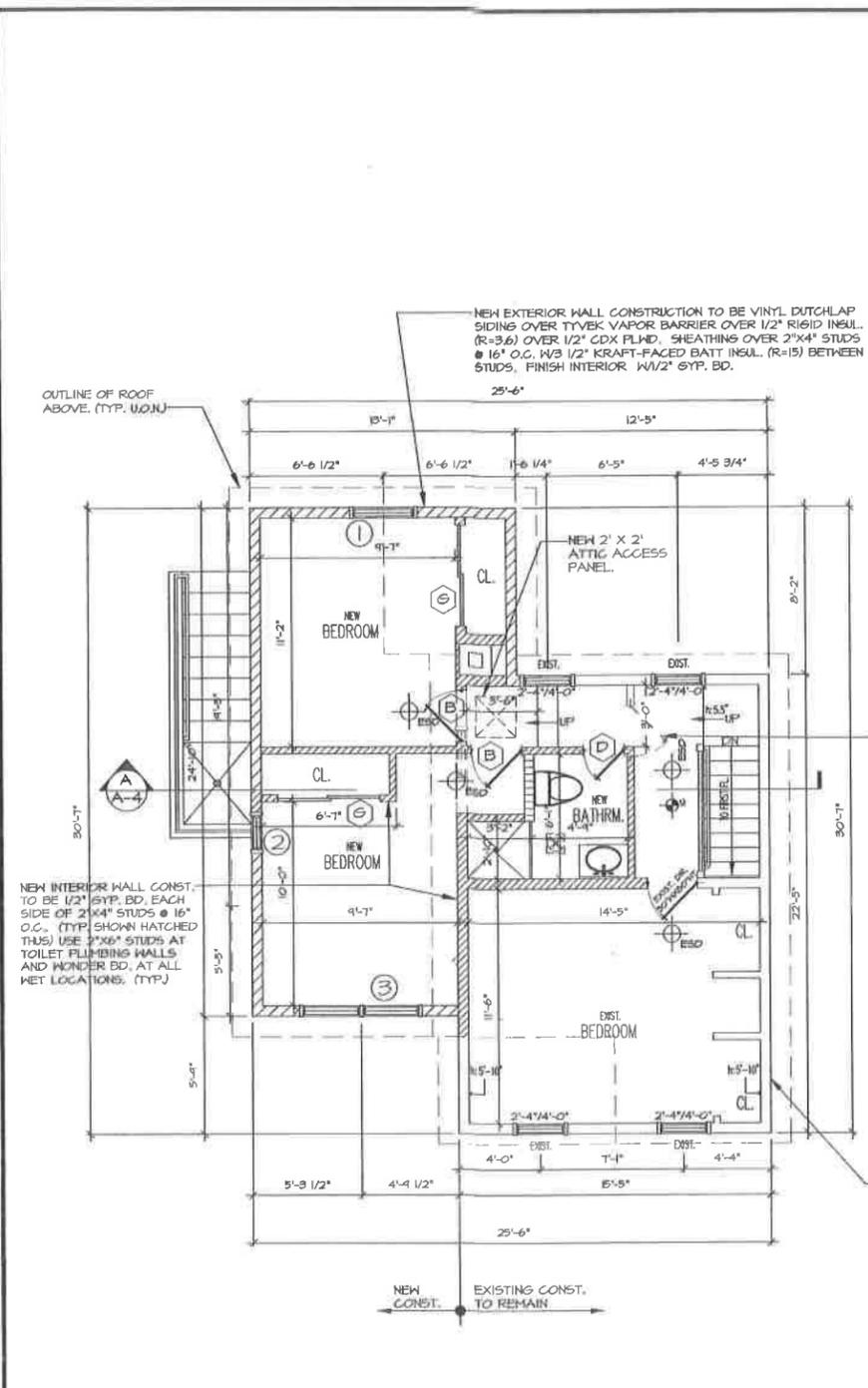
REVISIONS		
NO.	DATE	DESCRIPTION
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ISSUED TO	NO.	DATE

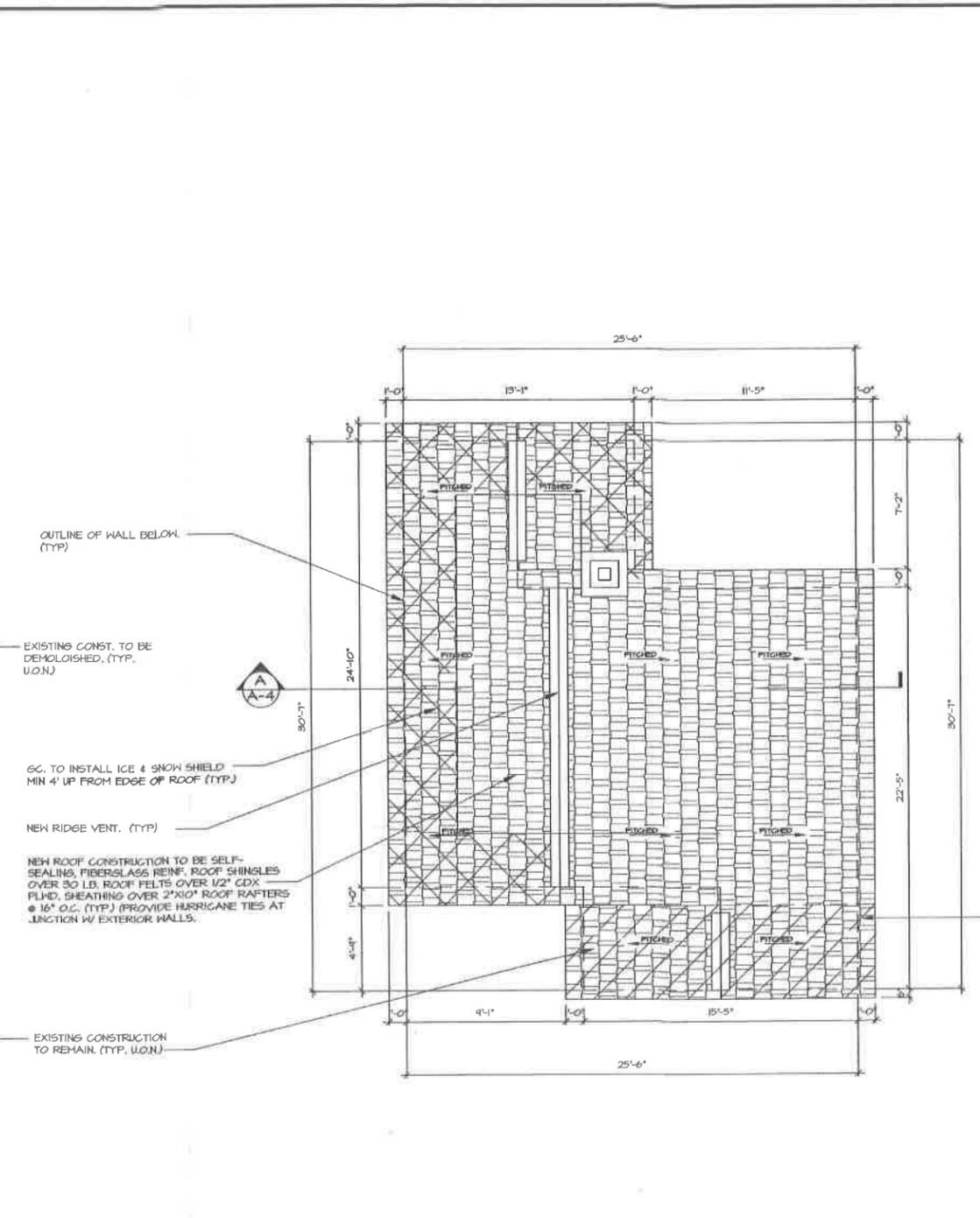
PROJECT TITLE
ADDITION TO ONE-FAMILY RESIDENCE
 40 EAST SEAMAN AVENUE
 FREEPORT, NY 11520
 SEC: 66 BLK: 266 LOT: 20

SECOND FLOOR & ROOF PLANS

DRAWN BY: JFT	DRAWING NO. A-2
CHECKED BY: LCS	PROJECT NO. 2015-32
DATE: 1/25/16	
SCALE: AS SHOWN	




SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 (1/20 SF)




ROOF PLAN
 SCALE: 1/4" = 1'-0"

GENERAL NOTES:

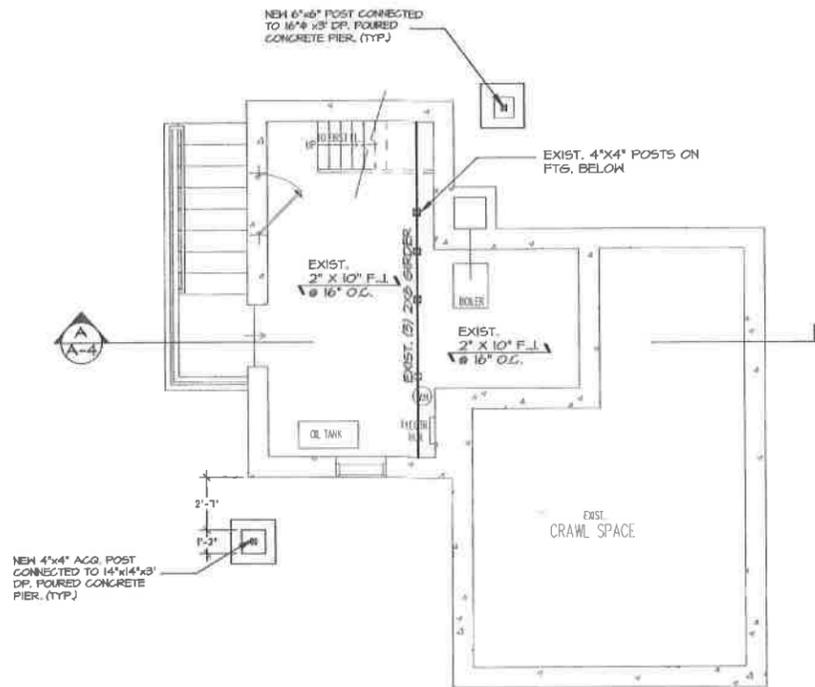
- SEE DRAWING C-1 FOR NEW DOOR AND WINDOW SCHEDULES.
- SEE DRAWING C-1 THRU C-4 FOR THE RESIDENTIAL CODE OF NEW YORK STATE GENERAL CONSTRUCTION DETAILS, FASTENING/NAILING & STRAPPING SCHEDULES.
- NEW SMOKE ALARM DETECTOR TO BE INSTALLED AT EACH SLEEPING ROOM, HALLWAY & BASEMENT. ALL SMOKE DETECTORS TO BE INTERCONNECTED IN ACCORDANCE W/SECTION R311 AND POWER SOURCE FOR SMOKE DETECTORS IS TO COMPLY W/SECTION R312 OF THE NYS RESIDENTIAL CODE. (TYP.)
- NEW CARBON MONOXIDE DETECTOR IS TO BE INSTALLED, LISTED AND LABELED AS COMPLYING W/LL 2034-2002 STANDARD AND TO BE INSTALLED ACCORDING TO MANUFACTURERS INSTRUCTIONS.
- FOR BASEMENT WALLS, FOUND. WALLS, EXT. WALLS AND OTHER VERTICAL CONC. WORK EXPOSED TO THE WEATHER USE 3,000 PSI AIR ENTRAINED CONCRETE.
- PORCHES, GARPORT SLABS AND STEPS EXPOSED TO THE WEATHER, AND GARAGE FLOOR SLABS USE 3,000 PSI AIR ENTRAINED CONCRETE.
- FOR STRUCTURAL FRAMING INFORMATION, SEE FRAMING PLANS FP-1 THRU FP-2.
- SEE DRAWING C-2 FOR ANCHOR BOLT SIZE AND SPACING.

HEADER SCHEDULE:

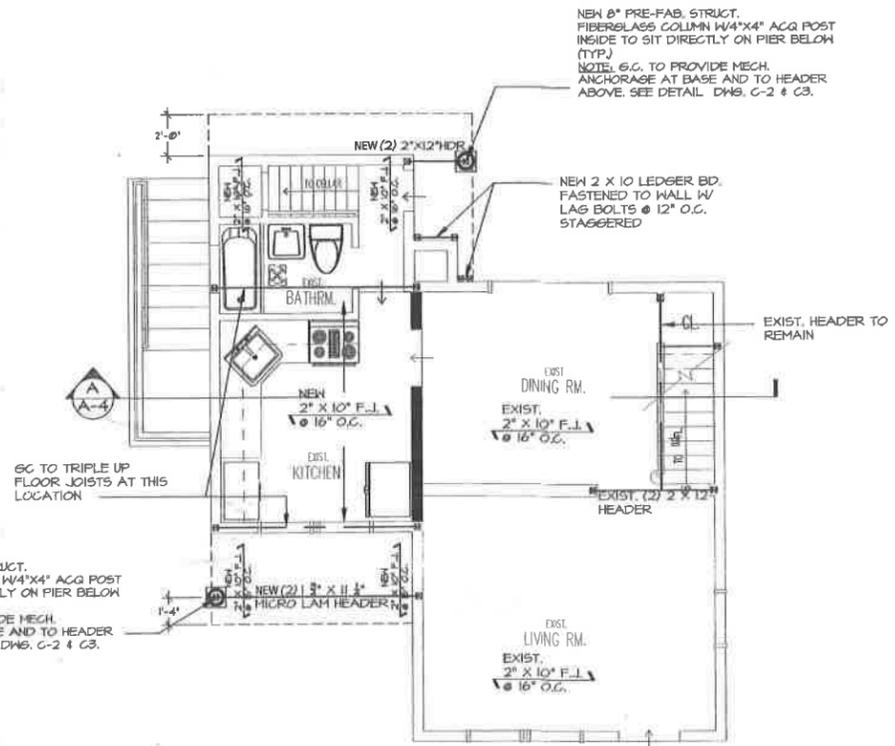
ALL HEADERS OVER WINDOWS AND OPENINGS TO BE AS FOLLOWS:
 - (2) 2"x8" FOR OPENINGS LESS THAN 3' WIDE
 - (2) 2"x10" FOR OPENINGS BETWEEN 3' AND 8' WIDE
 - (2) 2"x12" FOR OPENINGS BETWEEN 8' AND 12' WIDE
 FOR LARGER OPENINGS, SEE FLOOR PLANS.

SYMBOLS LEGEND:

	FIRE EXTINGUISHER
	BATHROOM MECH. EXHAUSTED TO EXTERIOR WITH MIN. 50 CFM VENTILATION. (TYP.)
	COMBO ELECT. INTERCONNECTED SMOKE DETCT. & CO. DETECTOR (TYP.)
	ELECTRIC INTERCONNECTED SMOKE DETECTOR (TYP.)
	ELECT. CARBON MONOXIDE DETECTOR (TYP.)
	PROVIDE GROUND FAULT OUTLETS @ ALL GRADE ACCESS DOORS AS PER RCNY'S SEC. 3001.7 (TYP.)
	INCANDESCENT LIGHT FIXTURE AS PER RCNY'S SEC. 3003.3 (TYP.)
	FLUORESCENT LIGHT FIXTURE AS PER RCNY'S SEC. 3003.3 (TYP.)
	SWITCH (TYP.)
	CEILING FAN (TYP.)
	INTERIOR INCANDESCENT LIGHT FIXTURE AS PER RCNY'S SEC. 3003.3 (TYP.)
	NEW WINDOW SYMBOL, SEE DWG. C-1 FOR SCHEDULE.
	NEW DOOR SYMBOL, SEE DWG. C-1 FOR SCHEDULE.



FIRST FLOOR FRAMING PLAN
 SCALE: 1/4" = 1'-0" (253 SF)



SECOND FLOOR FRAMING PLAN
 SCALE: 1/4" = 1'-0" (531 SF)

LEGEND
 ——— BEARING WALL

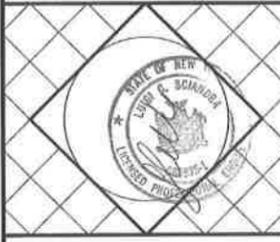
NOTE:
 SEE FOUNDATION PLAN ON DRAWING A-1 FOR ALL FOUNDATION SPECIFICATIONS.

HEADER SCHEDULE:
 ALL HEADERS OVER WINDOWS AND OPENINGS TO BE AS FOLLOWS:
 - (2) 2"x6" FOR OPENINGS LESS THAN 3' WIDE
 - (2) 2"x10" FOR OPENINGS BETWEEN 3' AND 8' WIDE
 - (2) 2"x12" FOR OPENINGS BETWEEN 8' AND 12' WIDE
 FOR LARGER OPENINGS, SEE FLOOR PLANS.

- STRUCTURAL NOTES:**
- G.C. TO DOUBLE UP FLOOR/CEILING JOISTS AROUND ALL FLOOR/CEILING/ATTIC OPENINGS. (TYP.)
 - ALL POINT LOAD POSTS FROM STRUCTURE ON ABOVE FLOORS SHALL REST DIRECTLY ON A FOUNDATION WALL BELOW OR G.C. TO TRIPLE UP FLOOR JOISTS DIRECTLY BELOW POINT LOADS ABOVE. (TYP. U.O.N.)
 - ALL FASTENERS FOR PRESSURE TREATED WOOD ARE TO BE HOT DIPPED GALVANIZED OR STAINLESS STEEL AS PER R319.3.
 - ALL LUMBER THAT COMES IN CONTACT W/CONCRETE WILL BE PRESSURE TREATED LUMBER.
 - SEE DRAWINGS C-1 THRU C-4 FOR THE RESIDENTIAL CODE OF NEW YORK STATE GENERAL CONSTRUCTION DETAILS, FASTENING/NAILING & STRAPPING SCHEDULES.

LUIGI CLAUDIO SCIANDRA
 PROFESSIONAL ENGINEER

5 WESLEYAN COURT
 SMITHTOWN, NEW YORK 11761-3011
 (631) 543-2953 FAX: (631) 543-1576



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REVISIONS

NO.	DATE	DESCRIPTION
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△	-	-
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△	-	-
△	-	-

ISSUED TO	NO.	DATE

PROJECT TITLE
ADDITION TO ONE-FAMILY RESIDENCE

40 EAST SEAMAN AVENUE
 FREEPORT, NY 11520
 SEC. 55 BLK. 255 LOT. 20

FIRST & SECOND FLOOR FRAMING PLANS

DRAWN BY: JFT	DRAWING NO. FP-1
CHECKED BY: LCS	PROJECT NO. 2015-32
DATE: 1/25/16	
SCALE: AS SHOWN	



RECEIVED

2025 MAR 26 P 3:12

INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

ROBERT T. KENNEDY
MAYOR

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

March 17, 2025
LETTER OF DENIAL

Alyssa Narine
66 S Bay Ave
Freeport, NY 11520

RE: 66 S Bay Ave, Freeport, NY 11520
Zoning District – Residence A Sec. 62 Blk. 154 , Lot 520
Building Permit Application #20254139
Description – Maintain 266' of 6' High closed PVC fence and 180' of 4' High open.

Dear Sir/Madam:

Please be advised that the above captioned Building Permit Application must be denied for the following reason(s):

Village Ordinance §210-6A. No building or land shall hereafter be used or occupied and no building or part thereof shall be erected, moved or altered unless in conformity with the regulations herein specified for the district in which it is located.

Village Ordinance §210-171. Fences and enclosures.

D. Fences in Residence A, Residence AA, Residence Apartment, Marine Residence, Marine Apartment-Boatel, Condominium and Cooperative Districts which meet the following criteria and subject to the approval of the Site Plan Review Board, where applicable, and without the consideration of the Freeport Zoning Board of Appeals, may be approved:

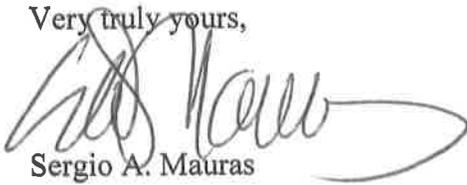
(2) In the secondary front yard of a corner lot, an open or closed fence not to exceed six feet in height, will be permitted. All fences in secondary front yards exceeding four feet in height shall be limited to half of the depth of the secondary front yard measured from the closest footprint of the structure to the property line abutting the sidewalk. Any fence closer to the sidewalk in a secondary front yard, including part of a rear fence, must be of an open design and of a height not exceeding four feet. Such fences may be constructed of wood, metal or plastic. According to the survey that you have submitted indicates that 6' H fence extending beyond what's permitted in the secondary front yard, you show 44' fencing when only 22' is allowed when half of the depth of the secondary front yard its permitted.

Please be further advised that if you intend to appeal this decision you must file an application within sixty (60) days of the date of this letter. For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the **Village Clerk's Office at 516-377-2202** to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Zoning Board of Appeals within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Zoning Board of Appeals Application, please call the **VILLAGE CLERK'S OFFICE** at 377-2202

Very truly yours,



Sergio A. Mauras
Superintendent of Buildings
Daniela Hernandez
cc: Village Clerk

RECEIVED
2025 MAR 26 1 P 3: 12
CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

SITE PLAN APPROVAL NEEDED: NO

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

 The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project :

Building Permit App. 20254139

Location: 66 S Bay Ave

Applicant: Alyssa Narine

Description: Maintain 266' of 6' High closed PVC fence and 180' of 4' High open.

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) _____

B) Possible environment effects identified:
(only if positive determination)

Dated: March 17, 2025

Sergio A. Mauras
Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

RECEIVED
2025 MAR 26 P 3:12
CLERK'S OFFICE
VILLAGE OF FREEPORT, NY



RECEIVED

2025 MAR 26 P 3:12

SEC 62-BLK. 145 LOT. 520

BOARD OF APPEALS OF THE VILLAGE OF FREEPORT
CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

In the Matter
Of
the Application of

To The Board of Appeals of the Village of Freeport, New York

Index No.

COMPLY WITH
ORIGINAL NOTES

The application of Alyssa Narine

respectfully states and alleges:

1. That the applicant (resides at) (has its principal office for the conducting of its business at)

66 South Bay Avenue
Freeport, NY 11520

2. That the premises affected by this application is located at

66 S Bay Ave Freeport NY 11520

Land Map of Nassau County
Sec. 62 Blk. 145 Lot(s) 520

and that the interest which the applicant has in the property concerned is that of maintaining
266' of 6' High closed PVC fence and 180' of 4'
High open.

3. That (the applicant) (the applicant's duly authorized Alyssa Narine) on or about the
24 day of March 2025 filed in the office of the Department of Buildings of the Village of
Freeport, New York, an application for a Building Permit. Documents filed with said application were

as follows:

Building Permit Application

4. That on or about the 26 day of March 2025 the Department of Buildings denied said
application; upon information and belief that the reason for said denial was as follows: § 210-6A
Village Ordinance § 210-171

Describe by
construction and
number of stories, if
none, so state.

5. That the nature of the improvements now upon said premises is as follows:

maintain 266' of 6' high closed PVC fence &
180' of 4' high open

State nature of use of
property. If a
business, give brief
description.

6. That said premises are now being used as follows: children safety and
privacy

Describe fully and
clearly the use
desired.

7. That the applicant seeks authority to make use of said premises as follows: safe for
my children to be able to play in their
yard

Strike out whichever
word is not
applicable. Follow
language in
ordinance.

8. Upon information and belief that a (permit) (variance) for such use may be granted by this Board by
virtue of the following sections of the said Zoning Code of The Village of Freeport or statutes of the
State of New York: § 210-6A
§ 210-171

Refer where possible
to paragraphs and
section by numbers.

9. That the following is a statement of other factual information deemed pertinent by the applicant. If the
application involves a subdivision of property, describe the existing property: N/A

If more space is needed annex statement on separate sheet and refer to it here with following words: "See annexed statement which is made a part hereof." Save opinions for the hearing.

10. That the grounds for this application are as follows: maintain they hence

11. That any deed restrictions running with the land prohibiting the desired use are as follows: N/A

12. That (the applicant has made no previous application to this Board for the authority sought herein) (upon information and belief a previous application was made for the same or similar authority sought herein and denied by this Board, but that this application contains facts not alleged or shown in any previous proceeding before this Board).

WHEREFORE, the applicant respectfully prays that the authority sought herein be granted.

Dated: March 26th, 2025. ANARINE

BY: _____
ITS: _____

If this verification is made by an officer of a corporation or an Association or by a legal representative of an estate, his name and office should be designated on the first line.

State of New York)
County of Nassau) ss:

The applicant Alyssa Narine named in the foregoing application, being duly sworn, depose and say that she read the foregoing application subscribed by _____ and know the contents thereof; and that the same is true to her own knowledge except as to the matters therein stated to be alleged on information and belief, and that as to those matters _____ believe _____ to be true.

Sworn to before me this 26th day
of March, 2025.

Notary Public Carolyn Dean ANARINE
Signature of Applicant
CAROLYN DEAN
Notary Public, State of New York
Reg. No. 01DC5036122
Qualified in Nassau County
Commission Expires November 21, 2026

**Notice
Conflict of Interest**

I have read Section 809 of the General Municipal Law concerning disclosure of and conflict of interest and hereby certify that there are no conflicts in respect to this application requiring disclosure.

March 26th, 2025
Date

ANARINE
Signature

Affidavit of Owner
To be completed only if the owner is not the applicant.

State of New York)
County of Nassau) ss:

I, Alyssa Narine being duly sworn, depose and say:
That he/she (the owner of 66 S Bay Ave) (is the owner)
66 South Bay Ave Freeport NY 11560 the property concerned is correct to the best of the knowledge of deponent _____ of _____

That the owner Alyssa Narine consents to the granting of the authority sought in the above application.

Sworn to before me this 26th day
of March, 2025.

ANARINE
Signature

Notary Public Carolyn Dean
CAROLYN DEAN
Notary Public, State of New York
Reg. No. 01DC5036122
Qualified in Nassau County
Commission Expires November 21, 2026

617.20
Appendix B
Short Environmental Assessment Form

CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

2025 MAR 26 P 3:12

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Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project:			
Project Location (describe, and attach a location map):			
Brief Description of Proposed Action: <div style="font-size: 1.2em; font-family: cursive;"> Maintain existing fence 266' of 6' High Close PVC and 180' of 4' High Open PVC. </div>			
Name of Applicant or Sponsor: Alyssa Narine		Telephone: 3477068704	
		E-Mail: alyssanarine@yahoo.com	
Address: 66 South Bay Avenue			
City/PO: Freeport		State: N.Y.	Zip Code: 11520
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO	YES
		<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:		NO	YES
		<input checked="" type="checkbox"/>	<input type="checkbox"/>
3.a. Total acreage of the site of the proposed action? _____ acres			
b. Total acreage to be physically disturbed? _____ acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres			
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			

	NO	YES	N/A
5. Is the proposed notion, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?			
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?		NO	YES
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____		NO	YES
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation service(s) available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?		NO	YES
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____		NO	YES
10. Will the proposed action connect to an existing public/private water supply? (If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES) If No, describe method for providing potable water: _____		NO	YES
11. Will the proposed action connect to existing wastewater utilities? (If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES) If No, describe method for providing wastewater treatment: _____		NO	YES
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places? b. Is the proposed action located in an archeological sensitive area?		NO	YES
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____		NO	YES
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?		NO	YES
16. Is the project site located in the 100 year flood plain?		NO	YES
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____		NO	YES

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18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>Alyssa Navine</u>		Date: <u>3/4/25</u>
Signature: <u>[Signature]</u>		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	✓	
11. Will the proposed action create a hazard to environmental resources or human health?	✓	

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

2025 MAR 26 | P 3: 12
 CLERK'S OFFICE
 VILLAGE OF FREEPORT, NY

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<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

Department of Buildings of the Incorporated Village of Freeport
FENCE PERMIT APPLICATION

MAR 12 2025

Application Number: _____ s/B/L 62-145-520 Date of filing: _____

Permit Number: 20254139 Fence

Detailed Description of Project: Maintain 1266' of 6' High close PVC. and 180' of 4' High Open PVC.

Property Owner: Alyssa & Anter Narine

Property Address: 66 S. Bay Ave # Zoning District: Residence A

Owners Mailing Address: 66 S. Bay Ave Freeport, NY 11520

Owners Contact Number: 347 7068704 / 718 598 8053

Owners Email Address: alyssanarine@yahoo.com

Contractor Information: _____

Contractor Address: _____

Contractor Phone Number: _____

Contractor Email Address: _____

Documents Submitted from Contractor:

- Nassau County License YES NO
- Workers Compensation Insurance YES NO
- Liability Insurance YES NO
- Disability Insurance YES NO

Will Homeowner Install Their Own Fence YES NO

If So, Was a Valid Copy a Valid Homeowners Insurance Policy Submitted? YES NO

Was the Fence Already Installed? YES NO

Total Cost of Project (Must include contract): \$1,01,000

Total Length of Fencing: 446'

NOTARY REQUIRED:

Print Name of Applicant: Alyssa Narine

Signature of Applicant: [Signature]

Sworn to before me this 4 day of March 2025

Notary Public: [Signature] Superintendent of Buildings: _____

RUSSELL S RAMSUMAIR
Notary Public - State of New York
NO. 01RA6416615
Qualified in Queens County
My Commission Expires Apr 19, 2025

VILLAGE OF FREEPORT, NY
CLERK'S OFFICE

2025 MAR 26 1 P 3: 12

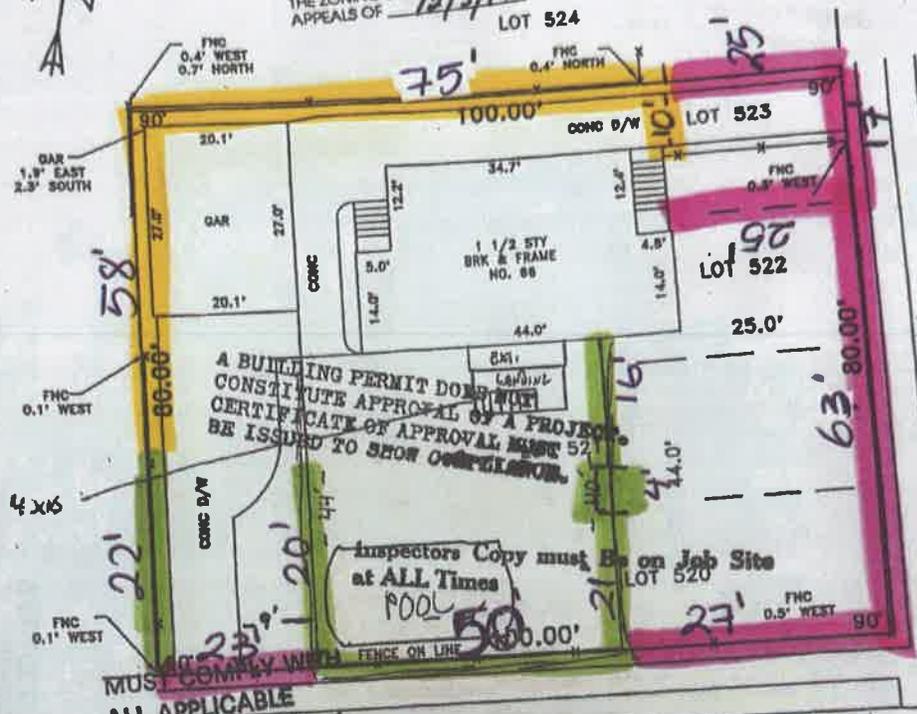
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NOTICE
BUILDING DEPARTMENT MUST BE NOTIFIED AT LEAST 24 HOURS BEFORE ANY WORK COMMENCES. FAILURE TO MAKE THIS NOTIFICATION WILL RESULT IN THE ISSUANCE OF SUMMONSES AS WELL AS A STOP WORK ORDER.

ANY CHANGE FROM APPROVED PLANS WILL REQUIRE AN AMENDMENT TO BE FILED AND APPROVED BY THE DEPT. OF BUILDINGS.

THIS PERMIT IS ISSUED PURSUANT TO ANY AND ALL STIPULATIONS AND CONDITIONS AS STATED IN THE RECORD OF THE ZONING BOARD OF APPEALS OF 12/3/97

CALL BUILDING DEPT. FOR INSPECTION



SOUTH BAY AVENUE
6' High Close

180' of 4' High OPEN.
133' of 6' High Close
133' of 6' High Close

A BUILDING PERMIT DOES NOT CONSTITUTE APPROVAL OF A PROJECT. CERTIFICATE OF APPROVAL MUST BE ISSUED TO SHOW COMPLIANCE.

Inspectors Copy must Be on Job Site at ALL Times

MUST COMPLY WITH ALL APPLICABLE LOCAL, COUNTY, AND STATE CODES

RAY STREET

* PLEASE BE ADVISED THAT THERE IS NO FENCE SURROUNDING YARD, IT HAS BEEN REMOVED IN 5-94

"Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7209, sub-division 2, of the New York State Education Law." "Only copies from the original of this survey marked with an original of the land surveyor's embossed seal shall be considered to be valid true copies." "Certifications indicated hereon signify that this survey was prepared in accordance with the existing Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors."

GUARANTEES OR CERTIFICATIONS INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, & OR HIS BEHALF TO THE TITLE COMPANY GOVERNMENTAL AGENCY & LENDING INSTITUTIONS LISTED HEREON, & TO THE ASSIGNEES OF THE LENDING INSTITUTION. GUARANTEES OR CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

OFFICE COPY

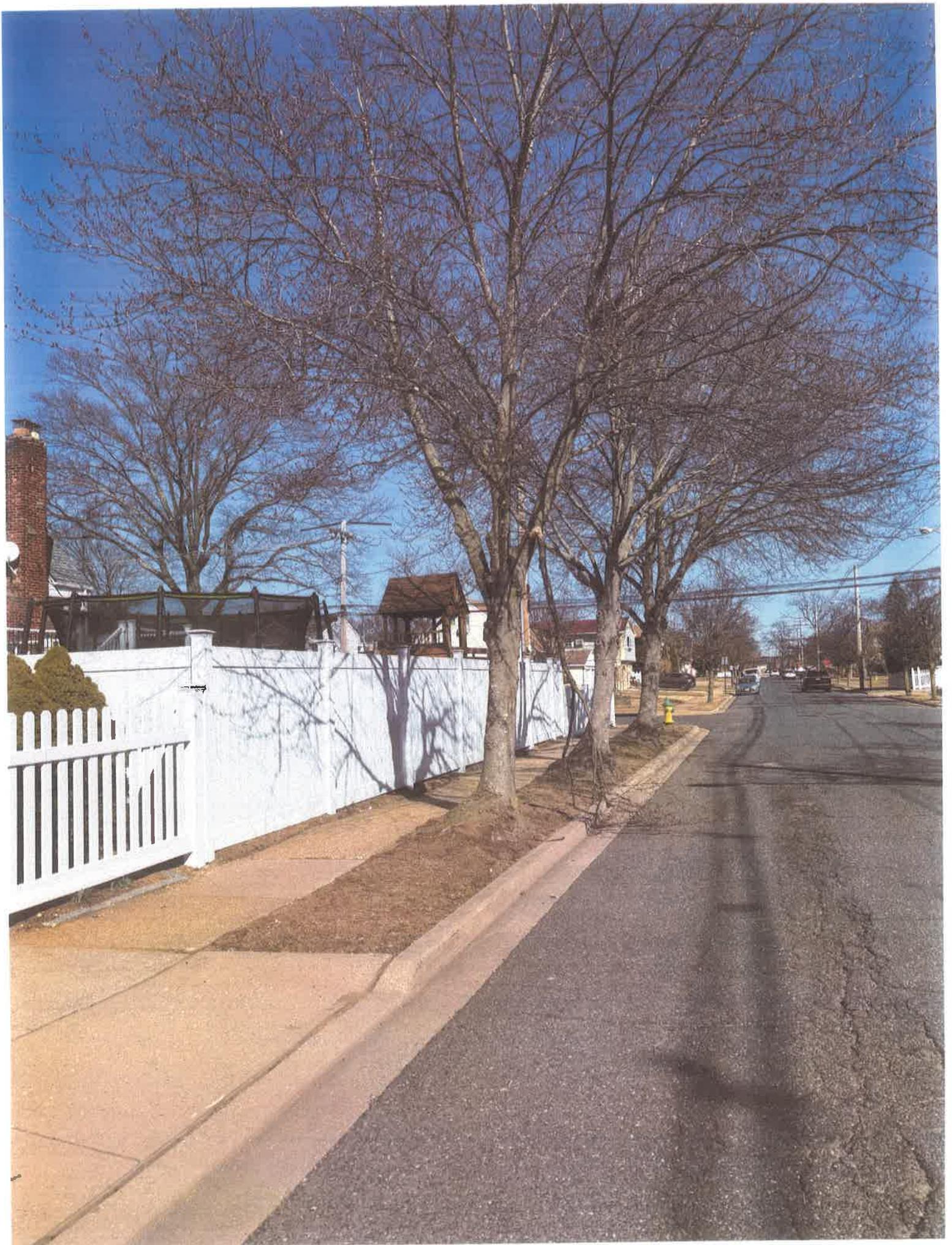
MAP OF LOT 520, 521, 522 AND 523 AS SHOWN ON "MAP OF RANDALL BAY ESTATES, SECTION 2..." SITUATED AT VILLAGE OF FREEPORT NASSAU COUNTY, NEW YORK.

CERTIFIED TO GREGORY R. SPINOCCHIA KAREN KEELER NATIONS TITLE INS. OF NEW YORK, INC. NORTH SHORE ABSTRACT, LTD. TITLE NO. N 09056 N

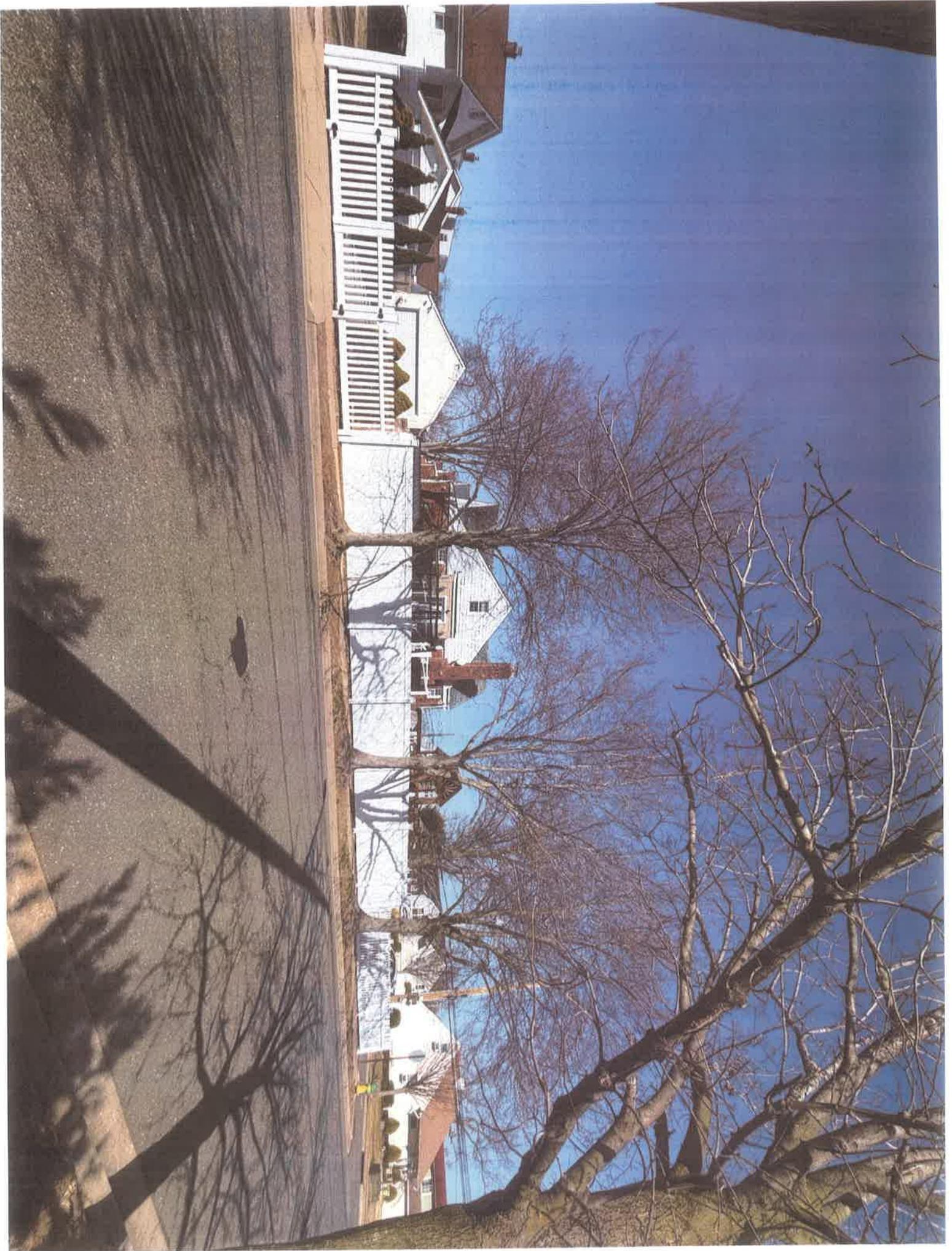
CHRISTOPHER HENN L.S. 121 EDDY DRIVE DIX HILLS, NEW YORK N.Y.S. LIC. NO. 49857 DATE 4/5/94 (C) COPYRIGHT REF. NO. 4837

Christopher Henn

TAX MAP DESIGNATION SECTION 62 BLOCK 145 LOTS 520-523

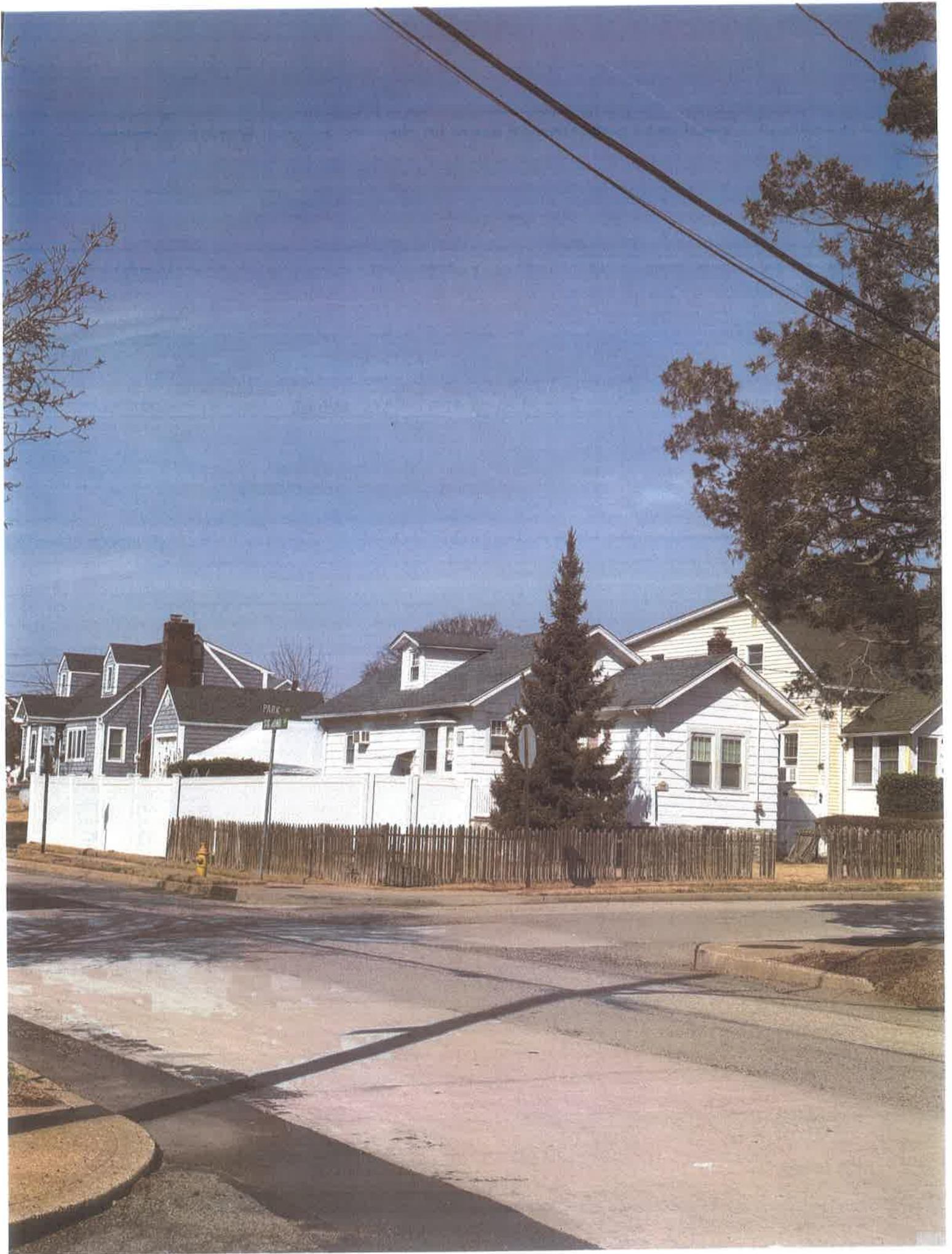


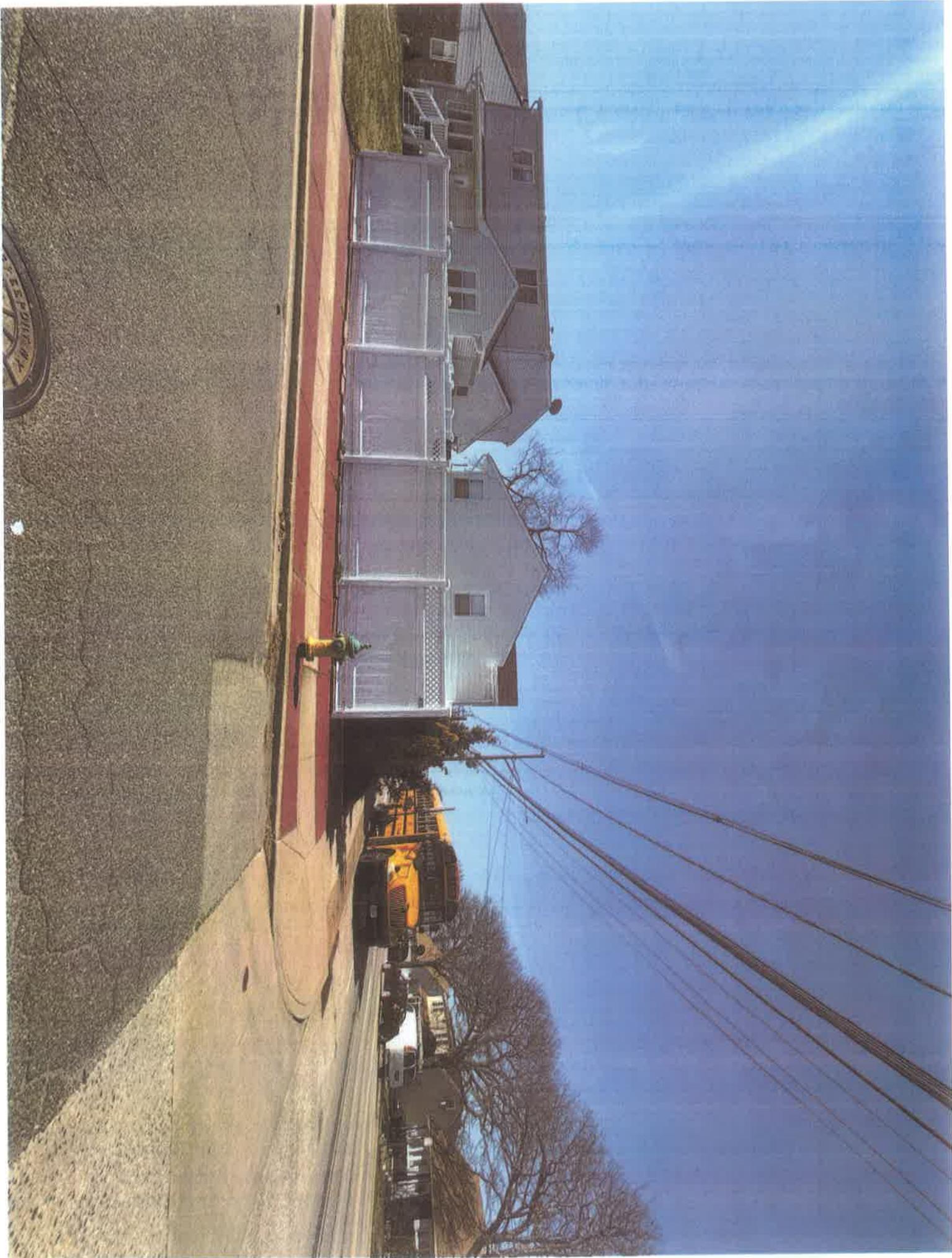


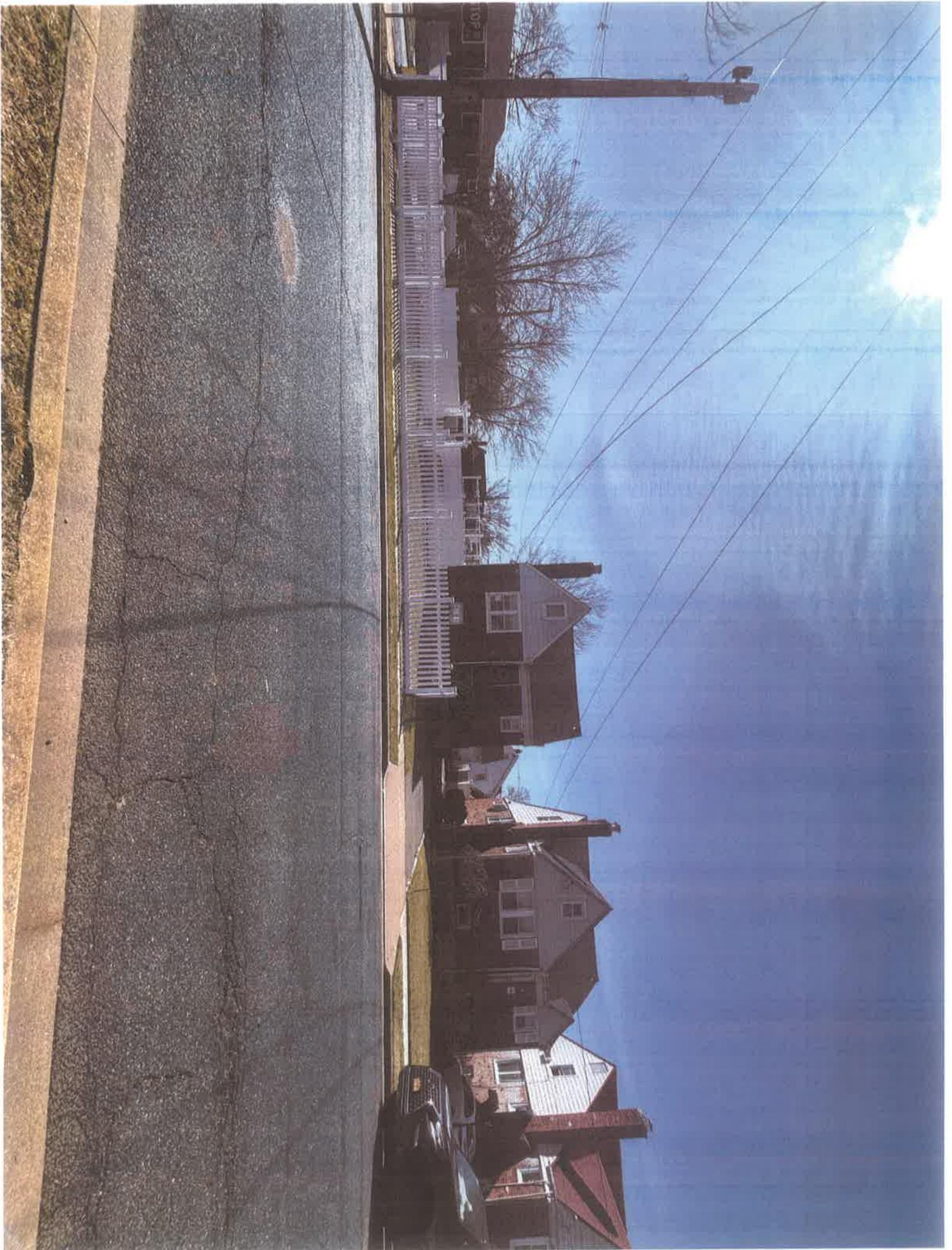


















Neighbor Fence







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2025 MAR 27 A 9:18

CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

ROBERT T. KENNEDY
MAYOR

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

March 17, 2025
LETTER OF DENIAL

Ansel Wallace
3 Ray St
Freeport, NY 11520

RE: **3 Ray St, Freeport, NY 11520**
Zoning District – Residence A Sec. 62 Blk. 52 , Lot 500
Building Permit Application #20244021
Description – Maintain 86' of 6' high closed PVC fence.

Dear Sir/Madam:

Please be advised that the above captioned Building Permit Application must be denied for the following reason(s):

Village Ordinance §210-6A. No building or land shall hereafter be used or occupied and no building or part thereof shall be erected, moved or altered unless in conformity with the regulations herein specified for the district in which it is located.

Village Ordinance §210-171. Fences and enclosures.

D. Fences in Residence A, Residence AA, Residence Apartment, Marine Residence, Marine Apartment-Boatel, Condominium and Cooperative Districts which meet the following criteria and subject to the approval of the Site Plan Review Board, where applicable, and without the consideration of the Freeport Zoning Board of Appeals, may be approved:

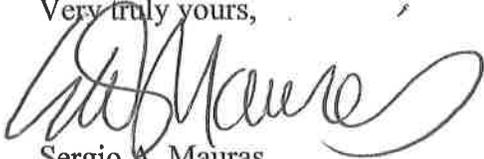
(2) In the secondary front yard of a corner lot, an open or closed fence not to exceed six feet in height, will be permitted. All fences in secondary front yards exceeding four feet in height shall be limited to half of the depth of the secondary front yard measured from the closest footprint of the structure to the property line abutting the sidewalk. Any fence closer to the sidewalk in a secondary front yard, including part of a rear fence, must be of an open design and of a height not exceeding four feet. Such fences may be constructed of wood, metal or plastic. According to the survey that you have submitted indicates that 6' H fence extending beyond what's permitted in the secondary front yard, you show 21' fencing when only 10.5' is allowed when half of the depth of the secondary front yard its permitted.

Please be further advised that if you intend to appeal this decision you must file an application within sixty (60) days of the date of this letter. For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the **Village Clerk's Office at 516-377-2202** to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Zoning Board of Appeals within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Zoning Board of Appeals Application, please call the **VILLAGE CLERK'S OFFICE** at 377-2202

Very truly yours,



Sergio A. Mauras
Superintendent of Buildings
Daniela Hernandez
cc: Village Clerk

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VILLAGE OF HEMPSTADT, NY

SITE PLAN APPROVAL NEEDED: NO

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project :

Building Permit App. 20244021

Location: 3 Ray St

Applicant: Ansel Wallace

Description: Maintain 86' of 6' high closed PVC fence.

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) _____

B) Possible environment effects identified:
(only if positive determination)

Dated: March 17, 2025

Sergio A. Mauras

Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

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VILLAGE OF FREEPORT
DEPARTMENT OF BUILDINGS
NY

If more space is needed annex statement on separate sheet and refer to it here with following words: "See annexed statement which is made a part hereof." Save opinions for the hearing.

10. That the grounds for this application are as follows: Our main reason for the fee was for the safety of our kids. We would love for them to be able to be outside without anyone having access to them.

11. That any deed restrictions running with the land prohibiting the desired use are as follows: N/A

12. That the applicant has made no previous application to this Board for the authority sought herein) (upon information and belief a previous application was made for the same or similar authority sought herein and denied by this Board, but that this application contains facts not alleged or shown in any previous proceeding before this Board).

WHEREFORE, the applicant respectfully prays that the authority sought herein be granted.

Dated: 02-26, 2025 [Signature]

BY: _____
ITS: _____

If this verification is made by an officer of a corporation or an Association or by a legal representative of an estate, his name and office should be designated on the first line.

State of New York)
County of Nassau) ss:

The applicant Aysel Wallace named in the foregoing application, being duly sworn, depose and say that _____ read the foregoing application subscribed by _____ and know the contents thereof; and that the same is true to _____ own knowledge except as to the matters therein stated to be alleged on information and belief, and that as to those matters _____ believe _____ to be true.



Sworn to before me this 26 day of February, 2025 of Aysel Wallace
Notary Public Frieda M. Wallace



**Notice
Conflict of Interest**

I have read Section 809 of the General Municipal Law concerning disclosure of and conflict of interest and hereby certify that there are no conflicts in respect to this application requiring disclosure.

02-26, 2025 _____
Date Year

[Signature]
Signature

Affidavit of Owner
To be completed only if the owner is not the applicant.

State of New York)
County of Nassau) ss:

I _____ being duly sworn, depose and say: _____ (is the _____) of _____ the property concerned is correct to the best of the knowledge of deponent _____)

That the owner _____ consents to the granting of the authority sought in the above application.

Sworn to before me this _____ day of _____, 20 _____.

Notary Public _____
Signature

617.20
Appendix B
Short Environmental Assessment Form

NOV 14 2024

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: Install			
Project Location (describe, and attach a location map): 3 Ray st Freeport NY 11520			
Brief Description of Proposed Action: 86 feet 6 feet High PVC 2 single gate 6x48 1 DD Gate 6x10			
Name of Applicant or Sponsor: Erik Leiva		Telephone: 516-547-6225	
		E-Mail: your fence to day@yahoo.com	
Address: 209 Babylon TPKE			
City/PO: Roosevelt		State: NY	Zip Code: 11575
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			YES
3.a. Total acreage of the site of the proposed action? _____ acres			
b. Total acreage to be physically disturbed? _____ acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres			
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			

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 CLERK'S OFFICE
 VILLAGE OF FREEPORT NY

		NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations?		X		
b. Consistent with the adopted comprehensive plan? NOV 14 2024				
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?		X		
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____		X		
8. a. Will the proposed action result in a substantial increase in traffic above present levels?		X		
b. Are public transportation service(s) available at or near the site of the proposed action?		X		
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?		X		
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____		X		
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing potable water: _____		X		
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____		X		
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?		X		
b. Is the proposed action located in an archeological sensitive area?		X		
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?		X		
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____		X		
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban				
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?		X		
16. Is the project site located in the 100 year flood plain?		X		
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES		X		
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____		X		

VILLAGE OF FRENCH CREEK, NY

CLERK'S OFFICE

4025 MAR 27 A

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18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	X	
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	X	
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	X	
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>Ansel Wallace</u>	Date: <u>11-13-2024</u>	
Signature: <u>Ansel Wallace</u>		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	NO	
2. Will the proposed action result in a change in the use or intensity of use of land?	NO	
3. Will the proposed action impair the character or quality of the existing community?	NO	
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	NO	
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	NO	
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	NO	
7. Will the proposed action impact existing:		
a. public / private water supplies?	NO	
b. public / private wastewater treatment utilities?	NO	
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	NO	
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	NO	

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 GENERAL OFFICE

	NOV 14 2024	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?		NO	
11. Will the proposed action create a hazard to environmental resources or human health?		NO	

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur"; or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

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 VILLAGE OF FREEPORT, NY

<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
_____ Name of Lead Agency	_____ Date
_____ Print or Type Name of Responsible Officer in Lead Agency	_____ Title of Responsible Officer
_____ Signature of Responsible Officer in Lead Agency	_____ Signature of Preparer (if different from Responsible Officer)

Department of Buildings of the Incorporated Village of Freeport

FENCE PERMIT APPLICATION

NOV 14 2024

Application Number: 20244021 S/B/L 62/52/500 Date of filing: 11/13/24

Permit Number: _____

Detailed Description of Project: 86 feet six feet High 2 single Gate 6X48
1 DD Gate 6X10

Property Owner: _____

Property Address: 3 Roy St Freeport NY 11520 Zoning District: _____

Owners Mailing Address: _____

Owners Contact Number: 347-420-8284

Owners Email Address: _____

Contractor Information: Leiva Fence Inc

Contractor Address: 209 Babylon TPKE Roosevelt NY 11575

Contractor Phone Number: 516-547 6225

Contractor Email Address: your fence today @ yahoo.com

Documents Submitted from Contractor:

- Nassau County License YES NO
- Workers Compensation Insurance YES NO
- Liability Insurance YES NO
- Disability Insurance YES NO

Will Homeowner Install Their Own Fence YES NO

If So, Was a Valid Copy a Valid Homeowners Insurance Policy Submitted? YES

Was the Fence Already Installed? YES NO

Total Cost of Project (Must include contract): 2410

Total Length of Fencing: 86 feet, 6 feet High

NOTARY REQUIRED:

Print Name of Applicant: Ansel Wallace

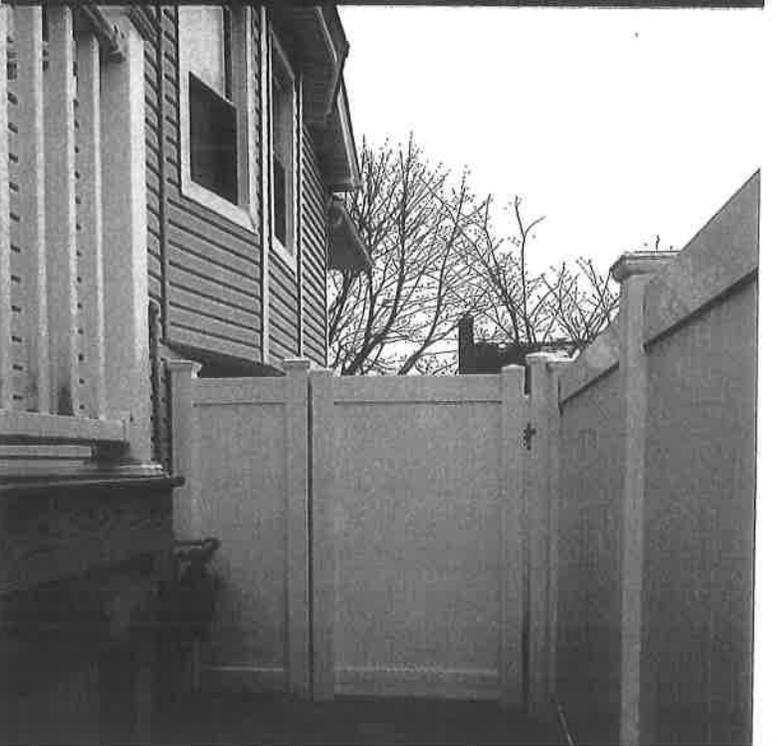
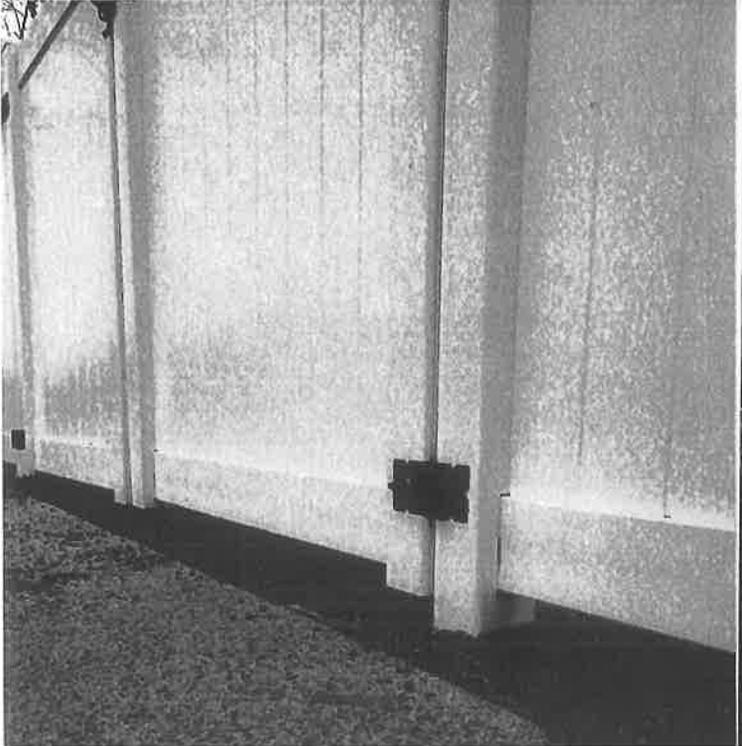
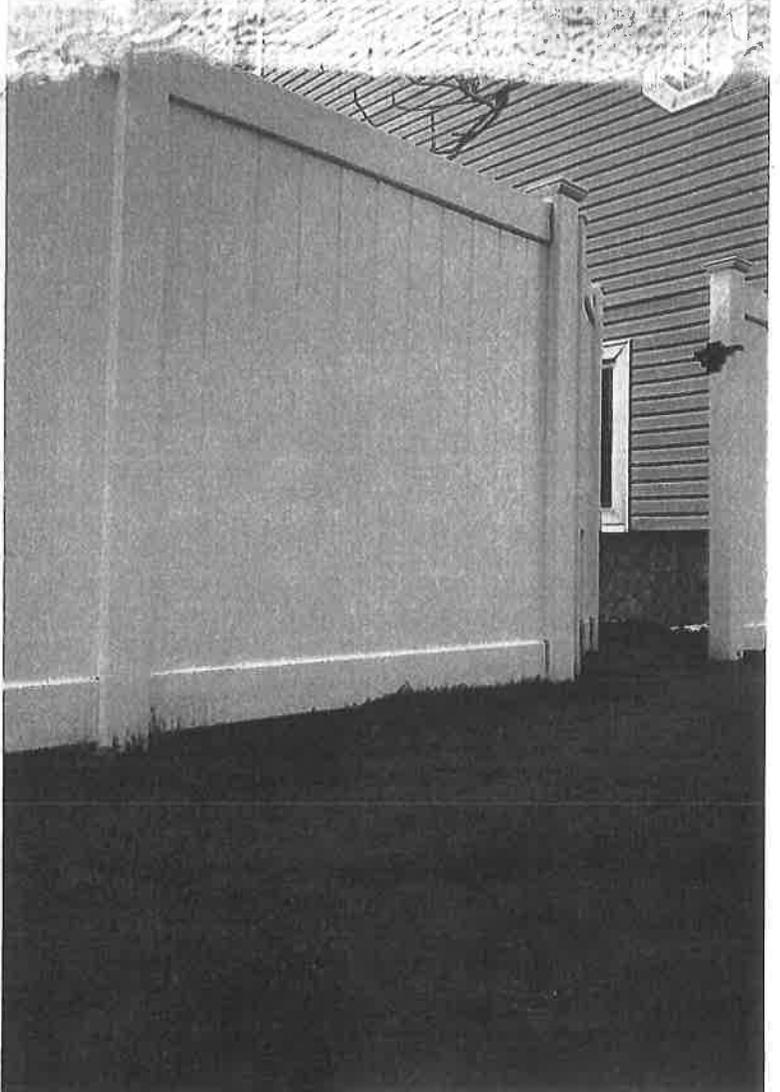
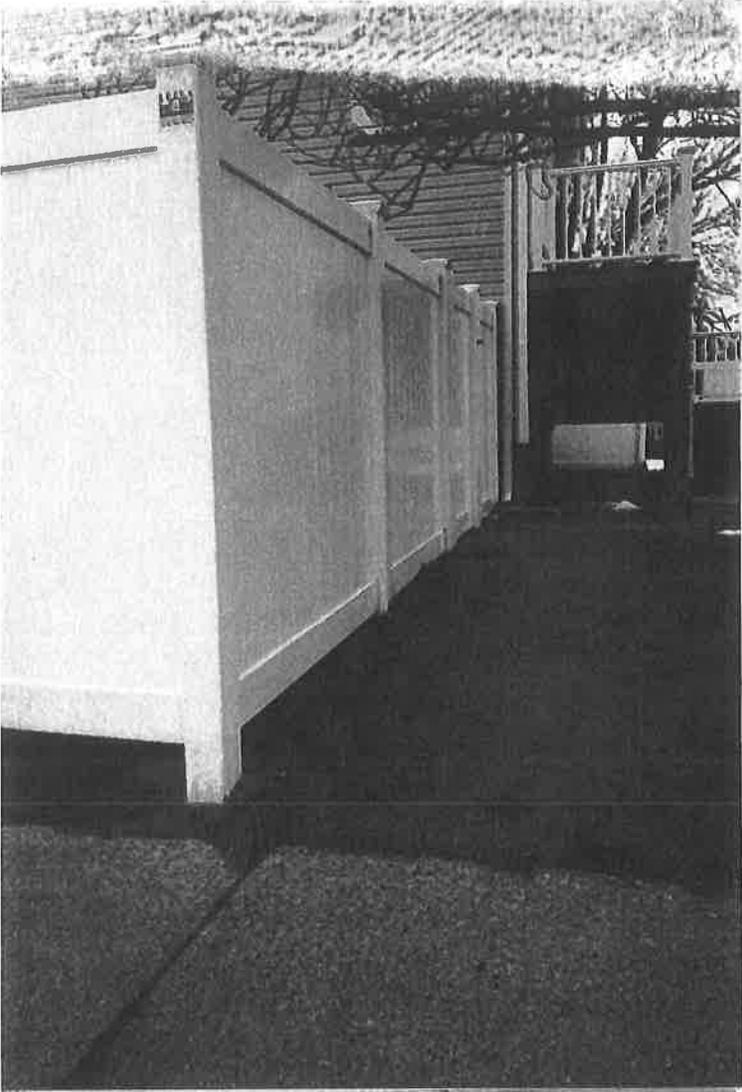
Signature of Applicant: _____

Sworn to before me this 13 day of November 2024

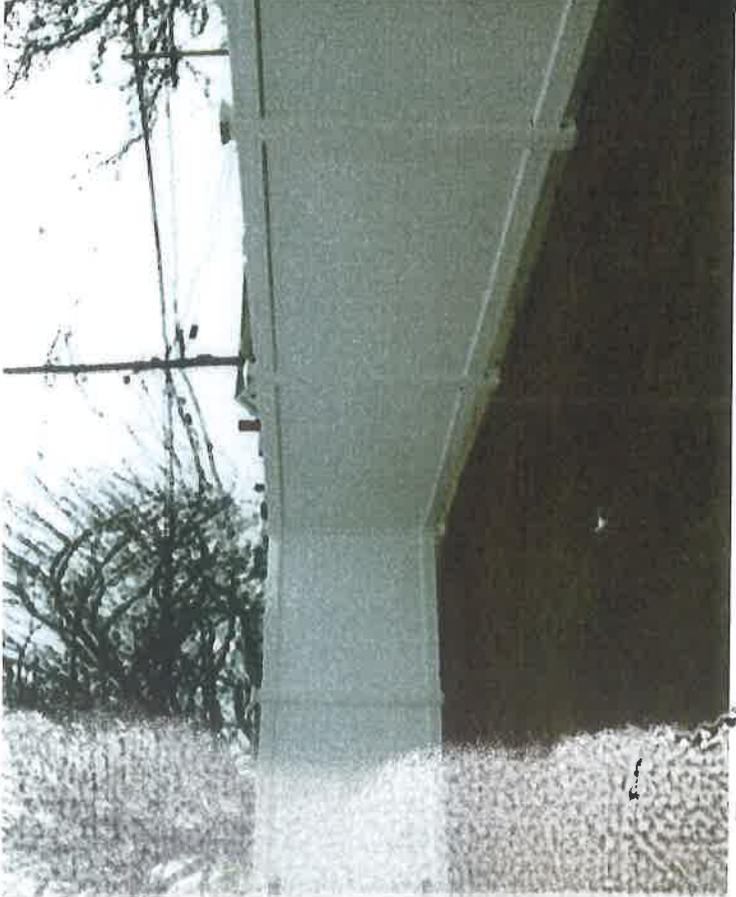
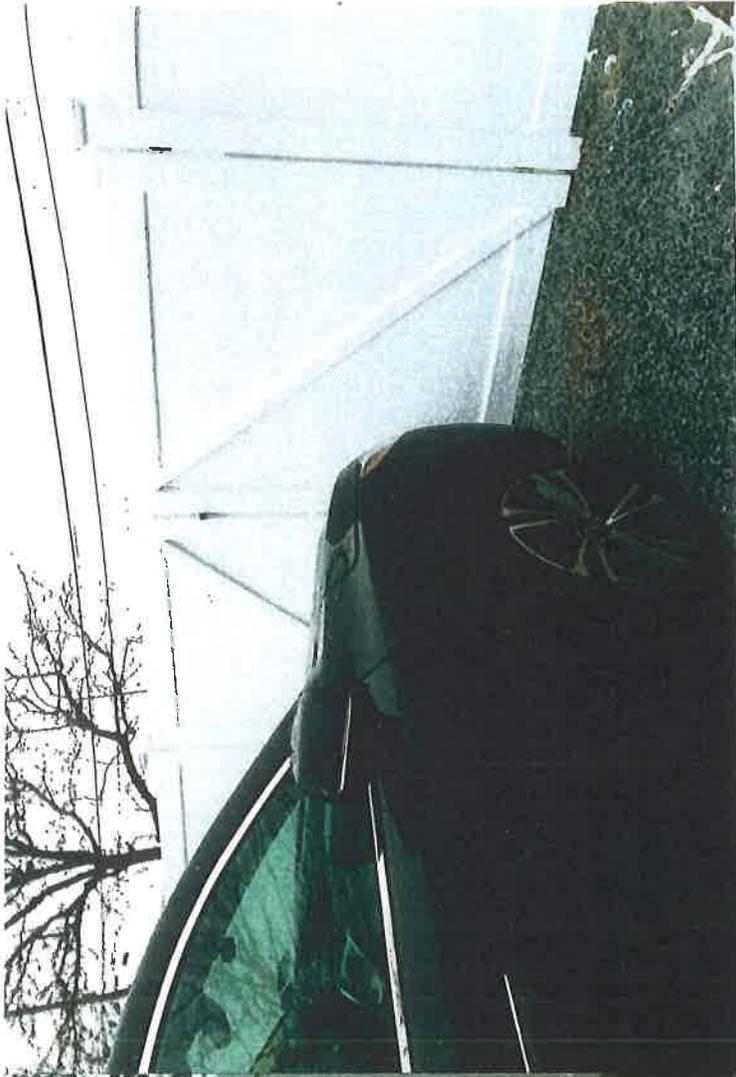
Notary Public: Fiona M. Wallace Superintendent of Buildings: _____

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CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

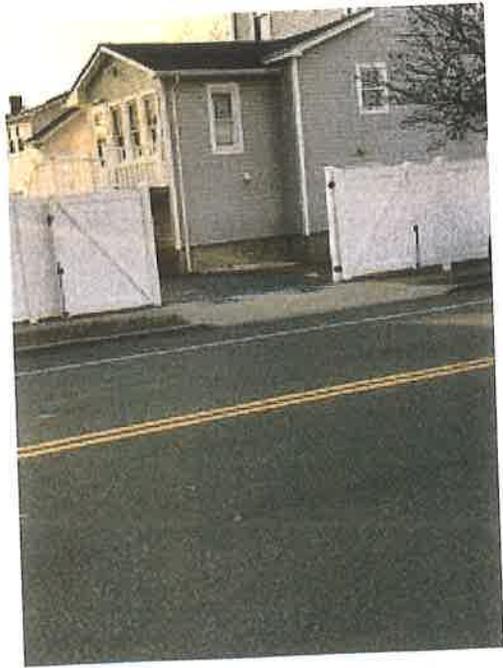
FIONA M WALLACE
Notary Public - State of New York
NO. 01WA6436357
Qualified in Queens County
My Commission Expires Jul 11, 2026













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INC. VILLAGE OF FREEPORT

Department of Buildings
46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

2024 OCT 18 P 3:16

CITY CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

ROBERT T. KENNEDY
MAYOR

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

October 18, 2024
LETTER OF DENIAL

BGC Properties INC
19 Suffolk Street
Freeport, NY 11520

RE: **19 Suffolk Street, Freeport, NY**
Zoning District – Marine Commerce Sec. 62 Blk. 176 Lots 325,326,327,328,329.
Building Permit Application #20243928
Description – Construct addition to existing building and change use to residence apartment for 24 unit 4-story apartment building 22,511.06 SF

Dear Sir/Madam:

Please be advised that the above captioned Building Permit Application must be denied for the following reason(s):

Village Ordinance §210-6A. No building or land shall hereafter be used or occupied and no building or part thereof shall be erected, moved or altered unless in conformity with the regulations herein specified for the district in which it is located.

Village Ordinance §210-238. Prohibited uses.

B. Any use not specifically permitted shall be prohibited. Apartment houses are not a specificity use.

Village Ordinance §210-47. Building height.

A. Generally. No apartment houses shall not exceed 32 feet in height nor have more than 2 1/2 stories, including the basement. According to the drawings submitted the high of the building is 42'-8" and 4 stories. You will be seeking a variance of 7'-8" and a variance for the additional 1.5 stories.

Village Ordinance §210-48. Lot area; apartments.

No apartment house shall be erected on a lot whose area is less than 15,000 square feet or which provides less than 990 square feet of lot area per apartment unit. According to the drawings submitted the lot area is 11,500 SF and only 11 apartments would be allowed. You will be seeking a variance of 3,500 SF and 13 apartments.

Village Ordinance §210-49. Lot coverage.

B. Apartments. An apartment house shall not occupy more than 40% of the area of the lot, including accessory buildings or structures. According to the drawings submitted 62.3% is going to be occupied when only 40% is permitted. You will be seeking a variance of 22.3%

C. Open space. Open space, out-of-doors and uncovered, shall be provided at the ratio of at least one square foot of open space to each two square feet of residential floor area which excludes the basement or cellar. According to the drawings the required open space should be 11,255.53 SF and only 4,118.28 is provided.

D. Open recreation space. Open recreation space, out-of-doors, shall be provided on the basis of 1/6 of the open space requirement in a single contiguous area other than the front yard. This requirement is a part of the open space requirement. Open recreation space shall use a portion of the open space required by Subsection C above. According to the drawings submitted no open space was provided and you will be seeking a variance of 3,846.18 SF of open space. As per 86-11 Open recreation must be at grade level.

Village Ordinance §210-51. Required yards.

A. Front yard depth: the average front yard depth of existing buildings on the same side of the street in the same block and within 200 feet of each side of the lot; if there are no existing buildings as aforesaid, the average front yard depth of existing buildings on the opposite side of the street in the same block and within 200 feet of the lines projected from each side of the lot; in no event, less than 25 feet; According to the drawings submitted the frontage is 5.8', 7.8' and 0.9"

B. Side yard width: 20 feet; According to the drawings submitted the side yard is 10'.

C. Rear yard depth: 20 feet: According to the drawings submitted the rear yard is 5'.

Village Ordinance §210- 52. Parking space for apartment building.

Parking space shall be provided as set forth in § 210-172.

As per 210-172 indicates that you will need 36 parking spaces but only 20 legal parking spaces were provided. You will be seeking a variance of 16 parking spaces.

Village Ordinance §210- 54. Front yards of apartment building.

With the exception of the necessary driveways, walks and entrance areas, the front yard of any apartment house shall be fully graded, landscaped and continuously maintained in a neat and orderly fashion, and no portion of the said front yard shall be used for parking automobiles or other vehicles or storing articles of any kind. According to the drawings submitted the parking and trash room are in the front yard and secondary front yard.

Please be further advised that if you intend to appeal this decision you must file an application within sixty (60) days of the date of this letter. For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-2202 to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only

ONE complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's office. Only after this initial appointment should the additional copies be made.

Be further advised that you must submit an application to the Zoning Board of Appeals within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Zoning Board of Appeals Application, please call the VILLAGE CLERK'S OFFICE at 377-2202

Very truly yours,

Sergio A. Mauras
Superintendent of Buildings
Daniela Hernandez
SITE PLAN APPROVAL NEEDED: YES

REC'D
2024 OCT 18 PM 3:17
VILLAGE CLERK'S OFFICE

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project :

Building Permit App. 20243928

Location: 19 Suffolk Street

Applicant: BGC Properties INC

Description: Construct addition to existing building and change use to residence apartment for 24 unit 4-story apartment building 22,511.06 SF

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) _____

B) Possible environment effects identified:
(only if positive determination)

Dated: October 18, 2024

Sergio A. Mauras
Sergio A. Mauras
Superintendent of Buildings

2024 OCT 18 PM 3:17
VILLAGE OF FREEPORT
DEPARTMENT OF BUILDINGS
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IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.



SEC. 102 BLK. 176 LOT. 325
326
327
328
329

BOARD OF APPEALS OF THE VILLAGE OF FREEPORT

In the Matter
 Of
 the Application of

To The Board of Appeals of the Village of Freeport, New York

Index No.

COMPLY WITH ORIGINAL NOTES

The application of 19 Suffolk St Addition, alteration + Change of use respectfully states and alleges:

Strike out inapplicable phrase

1. That the applicant (resides at) (has its principal office for the conducting of its business at) 19 Suffolk St, Freeport ny 11520

State whether applicant is owner, lessee, or has option or contract. If other than owner, state briefly terms of agreement.

2. That the premises affected by this application is located at 19 Suffolk St Freeport ny 11520 Land Map of Nassau County Sec. 102 Blk. 176 Lot(s) 325 and that the interest which the applicant has in the property concerned is that of applicant is owner of property

3. That ~~(the applicant)~~ (the applicant's duly authorized _____) on or about the 4th day of September 2024, filed in the office of the Department of Buildings of the Village of Freeport, New York, an application for a Building Permit. Documents filed with said application were as follows: Architectural Plans

Obtain reason for denial from Department of Buildings.

4. That on or about the 17th day of October, 2024, the Department of Buildings denied said application; upon information and belief that the reason for said denial was as follows: multiple village ordinance's; listed in #8

Describe by construction and number of stories. If none, so state.

5. That the nature of the improvements now upon said premises is as follows: extension of existing buildings to include 24-1 bedroom units

State nature of use of property. If a business, give brief description.

6. That said premises are now being used as follows: commercial office space and 1 apartment

Describe fully and clearly the use desired.

7. That the applicant seeks authority to make use of said premises as follows: apartment district.

Strike out whichever word is not applicable. Follow language in ordinance.

8. Upon information and belief that a (permit) (variance) for such use may be granted by this Board by virtue of the following sections of the said Zoning Code of The Village of Freeport or statutes of the State of New York 210-60, 210-47, 210-48, 210-49, 210-51, 210-172, 210-54, 210-52

Refer where possible to paragraphs and section by numbers.

9. That the following is a statement of other factual information deemed pertinent by the applicant. If the application involves a subdivision of property, describe the existing property: NA

If more space is needed annex statement on separate sheet and refer to it here with following words: "See annexed statement which is made a part hereof." Save opinions for the hearing.

If non-conforming use is claimed, set forth uses made of premises and dates thereof in chronological order.

If this verification is made by an officer of a corporation or an Association or by a legal representative of an estate, his name and office should be designated on the first line.

10. That the grounds for this application are as follows: Cannot realize reasonable return on property

11. That any deed restrictions running with the land prohibiting the desired use are as follows: NA

12. That (the applicant has made no previous application to this Board for the authority sought herein) (upon information and belief a previous application was made for the same or similar authority sought herein and denied by this Board, but that this application contains facts not alleged or shown in any previous preceding before this Board).

WHEREFORE, the applicant respectfully prays that the authority sought herein be granted.

Dated: September 23RD, 20 24.

BY: [Signature]
ITS: _____

State of New York)
County of Nassau) ss:

The applicant Ben Jackson / BGC Properties named in the foregoing application, being duly sworn, depose and say that he read the foregoing application subscribed by _____ and know the contents thereof; and that the same is true to his own knowledge except as to the matters therein stated to be alleged on information and belief, and that as to those matters _____ believe _____ to be true.

Sworn to before me this 23RD day
of September, 20 24.

[Signature]
Signature of Applicant

Notary Public [Signature]

**Notice
Conflict of Interest**

I have read Section 809 of the General Municipal Law concerning disclosure of and conflict of interest and hereby certify that there are no conflicts in respect to this application requiring disclosure.

September 23RD, 20 24.
Date Year

[Signature]
Signature

Affidavit of Owner

To be completed only if the owner is not the applicant.

State of New York)
County of Nassau) ss:

I Ben Jackson being duly sworn, depose and say:

That he (the owner of 19 Suffolk St, Kneppnt) (is the owner of 19 Suffolk St Kneppnt of 19 Suffolk St Kneppnt the property concerned is correct to the best of the knowledge of deponent _____.)

That the owner Ben Jackson consents to the granting of the authority sought in the above application.

Sworn to before me this 18th day
of October, 20 24.

[Signature]
Signature

[Signature]

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: 19 Suffolk Street - Freeport, NY 11520			
Project Location (describe, and attach a location map): corner of suffolk street and South Ocean Ave			
Brief Description of Proposed Action: Proposed addition, alteration and change of use to create a 24 unit apartment building			
Name of Applicant or Sponsor: Brandon Hamchuk, RA		Telephone: 631-241-7328 E-Mail: BKHarchitect@gmail.com	
Address: 783 Pat Drive			
City/PO: West Islip		State: NY	Zip Code: 11795
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ 0.264 acres b. Total acreage to be physically disturbed? _____ 0.264 acres c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ 0264 acres			NO <input checked="" type="checkbox"/>
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland			

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		NO	YES	N/A
5. Is the proposed action,	a. A permitted use under the zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: State code _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>	

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14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, <ul style="list-style-type: none"> a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
_____ drywells		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor/name: <u>Brandon Hamchuk</u> Date: <u>9-3-24</u>		
Signature: _____ Title: <u>Architect</u>		

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 VILLAGE OF BELLFLORENT

PRINT FORM

Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Swire, Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community

Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	Yes
Part 1 / Question 20 [Remediation Site]	No

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 2021 OCT 18 P 3: 17
 VILLAGE OF BIRMINGHAM

DEPARTMENT OF BUILDINGS

OF THE VILLAGE OF FREEPORT, N.Y.

APPLICATION NO. 70243938
 Filing Date 9/4/24

SEP 4 - 2024

Application for Erection of Buildings or Alterations

IMPORTANT - Applicant to complete all items in sections: I, II, III, IV, V

I. LOCATION OF BUILDING	AT (LOCATION) <u>19 Suffolk Street</u>	(No.)	(Street)	ZONING DISTRICT <u>Marine Commerce</u>
	BETWEEN <u>South Ocean Ave</u>		AND <u>Woodcleft Ave</u>	
		(Cross Street)		(Cross Street)
	SECTION <u>62</u>	BLOCK <u>176</u>	LOT <u>325, 326, 327, 328, 329</u>	APPROX. LOT SIZE <u>100.0' x 115.0'</u> LOT AREA <u>11,500</u>

II. TYPE AND COST OF BUILDING - All applicants complete Parts A - D.

<p>A. TYPE OF IMPROVEMENT</p> <p>1 New building</p> <p>2 <input checked="" type="checkbox"/> Addition-Alteration (If residential, enter number of new housing units added. If non-residential, none) <u>24</u></p> <p>3 Swimming Pool</p> <p>4 Repair (replacement)</p> <p>5 Bulkhead (New, Repair)</p> <p>6 Fence</p> <p>7 Moving (relocation)</p>	<p>B. PROPOSED OR EXISTING USE</p> <table style="width: 100%;"> <tr> <td style="width: 50%; vertical-align: top;"> <p>RESIDENTIAL</p> <p>11 One Family</p> <p>12 Two families</p> <p>13 <input checked="" type="checkbox"/> Apartment - Enter No. of Units <u>24</u></p> <p>14 Transient hotel, motel, or dormitory - Enter No. of Units _____</p> <p>15 Garage or Accessory Structure</p> <p>16 Other - Specify _____</p> </td> <td style="width: 50%; vertical-align: top;"> <p>NON RESIDENTIAL - Complete Part "E"</p> <p>17 Industrial</p> <p>18 Office, bank, professional</p> <p>19 Stores, mercantile</p> <p>20 Church, other religious</p> <p>21 Hospital, institutional</p> <p>22 Other - Specify _____</p> </td> </tr> </table>	<p>RESIDENTIAL</p> <p>11 One Family</p> <p>12 Two families</p> <p>13 <input checked="" type="checkbox"/> Apartment - Enter No. of Units <u>24</u></p> <p>14 Transient hotel, motel, or dormitory - Enter No. of Units _____</p> <p>15 Garage or Accessory Structure</p> <p>16 Other - Specify _____</p>	<p>NON RESIDENTIAL - Complete Part "E"</p> <p>17 Industrial</p> <p>18 Office, bank, professional</p> <p>19 Stores, mercantile</p> <p>20 Church, other religious</p> <p>21 Hospital, institutional</p> <p>22 Other - Specify _____</p>
<p>RESIDENTIAL</p> <p>11 One Family</p> <p>12 Two families</p> <p>13 <input checked="" type="checkbox"/> Apartment - Enter No. of Units <u>24</u></p> <p>14 Transient hotel, motel, or dormitory - Enter No. of Units _____</p> <p>15 Garage or Accessory Structure</p> <p>16 Other - Specify _____</p>	<p>NON RESIDENTIAL - Complete Part "E"</p> <p>17 Industrial</p> <p>18 Office, bank, professional</p> <p>19 Stores, mercantile</p> <p>20 Church, other religious</p> <p>21 Hospital, institutional</p> <p>22 Other - Specify _____</p>		
<p>C. COST</p> <p>10 TOTAL COST OF IMPROVEMENT \$ <u>250,000</u></p>	<p>D. DESCRIPTION OF PROJECT</p> <p><u>Addition, alteration and change of use for 24 unit apartment building</u></p>		

III. IDENTIFICATION - To be completed by all applicants

	NAME	MAILING ADDRESS - Number, street, city and state, Zip	TEL. NO.
1. Owner or Lessee	<u>BGC Properties inc.</u>	<u>19 Suffolk Street - Freeport, NY 11520</u>	<u>516-623-2945</u>
2. Contractor			
3. Architect or Engineer	<u>BKH Architect, pllc</u>	<u>783 Pat Dr. - West Islip, NY 11795</u>	<u>631-241-7328</u>

<p>IV. OWNER - CONTRACTOR STATEMENT</p> <p>Building permit is issued subject to the provisions of Section 57 of the Workmen's Compensation Law.</p> <p>Workmen's Compensation Certificate No. _____ Company _____ Exp. Date _____</p> <p>Contractor or Owner _____ (Print)</p> <p>Address _____</p> <p>Phone _____</p> <p>State of New York</p> <p>County of Nassau</p> <p><u>BGC Properties, Inc.</u> being duly sworn, says that <u>he</u> is the contractor or owner of the above mentioned building. That the items of the above application also the estimated cost of said building or alteration, is correct to the best of <u>his</u> knowledge and belief and agrees to conform to all applicable laws of this jurisdiction.</p> <p style="text-align: center;">(He or Her)</p>	<p>V. FLOOD ZONE</p> <p>IS PROJECT LOCATED WITHIN A DESIGNATED FLOOD HAZARD ZONE? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/></p> <p>IF YES, WHICH ZONE? <u>AE-8</u></p> <p>IS PROJECT TO REPAIR FLOOD DAMAGE? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/></p> <p>PROJECT DESCRIPTION</p> <p>Total/First Floor Square Feet <u>684.0</u></p> <p>Upper Floor Square Feet <u>23,032</u></p>
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SUFFOLK STREET

SURVEY OF
 LOTS 325-329
 MAP OF
 WOODCLEFT BAY ESTATES SEC. No. 1
 FILE NO. 3479 FILED JULY 16, 1925
 SITUATED AT
 INC. VILLAGE OF FREEPORT
 TOWN OF HEMPSTEAD
 NASSAU COUNTY, NEW YORK
 N.C. TAX No. SECTION 62 BLOCK 176 LOTS 325-329

SCALE 1"=20'
 JUNE 4, 2017
 SEPTEMBER 13, 2024 ADD ELEVATIONS

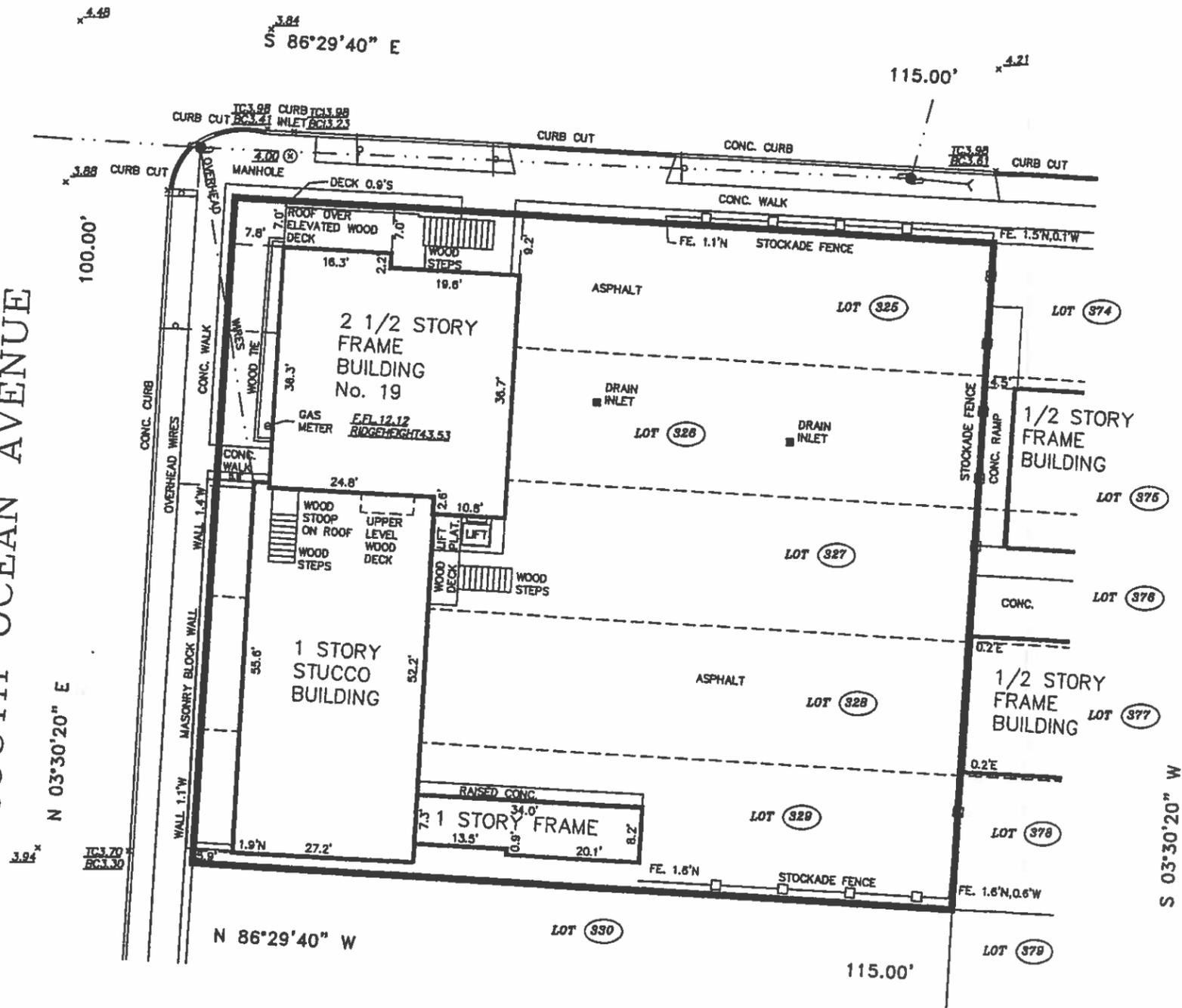
AREA = 11,500 sq. ft.
 0.264 ac.

SOUTH OCEAN AVENUE



RECEIVED

2024 OCT 18 P 3:17
 CLERK'S OFFICE
 VILLAGE OF FREEPORT, NY



NOTE: LOCATIONS AND EXISTENCE OF ANY
 SUBSURFACE UTILITIES AND/OR STRUCTURES
 NOT READILY VISIBLE, ARE NOT CERTIFIED.

NOTES:

1. ELEVATIONS ARE REFERENCED TO N.A.V.D. 1988 DATUM
 EXISTING ELEVATIONS ARE SHOWN THUS: x.000

METES AND BOUNDS SURVEYING		THIS SURVEY IS SUBJECT TO ANY EASEMENT OF RECORD AND ANY OTHER PERTINENT FACTS WHICH A TITLE SEARCH MIGHT DISCLOSE. *UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF ARTICLE 134, SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW. *Copies from the original of this survey map not marked with an original of the land surveyor's inked seal or his embossed seal shall not be considered a valid true copy. Certification indicated hereon signify that this survey was prepared in accordance with the existing Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors. Said certifications shall run only to the person for whom the survey is prepared, and on his behalf to the title company, governmental agency and lending institution. Certifications are not transferable to additional institutions or subsequent owners.*
53 PROBST DRIVE SHIRLEY, NY 11967 PHONE (516) 972-5812		
LOT: 325-329 BLOCK: 176 SECTION: 62		
MAP OF: WOODCLEFT BAY ESTATES SEC. No. 1 FILE No. 644		
SITUATED AT: INC. VILLAGE OF FREEPORT NASSAU COUNTY, NEW YORK		
CERTIFIED TO	FIDELITY NATIONAL TITLE INSURANCE COMPANY	
	EAST COAST ABSTRACT, INC.	
	OCEAN FINANCIAL FEDERAL CREDIT UNION BGC PROPERTIES INC.	
JOB NO.: 17-193B DATE: SEPTEMBER 13, 2024		



STORY DIAGRAM
SCALE: 1/8" = 1'-0"

ZONING INFORMATION

M SUFFOLK STREET - FREEPORT, NY 11520
 SEC. 62 BLK. 116 LOT. 325,326,327,328,329 ZONE: MARINE COMMERCE FEMA: AE-0

LOT SIZE = 100.0' X 15.0' = 1,500.0 SQ. FT. ~ 0.264 ACRE

210-49B MAX LOT COVERAGE = 40% X 1,500.0 = 4,600.0 SQ. FT.
 ACTUAL LOT COVERAGE = 7,301.12 > 4,600

210-49C OPEN SPACE = 2251.06 / 2 = 1,255.53 SQ. FT.
 ACTUAL O.S. = 4,118.28 < 1,255.53

210-49D REG. SPACE = 1/8" = 16.7' X 2251.06 = 3,754.35 SQ. FT.
 ACTUAL GROUND LEVEL R.S. = 0' < 3,754.35
 ROOF TOP R.S. = 2,000' < 3,754.35

210-40 LOT AREA / DENSITY = 990 PER DU
 = 1,500 / 990 = 1.11 DU
 = 1,500 / 24 = 47.917 SQ. FT.
 ACTUAL L.A. / DENSITY = 24 DU / 11 DU

SECTION	ITEM	REQUIRED	EXISTING	PROPOSED
210-49B	LOT COVERAGE	40% - 4,600	21.7% - 3,185.54	62.3% - 7,301.12
210-40	LOT AREA	15,000	11,500	NO CHANGE
210-50	MIN. F.A.	600 SF	814 SF	624 SF
210-46	DENSITY	990 - 11 DU	5,150 - 2 DU	47.917 - 24 DU
210-49C	OPEN SPACE	1,155.5	8,344.41	4,118.28
210-49D	REG. SPACE	3,754.35	0	2,000 ROOF DECK
210-51A	FRONT YARD	25'	5.8' & 1.0' & 0.9'	5.0' & 1.82' & 0.9'
210-51B	SIDE YARD	20'	11.3'	10.0'
210-51C	REAR YARD	20'	1.1'	5.0'
210-241	BUFFER	20'	5.8'	20.0' & 1.82'
210-41	HEIGHT	32' - 25 STY	36'-6" - 3 STY	42'-8" - 4 STY
210-T2A2	PARKING	36 SPACES	14 SPACES	31 SPACES

PARKING 210-T2A2A

REQUIREMENTS

BOYS ACCESSIBLE = 26 TO 50 + 2 SPACES REG'D

ONE BEDROOM = 15 SPACES
 TWO BEDROOM OR MORE = 2 SPACES

ACTUAL

ONE BEDROOMS = 24

24 X 15 = 36 SPACES

PROVIDED = 31 SPACES TOTAL
 ACCESSIBLE = 2 SPACES

ESTABLISHED GRADE

SUFFOLK STREET = 4.2' + 3.84' + 8.05'
 SOUTH OCEAN AVE = 3.94' + 3.68' + 1.82'
 INTERSECTING CORN = 4.48'

AVG STREET CROWN = 20.35' / 5 = 4.07'

FLOOD ZONE = ELEV 10.0'

ADJUSTED GRADE = 10.0' + 4.07' + 1.07' / 2 = 10.4'

BUILDING INFORMATION

2020 BUILDING CODE OF NYC
 NEW CONSTRUCTION

OCCUPANCY CLASS = R-2
 CONSTRUCTION CLASS = 5A

PER SECTION 910.4 STORY COUNTS AT SECOND FLOOR

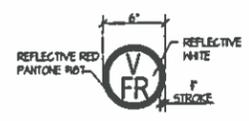
TABLE 601 CONSTRUCTION CLASS = 5A

STRUCTURAL FRAME = 1 HOUR
 BEARING WALL EXTERIOR = 1 HOUR
 BEARING WALL INTERIOR = 1 HOUR
 NON BEARING WALL = 0 HOUR
 FLOOR CONSTRUCTION = 1 HOUR
 ROOF CONSTRUCTION = 1 HOUR

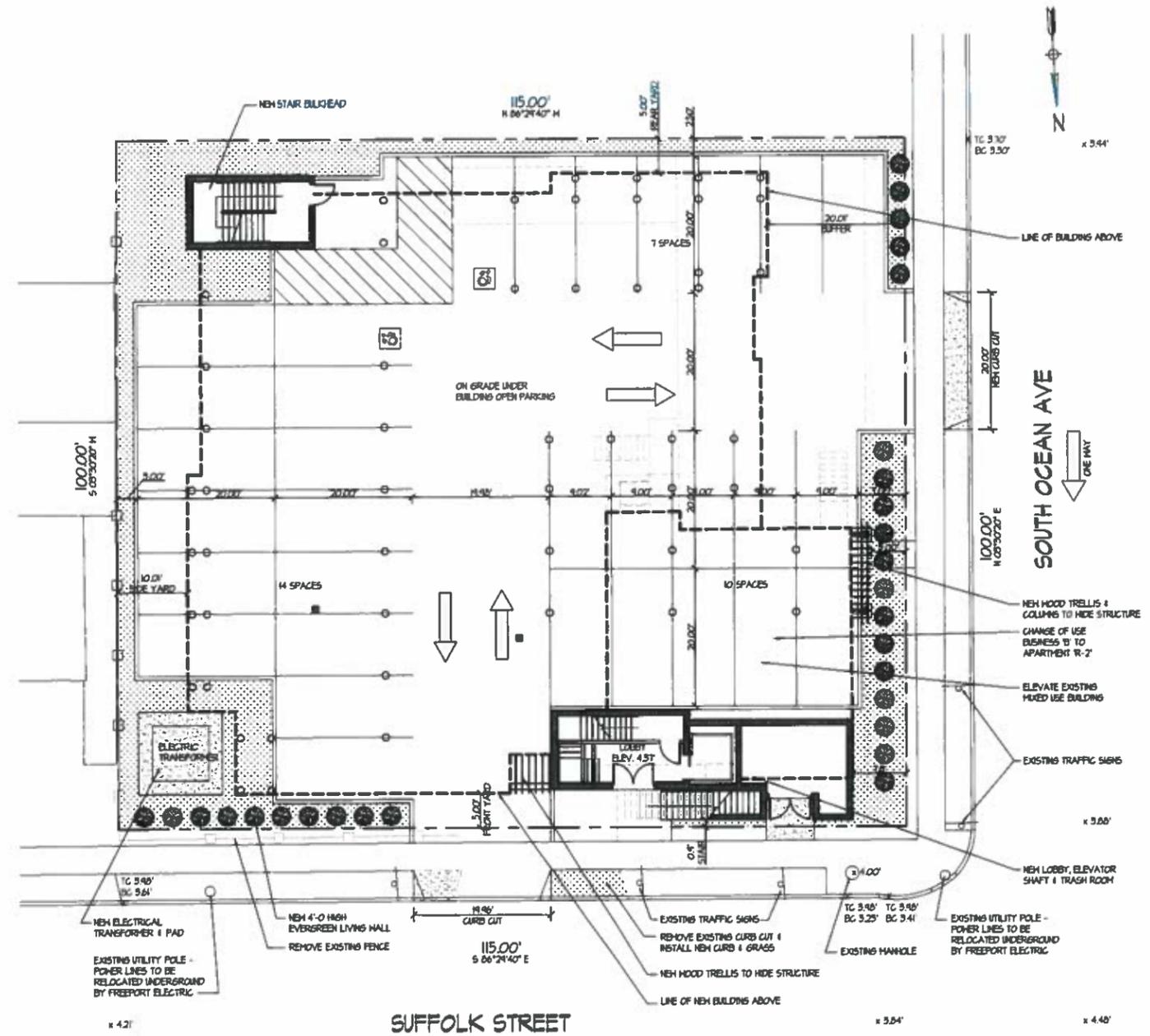
ALL WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH:

- 2020 NEW YORK STATE BUILDING CODE
- 2020 NEW YORK STATE EXISTING BUILDING CODE
- 2020 NEW YORK STATE PLUMBING CODE
- 2020 NEW YORK STATE MECHANICAL CODE
- 2020 NEW YORK STATE FUEL GAS CODE
- 2020 NEW YORK STATE FIRE CODE
- 2020 NEW YORK STATE PROPERTY MAINTENANCE CODE
- 2020 NEW YORK STATE ENERGY CONSERVATION CODE
- 2011 ANSI ADA ICC ACCESSIBILITY

TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE, USING CHAPTER 4



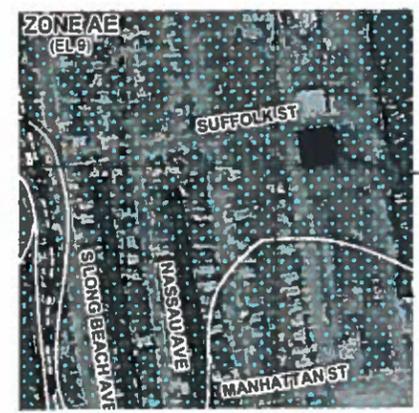
PROVIDE DECAL AND ATTACH TO STRUCTURE PER VILLAGE REQUIREMENTS



PLOT PLAN

SCALE: 1" = 10'-0"

ALL INFORMATION BASED UPON SURVEY PREPARED BY METES AND BOUNDS SURVEYING, DATED 6-4-2017. THE CONTRACTOR SHALL BE RESPONSIBLE TO RETAIN A LICENSED LAND SURVEYOR TO CHECK & VERIFY ALL LINES, BOUNDARIES, SETBACKS & ELEVATIONS & DIMENSIONS PRIOR TO EXCAVATION. REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.



FIRM MAP

FIRM MAP # 3605AC02396
 FEMA: AE-0 - 4' FREEBOARD

revision	date	description
1	9-15-24	ISSUED TO DOB FOR DENIAL
2	9-3-24	ISSUED TO DOB FOR DENIAL

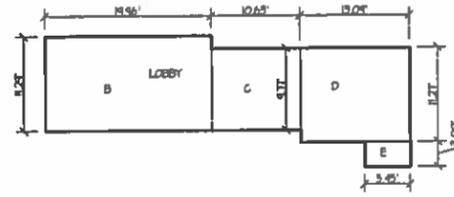
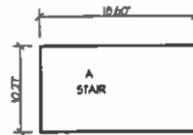
ADDITION & ALTERATION
 FOR
BGC PROPERTIES, INC.
 14 SUFFOLK AVE - FREEPORT, NY 11520

BKH ARCHITECT P.C.
 783 PAT DRIVE - WEST ISLIP, NY 11745
 631-241-7328 bkharchitect@gmail.com

drawn by: bkh
 sheets in set: 9

checked by: bkh
 date: 7-19-2023

file: A-1
 date: 24-01



AREA TAKE OFF

SCALE: 1" = 10'-0"

- A = 10.27' X 10.67' = 109.02 SQ. FT.
- B = 11.27' X 14.96' = 168.55 SQ. FT.
- C = 10.65' X 4.77' = 50.60 SQ. FT.
- D = 13.01' X 11.27' = 146.68 SQ. FT.
- E = 5.07' X 5.45' = 27.53 SQ. FT.

LOWER LEVEL AREA = 684.1 SQ. FT.

- F = 10.27' X 1.71' = 17.46 SQ. FT.
- G = 16.4' X 14.83' = 242.23 SQ. FT.
- H = 34.44' X 12.28' = 422.23 SQ. FT.
- I = 31.66' X 15.15' = 479.02 SQ. FT.
- J = 80.99' X 12.06' = 976.74 SQ. FT.
- K = 81.99' X 24.6' = 2016.95 SQ. FT.
- L = 45.11' X 26.21' = 1183.45 SQ. FT.
- M = 34.35' X 2.07' = 71.11 SQ. FT.
- N = 12.07' X 40.07' = 483.95 SQ. FT.
- O = 6.42' X 6.34' = 40.71 SQ. FT.
- P = 11.42' X 21.51' = 245.66 SQ. FT.
- Q = 16.35' X 10.07' = 164.55 SQ. FT.
- RI = 13.72' X 6.06' = 83.14 SQ. FT.
- RII = 1.81' X 2.82' = 5.10 SQ. FT.

FIRST FLOOR AREA = 1581.12 SQ. FT.

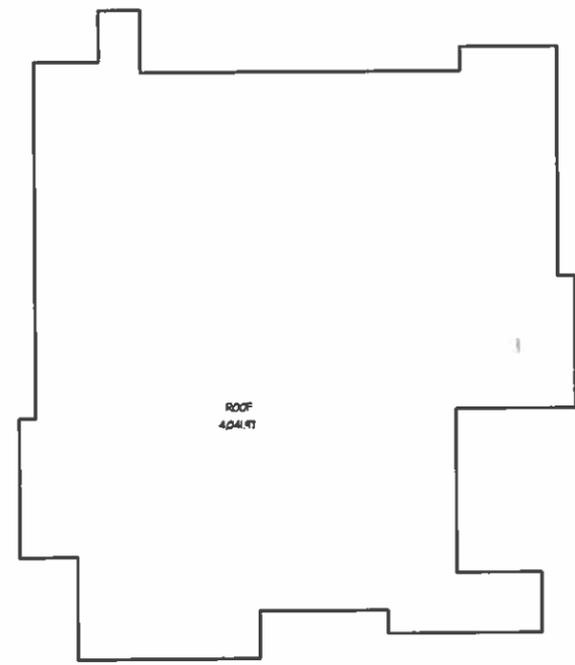
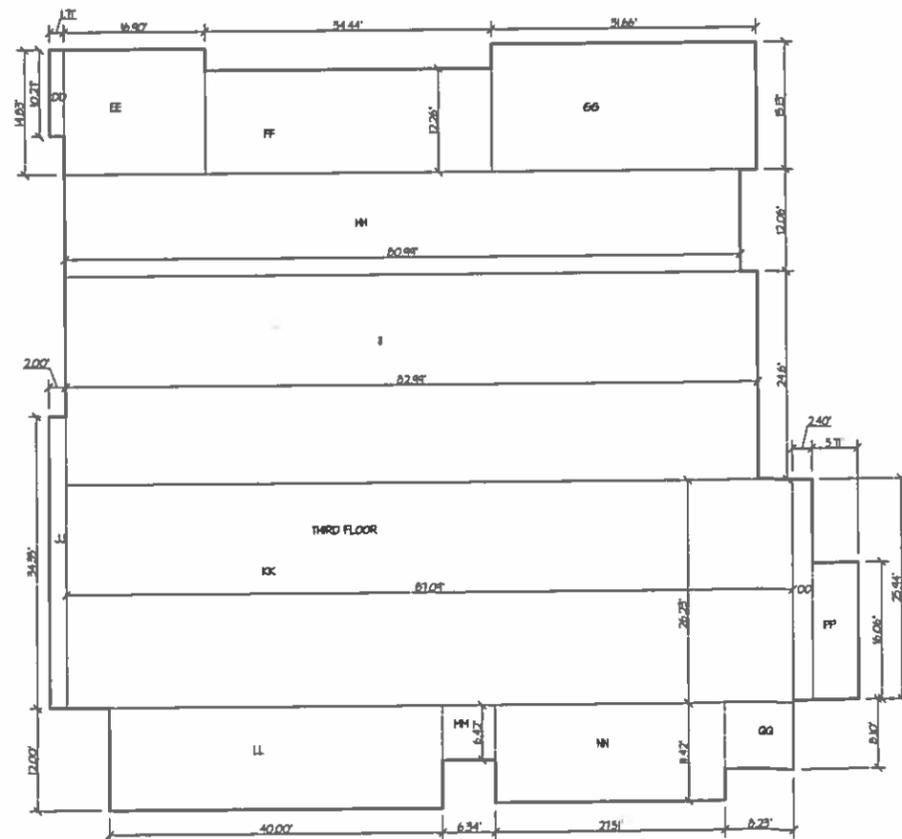
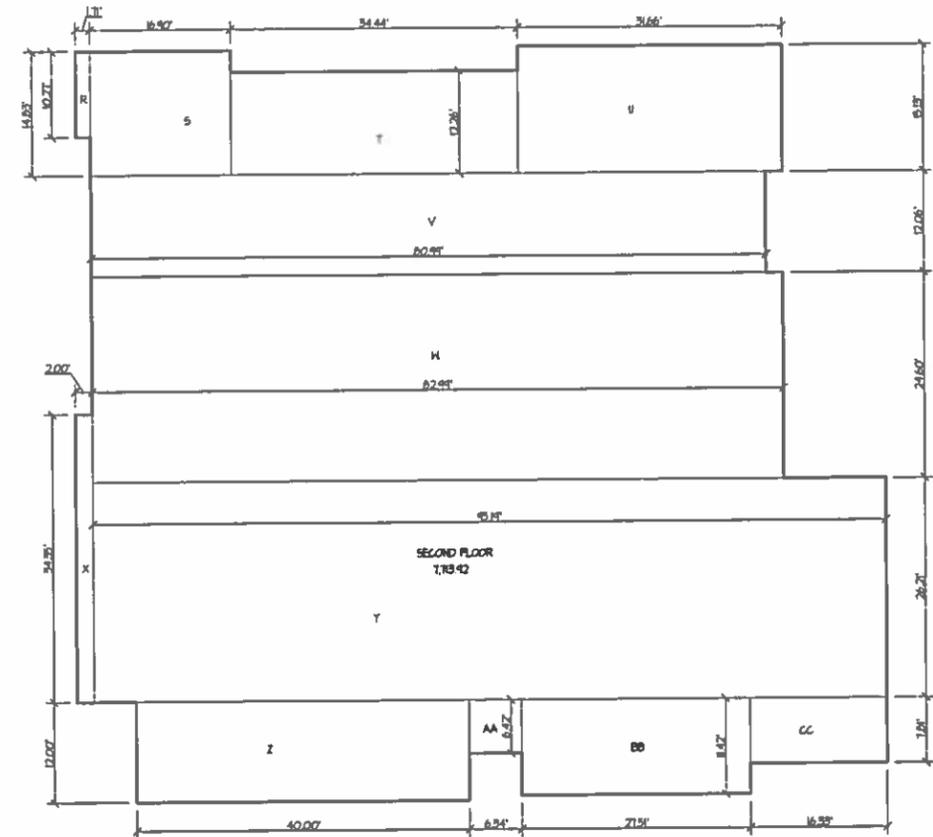
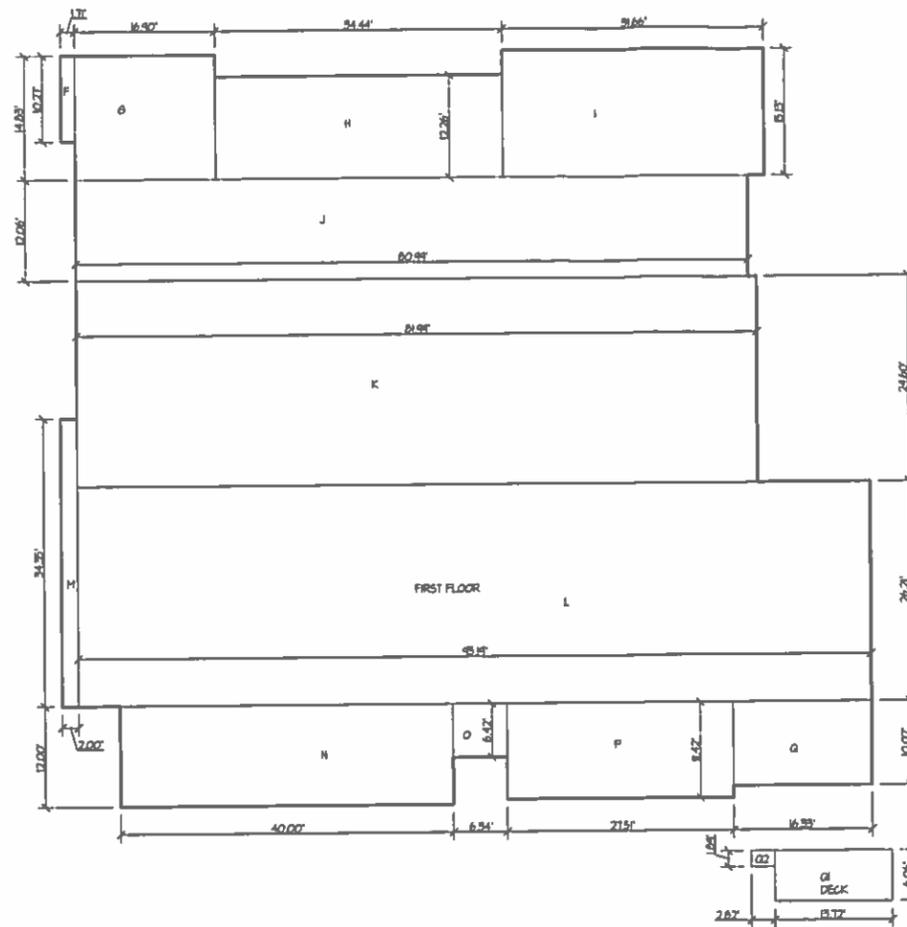
- R = 10.27' X 1.71' = 17.46 SQ. FT.
- S = 16.4' X 14.83' = 242.23 SQ. FT.
- T = 34.44' X 12.28' = 422.23 SQ. FT.
- U = 31.66' X 15.15' = 479.02 SQ. FT.
- V = 80.99' X 12.06' = 976.74 SQ. FT.
- W = 81.99' X 24.6' = 2016.95 SQ. FT.
- X = 34.35' X 2.07' = 71.11 SQ. FT.
- Y = 45.11' X 26.21' = 1183.45 SQ. FT.
- Z = 12.07' X 40.07' = 483.95 SQ. FT.
- AA = 6.42' X 6.34' = 40.71 SQ. FT.
- BB = 11.42' X 21.51' = 245.66 SQ. FT.
- CC = 16.35' X 10.07' = 164.55 SQ. FT.

SECOND FLOOR AREA = 1281.36 SQ. FT.

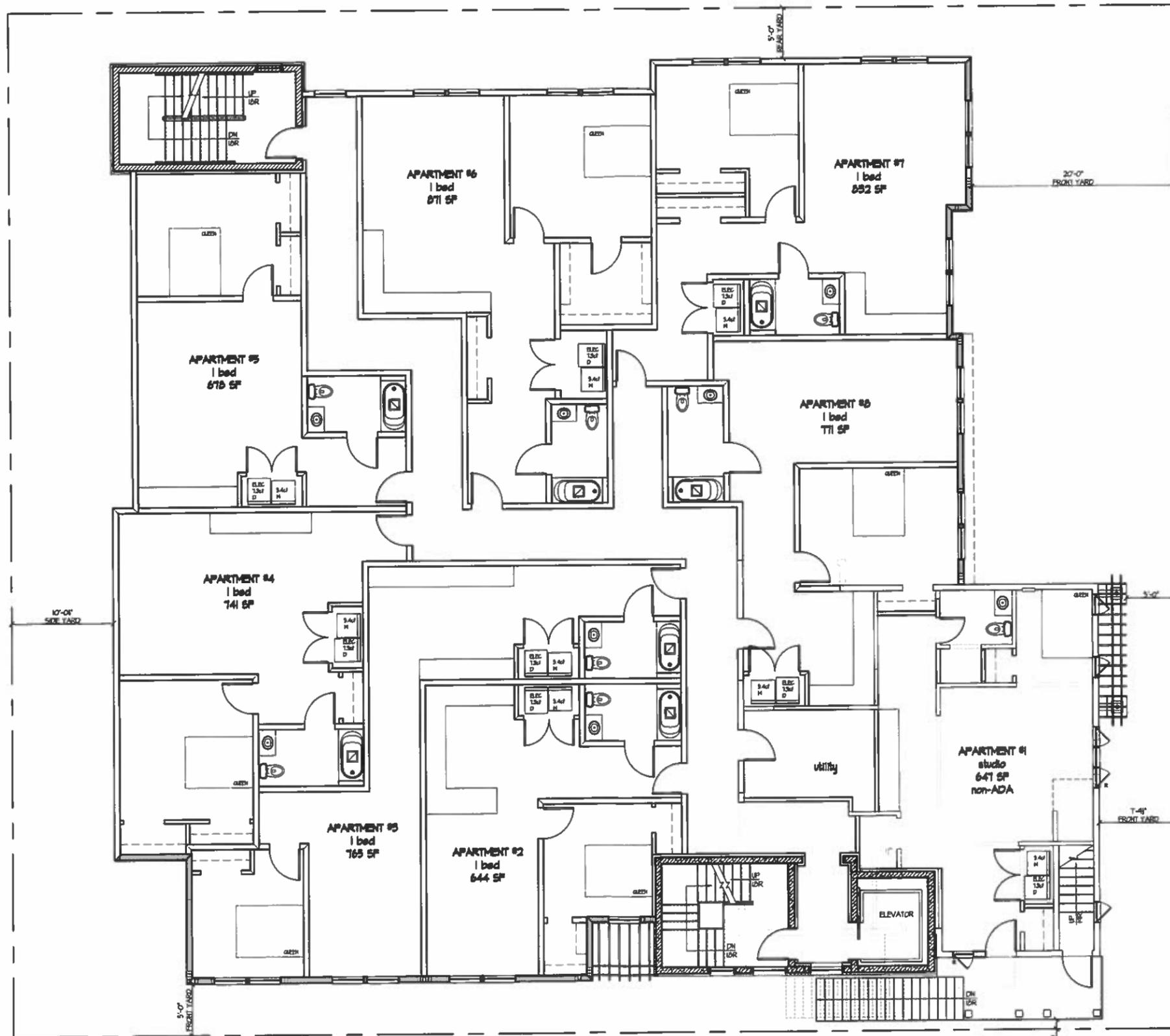
- DD = 10.27' X 1.71' = 17.46 SQ. FT.
- EE = 16.4' X 14.83' = 242.23 SQ. FT.
- FF = 34.44' X 12.28' = 422.23 SQ. FT.
- GG = 31.66' X 15.15' = 479.02 SQ. FT.
- HH = 80.99' X 12.06' = 976.74 SQ. FT.
- II = 81.99' X 24.6' = 2016.95 SQ. FT.
- JJ = 34.35' X 2.07' = 71.11 SQ. FT.
- KK = 45.11' X 26.21' = 1183.45 SQ. FT.
- LL = 12.07' X 40.07' = 483.95 SQ. FT.
- MM = 6.42' X 6.34' = 40.71 SQ. FT.
- NN = 11.42' X 21.51' = 245.66 SQ. FT.
- OO = 2.4' X 25.44' = 60.66 SQ. FT.
- PP = 3.71' X 16.06' = 59.56 SQ. FT.
- QQ = 8.25' X 8.1' = 66.83 SQ. FT.

THIRD FLOOR AREA = 1163.88 SQ. FT.

TOTAL FLOOR AREA = 684.1 + 1581.12 + 1281.36 + 1163.88 = 2250.26 SQ. FT.



9-18-24	ISSUED TO DOB FOR DENIAL	
9-3-24	ISSUED TO DOB FOR DENIAL	
revision	date	description
ADDITION & ALTERATION FOR BGC PROPERTIES, INC. 14 SUFFOLK AVE - FREEPORT, NY 11520		
BKH ARCHITECT pllc 183 pat drive - west islip, ny 11745 631-241-1328 bkharchitect@gmail.com		
drawn by	bkh	sheets in set
checked by	bkh	9
date	7-19-2023	A-2
file	24-01	



FIRST FLOOR
SCALE: 3/16" = 1'-0"

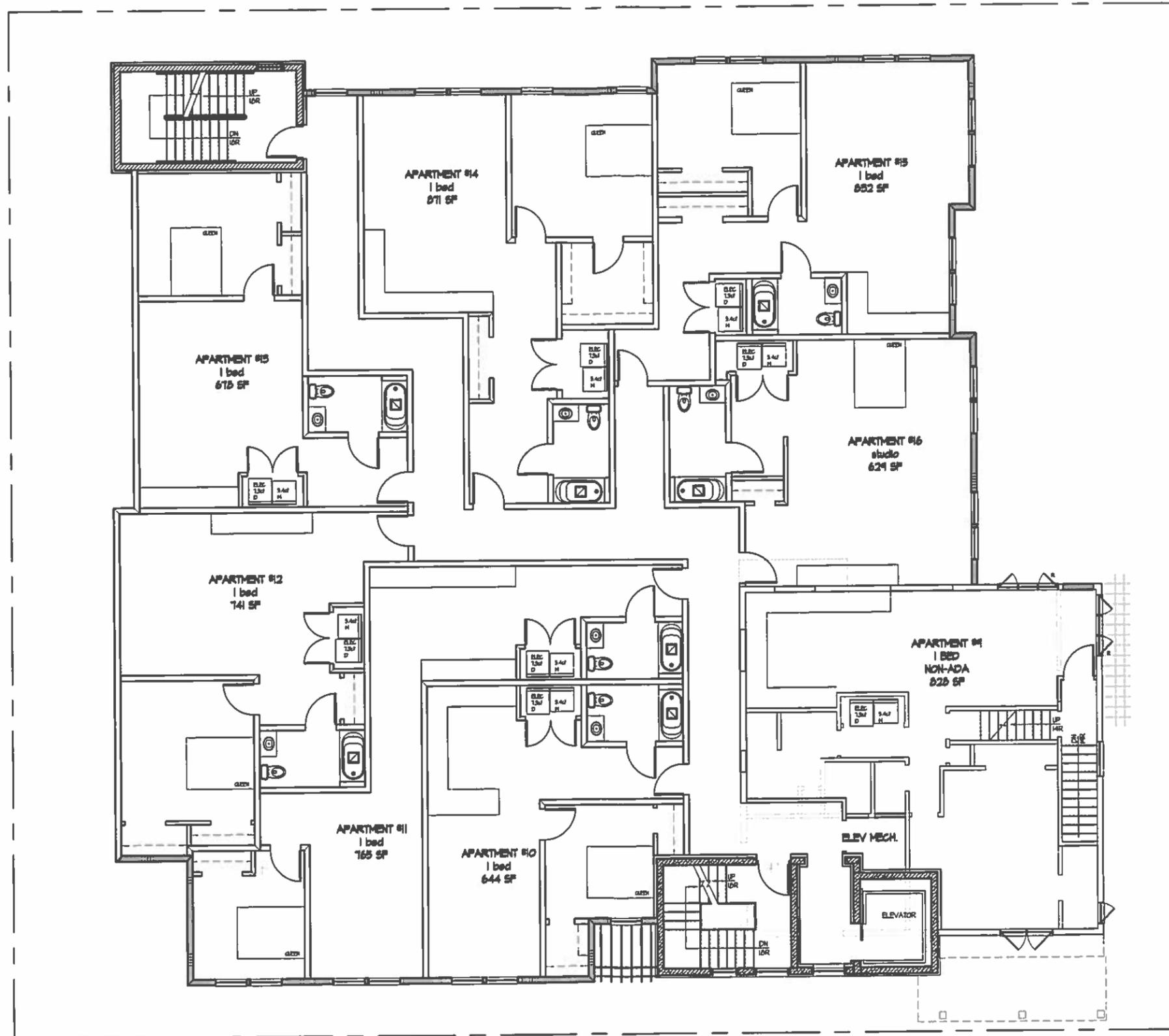
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9-3-24	ISSUED TO DOB FOR DENIAL
revision	date description

ADDITION & ALTERATION
FOR
BGC PROPERTIES, INC.
14 SUFFOLK AVE - FREEPORT, NY 11520

BKH ARCHITECT pllc
183 pat drive - west Islip, ny 11795
631-241-1328 bkharchitect@gmail.com

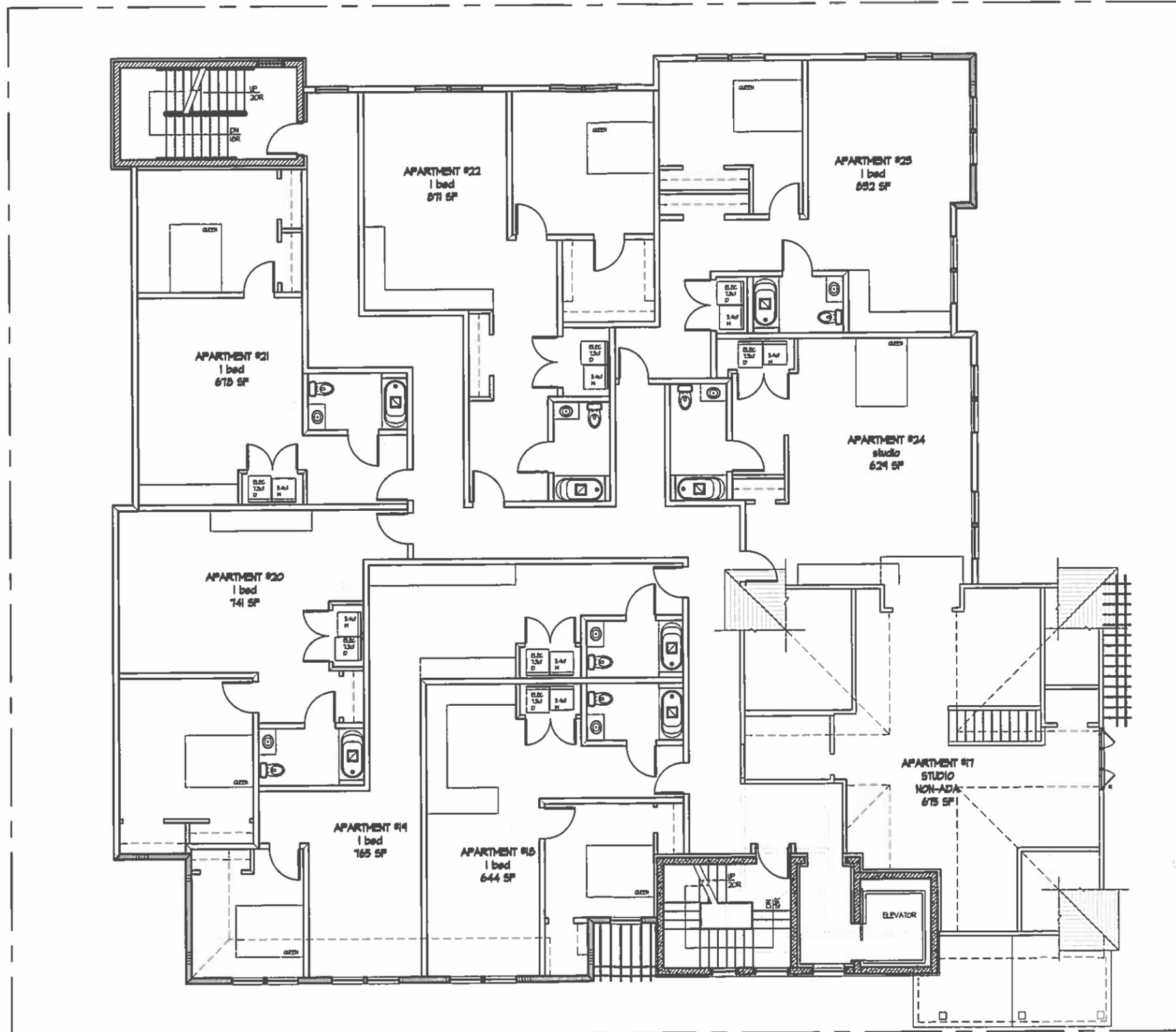
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checked by bkh	
date 1-19-2023	A-4
file 24-01	





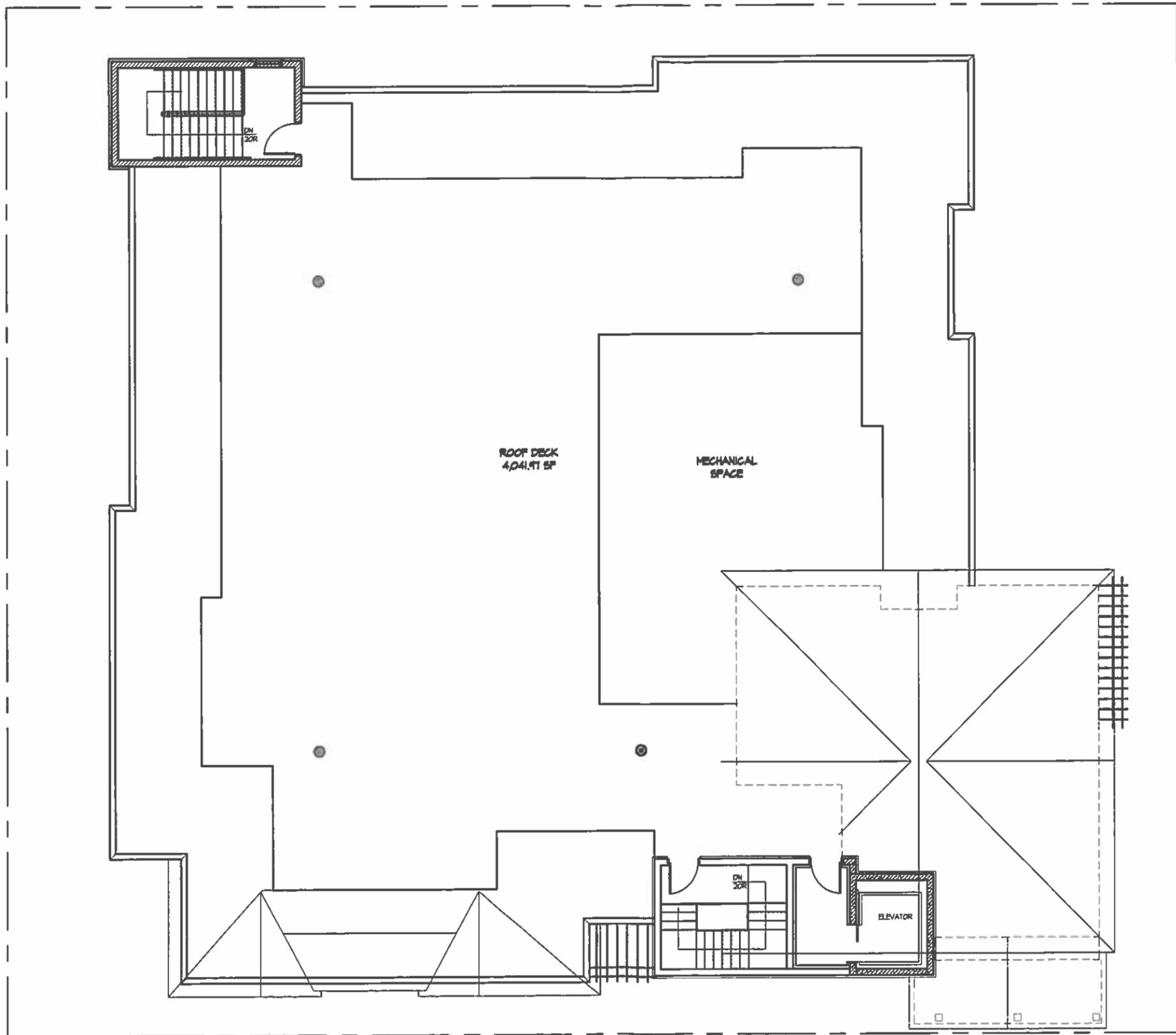
SECOND FLOOR
SCALE: 3/8" = 1'-0"

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9-3-24	ISSUED TO DOB FOR DENIAL	
revision	date	description
ADDITION & ALTERATION FOR BGC PROPERTIES, INC. 14 SUFFOLK AVE - FREEPORT, NY 11520		
BKH ARCHITECT pllc 103 pat drive - west Islip, ny 11795 631-241-1320 bkharchitect@gmail.com		
drawn by:	bkh	sheet # in set:
checked by:	bkh	9
date:	7-19-2023	A-5
file:	24-01	



THIRD FLOOR
SCALE: 3/16" = 1'-0"

revision	date	description
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	9-3-24	ISSUED TO DOB FOR DENIAL
ADDITION & ALTERATION FOR BGC PROPERTIES, INC. 14 SUFFOLK AVE - FREEPORT, NY 11520		
BKH ARCHITECT <i>llc</i> 783 pat drive - west Islip, ny 11745 631-241-1328 bkharchitect@gmail.com		
	drawn by	sheet # of
	checked by	9
	date	7-19-2023
	file	24-01
		A-6



ROOF
SCALE 3/8" = 1'-0"

revision	date	description
	9-18-24	ISSUED TO DOB FOR DENIAL
	9-3-24	ISSUED TO DOB FOR DENIAL
ADDITION & ALTERATION FOR BGC PROPERTIES, INC. 14 SUFFOLK AVE - FREEPORT, NY 11520		
BKH ARCHITECT PLLC 183 pat drive - west Islip, ny 11795 631-241-7326 bkharhitect@gmail.com		
	drawn by: bkh checked by: bkh date: 7-19-2023 file: 24-01	sheets in set: 9 A-7



FRONT ELEVATION (NORTH)
 SUFFOLK STREET
 SCALE 1/4" = 1'-0"

revision	date	description
	4-15-24	ISSUED TO DOB FOR DENIAL
	4-3-24	ISSUED TO DOB FOR DENIAL
ADDITION & ALTERATION FOR BGC PROPERTIES, INC. 14 SUFFOLK AVE - FREEPORT, NY 11520		
BKH ARCHITECT P.C. 783 pat drive - west Islip, ny 11745 631-241-7328 bkharchitect@gmail.com		
	drawn by	sheets in set
	checked by	9
	date	1-19-2023
	file	24-01
		A-8



FRONT ELEVATION (WEST)
 SOUTH OCEAN AVE
 SCALE: 1/4" = 1'-0"

revision:	date:	description:
	9-16-24	ISSUED TO DOB FOR DENIAL
	9-3-24	ISSUED TO DOB FOR DENIAL
ADDITION & ALTERATION FOR BGC PROPERTIES, INC. 19 SUFFOLK AVE - FREEPORT, NY 11520		
BKH ARCHITECT P.L.L.C. 783 pat drive - west hsp, ny 11745 631-241-1326 bkharctec@gmail.com		
	drawn by:	sheet# in set:
	checked by:	
	date:	A-9
	file:	



REAR ELEVATION (SOUTH)
SCALE: 1/4" = 1'-0"

revision	date	description
	9-16-24	ISSUED TO DOB FOR DENIAL
	9-3-24	ISSUED TO DOB FOR DENIAL

ADDITION & ALTERATION
FOR
BGC PROPERTIES, INC.
14 SUFFOLK AVE - FREEPORT, NY 11520

BKH
ARCHITECT P.C.
183 pat drive west lp, ny 1795
631-241-7325 bkharchitect@gmail.com

	drawn by bkh checked by bkh date 7-19-2023 file 24-01	sheets in set 9 A-10
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