



SEC. 55 BLK. 21 LOT. 20

BOARD OF APPEALS OF THE VILLAGE OF FREEPORT

In the Matter
Of
the Application of

To The Board of Appeals of the Village of Freeport, New York

2025-9
Index No.

COMPLY WITH
ORIGINAL NOTES

The application of MARCELO KOHAN, RA
respectfully states and alleges: 516-378-2178

Strike out
inapplicable
phrase

1. That the applicant (resides at) (has its principal office for the conducting of its business at)

2963 HOLIDAY PARK DR., MERRICK, NY. 11566

State whether
applicant is owner,
lessee, or has option
or contract. If other
than owner, state
briefly terms of
agreement.

2. That the premises affected by this application is located at Land Map of Nassau County

29 W SUNRISE HWY, FREEPORT, NY Sec. 55 Blk. 21 Lot(s) 20
and that the interest which the applicant has in the property concerned is that of ARCHITECT

3. That (the applicant) (the applicant's duly authorized MARCELO KOHAN, RA) on or about the 14 day of JULY 2025, filed in the office of the Department of Buildings of the Village of Freeport, New York, an application for a Building Permit. Documents filed with said application were as follows:

Obtain reason for
denial from
Department of
Buildings.

4. That on or about the 2 day of JULY, 2025, the Department of Buildings denied said application; upon information and belief that the reason for said denial was as follows:

REQUIRED PARKING SPACES

Describe by
construction and
number of stories. If
none, so state.

5. That the nature of the improvements now upon said premises is as follows:

INTERIOR BUILD-OUT FOR MEDICAL OFFICE

State nature of use of
property. If a
business, give brief
description.

6. That said premises are now being used as follows: EMPTY

Describe fully and
clearly the use
desired.

7. That the applicant seeks authority to make use of said premises as follows:

CONVERSION FROM RETAIL TO MEDICAL OFFICE

Strike out whichever
word is not
applicable. Follow
language in
ordinance.

8. Upon information and belief that a (~~variance~~) (variance) for such use may be granted by this Board by virtue of the following sections of the said Zoning Code of The Village of Freeport or statutes of the State of New York § 22-64

Village Code 210-6-A, COMPTONITY REQUIRED
" " 210-172, PARKING SPACES.

Refer where possible
to paragraphs and
section by numbers.

9. That the following is a statement of other factual information deemed pertinent by the applicant. If the application involves a subdivision of property, describe the existing property:

N.A.

If more space is needed annex statement on separate sheet and refer to it here with following words: "See annexed statement which is made a part hereof." Save opinions for the hearing.

If non-conforming use is claimed, set forth uses made of premises and dates thereof in chronological order.

If this verification is made by an officer of a corporation or an Association or by a legal representative of an estate, his name and office should be designated on the first line.

10. That the grounds for this application are as follows: BUILDING IS LOCATED ON "BUSINESS" ZONE. THERE IS (WAS) NEVER PARKING AVAILABLE ON THE EXISTING LOT

11. That any deed restrictions running with the land prohibiting the desired use are as follows: N.A.

12. That (the applicant has made no previous application to this Board for the authority sought herein) (upon information and belief a previous application was made for the same or similar authority sought herein and denied by this Board, but that this application contains facts not alleged or shown in any previous preceding before this Board).

WHEREFORE, the applicant respectfully prays that the authority sought herein be granted.

Dated: 7/14, 20 25.

BY: _____
ITS: _____

State of New York)
County of Nassau) ss:

The applicant MARCELO KOHAN named in the foregoing application, being duly sworn, depose and say that I read the foregoing application subscribed by ME and know the contents thereof; and that the same is true to MY own knowledge except as to the matters therein stated to be alleged on information and belief, and that as to those matters I believe IT to be true.

MESHESSNA C LITTLE
OTARY PUBLIC-STATE OF NEW YORK
No. 01LI6066956
Qualified in Nassau County of July, 20 25.
My Commission Expires 11-26-2025
Notary Public Mesheenna C. Little

Signature of Applicant

Notice
Conflict of Interest

I have read Section 809 of the General Municipal Law concerning disclosure of and conflict of interest and hereby certify that there are no conflicts in respect to this application requiring disclosure.

7/23/, 20 25
Date Year
Signature

Affidavit of Owner

To be completed only if the owner is not the applicant.

State of New York)
County of Nassau) ss:

I Samuel Theogene being duly sworn, depose and say:
That he/she (the owner of _____) (is the _____ of 29 W SUNRISE HWY, the property concerned is correct to the best of the knowledge of deponent _____.)

That the owner SAMUEL THEOGENE consents to the granting of the authority sought in the above application.

Sworn to before me this 22 day
of July, 20 25.
Signature

Notary Public





INC. VILLAGE OF FREEPORT

Department of Buildings
46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

ROBERT T. KENNEDY
MAYOR

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

SERGIO A MAURAS
SUPERINTENDENT OF BUILDINGS

LETTER OF DENIAL
July 2, 2025

Samuel Theagene
29 West Sunrise Hwy
Freeport, NY 11520

RE: 29 West Sunrise Hwy, Freeport, NY 11520
Zoning District – Business B Sec. 55 Blk. 21, Lot 20
Building Permit Application #20254270
Description: Change of use to medical office.

Dear Sir/Madam

Please be advised that the above captioned Building Permit Application must be denied for the following reason(s):

Village Ordinance §210-6A. Conformity Required. No building or land shall hereafter be used or occupied and no building or part thereof shall be erected, moved or altered unless in conformity with the regulations herein specified for the district in which it is located.

Village Ordinance §210-172. Required parking spaces.

A. The following number of parking spaces shall be provided and satisfactorily maintained for each building, lot or combination thereof which is hereafter lawfully erected, enlarged, altered, maintained and/or used for any of the following purposes:

(12) All nonresidential buildings in any zoning district except as otherwise required in this section: at least one parking space for each 400 square feet of the floor area of the building or structure plus parking space for two cars for each individual store, shop or business in the building or structure. According to the plans the floor area is 2,075 SF and no parking spaces were provided and you will be seeking a variance of 6 parking spaces.

Please be further advised that if you intend to appeal this decision you must file a Zoning Board of Appeals application within sixty (60) days of the date of this letter. For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the **Village Clerk's Office at 516-377-2202** to make an appointment to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's office. **Only after this initial appointment should the additional copies be made.**

In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Zoning Board of Appeals Application only, please call the VILLAGE CLERK'S OFFICE at 377-2202.

Very truly yours,

A handwritten signature in black ink, appearing to read "S. Maura".

Sergio A. Maura
Superintendent of Buildings
Daniela Hernandez, Plans Examiner
cc: Village Clerk

SITE PLAN APPROVAL NEEDED: NO

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

X **Negative Declaration**

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

_____ The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project:

_____ **Building Permit App. 20254270**

Location: 29 West Sunrise Hwy , Freeport NY 11520

Applicant: Samuel Theagene

Description: Change of use to medical office.

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) _____

B) Possible environment effects identified:
(only if positive determination)

Dated: July 2, 2025

Sergio A. Mauras

Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

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617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Samuel Theagene			
Name of Action or Project: 29 W Sunrise Hwy			
Project Location (describe, and attach a location map): 29 W Sunrise Hwy			
Brief Description of Proposed Action: INTERIOR RENOVATIONS FOR THE CONVERSION FROM RETAIL SPACE TO A MEDICAL OFFICE			
Name of Applicant or Sponsor: MARCELO KOHAN		Telephone: 516-378-2178	
		E-Mail: MAK@DELARGENTDESIGN.COM	
Address: 2963 HOLIDAY PARK DR			
City/PO: MERRICK		State: NY	Zip Code: 11566
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?			NO
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			YES
2. Does the proposed action require a permit, approval or funding from any other governmental Agency?			NO
If Yes, list agency(s) name and permit or approval:			YES
3.a. Total acreage of the site of the proposed action?			0.05 acres
b. Total acreage to be physically disturbed?			_____ acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?			_____ acres
4. Check all land uses that occur on, adjoining and near the proposed action.			
☐ Urban ☐ Rural (non-agriculture) ☐ Industrial ☒ Commercial ☐ Residential (suburban)			

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5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
	☐	☒	☐
b. Consistent with the adopted comprehensive plan?		☒	☐
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?		NO	YES
	☒	☐	☐
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____		NO	YES
	☒	☐	☐
8. a. Will the proposed action result in a substantial increase in traffic above present levels?		NO	YES
	☒	☐	☐
b. Are public transportation service(s) available at or near the site of the proposed action?		☐	☒
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?		☒	☐
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____		NO	YES
	☒	☐	☐
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? ☐ NO ☐ YES] If No, describe method for providing potable water: _____		NO	YES
	☒	☐	☐
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? ☐ NO ☐ YES] If No, describe method for providing wastewater treatment: _____		NO	YES
	☒	☐	☐
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?		NO	YES
	☒	☐	☐
b. Is the proposed action located in an archeological sensitive area?		☒	☐
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?		NO	YES
	☒	☐	☐
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____		☒	☐
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: ☐ Shoreline ☐ Forest ☐ Agricultural/grasslands ☐ Early mid-successional ☐ Wetland ☐ Urban ☐ Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?		NO	YES
	☒	☐	☐
16. Is the project site located in the 100 year flood plain?		NO	YES
	☐	☐	☒
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? ☐ NO ☐ YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? ☐ NO ☐ YES		NO	YES
	☒	☐	☐

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18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO ☒	YES ☐
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO ☒	YES ☐
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO ☒	YES ☐
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor name: <u>MARCELO KOHAN</u> Date: <u>06/18/2025</u> Signature: _____		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	☒	☐
2. Will the proposed action result in a change in the use or intensity of use of land?	☒	☐
3. Will the proposed action impair the character or quality of the existing community?	☒	☐
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	☒	☐
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	☒	☐
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	☒	☐
7. Will the proposed action impact existing:		
a. public / private water supplies?	☒	☐
b. public / private wastewater treatment utilities?	☒	☐
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	☒	☐

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	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	☒	☐
11. Will the proposed action create a hazard to environmental resources or human health?	☒	☐

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

☐	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
☐	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
Name of Lead Agency Date	
Print or Type Name of Responsible Officer in Lead Agency Title of Responsible Officer	

JUN 23 2025

DEPARTMENT OF BUILDINGS

OF THE VILLAGE OF FREEPORT, N.Y.

APPLICATION NO.

2025670

Filing Date

6/26/25

Application for Erection of Buildings or Alterations

IMPORTANT - Applicant to complete all items in sections I, II, III, IV, V

I. LOCATION OF BUILDING	AT LOCATION	29A WEST SUNRISE HWY.	ZONING DISTRICT	BUS-B
	BETWEEN	CHURCH ST	AND	GUY LOMBARDO AVE
	SECTION	55	BLOCK	21
	LOT	20	APPROX. LOT AREA	25

II. TYPE AND COST OF BUILDING - An applicant to complete Parts A & B	
A. TYPE OF IMPROVEMENT	B. PROPOSED OR EXISTING USE
☐ New building ☒ Addition/Alteration (if residential, enter number of new housing units added. If non-residential, none) ☐ Swimming Pool ☐ Repair (describe) ☐ Enclosed (New, Rework) ☐ Fence ☐ Moving (describe)	RESIDENTIAL - Complete Part "B" ☐ 11 One Family ☐ 12 Two Family ☐ 13 Apartment - Enter No. of Units ☐ 14 Transient hotel, motel, or dormitory - Enter No. of Units ☐ 15 Garage or Accessory Structure ☐ 16 Other - Specify NON-RESIDENTIAL - Complete Part "B" ☐ 17 Industrial ☐ 18 Office, bank, professional ☐ 19 Store, restaurant ☐ 20 Church, other religious ☐ 21 Hospital, institutional ☐ 22 Other - Specify

C. COST	D. DESCRIPTION OF PROJECT
12 TOTAL COST OF IMPROVEMENT \$ 135,000	CONVERT RETAIL SPACE TO MEDICAL OFFICE

III. IDENTIFICATION - To be completed by all applicants		
NAME	MAILING ADDRESS - Number, street, city and state, Zip	TEL. NO.
1. Owner or Lessee SAMUEL THEAGENE	29A SUNRISE HWY, FREEPORT, NY 11520	201 294-1331
2. Contractor TO BE DETERMINED		
3. Architect or Engineer MARCELO KOHAN	2963 HOLIDAY PARK DR, MERRICK, NY 11566	516 378-2178

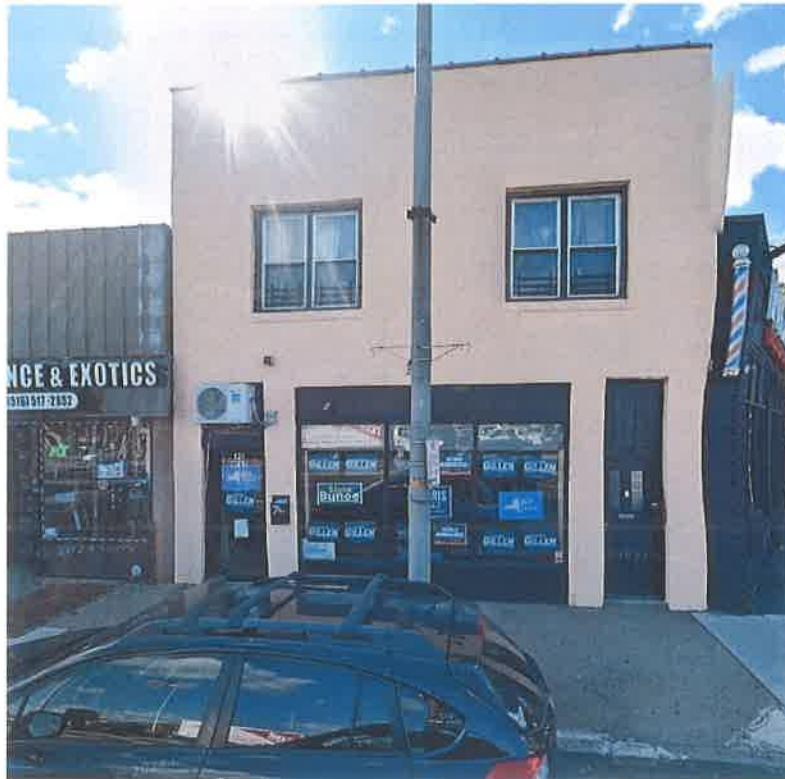
IV. WORKMANSHIP CERTIFICATION	V. FLOOD ZONE
Building permits to be issued subject to the provisions of Section 27 of the Workman's Compensation Law. Workman's Compensation Certificate No. _____ Date _____ Exp. Date _____ Commission or District N.A. Address _____ Phone _____	IS PROJECT LOCATED WITHIN A DESIGNATED FLOOD HAZARD ZONE? YES ☒ NO ☐ IF YES, WHICH ZONE? _____ IS PROJECT TO REPAIR FLOOD DAMAGE? YES ☐ NO ☒
State of New York County of Nassau SAMUEL THEAGENE (Print) owner of the above completed building. That the terms of the above application and the provisions of said building or alterations, is correct to the best of _____ knowledge and belief and agree to conform to all applicable laws of this jurisdiction. Date to begin job 16 TH day of June 25 Signature _____ Signature _____	PROJECT DESCRIPTION Total/Final Floor Square Feet _____ Upper Floor Square Feet _____ # of Floors _____ # of Floors _____ Occup. Type _____

GREGG MCLEOD
Notary Public - State of New York
No. 01MCR183823
Qualified in Nassau County
My Commission Expires September 22, 2025

29 W SUNRISE HWY, FREEPORT, NY 11520



AERIAL VIEW



FRONT VIEW



Proposed Medical Office

29 W. Sunrise Highway, Freeport, NY 11520



2963 Holiday Park Drive
Merrick, New York, 11566

Phone: 516.378.2178
Email: mak@delargentdesign.com

SEAL



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CONSULTANTS

DOB APPROVAL

PROJECT INFORMATION

Medical Office
Interior Build-Out

29 W Sunrise Highway,
Freeport, NY 11520

SECTION: 55
BLOCK: 21
TAX LOT(s): 20

SUBMISSIONS

No.	DATE	DESCRIPTION
1	6/20/25	FOR DOB SUBMISSION

PROJECT NO: 2508

CAD DWG FILE:

DATE: 6/16/25

DRAWN BY: MAK

SHEET TITLE

Site Plan /
Zoning Information

SHEET NUMBER PAGE NO.

SP-001.00 1 of -

JOB NUMBER

GENERAL NOTES

- THESE NOTES ARE PART OF THE PLANS AND SPECIFICATIONS AND ARE TO BE COMPLIED WITH IN ALL RESPECTS. MORE RESTRICTIVE NOTES MENTIONED ELSEWHERE ARE TO TAKE PRECEDENCE OVER THE FOLLOWING.
- CONTRACTOR SHALL BE HELD TO HAVE VISITED THE SITE SO THAT HE MAY DETERMINE THE DIFFICULTIES HE MAY ENCOUNTER DURING CONSTRUCTION.
- CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO THE COMMENCEMENT OF ANY WORK AND SHALL REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ARCHITECT.
- CONTRACTOR DOING THE WORK SHALL OBTAIN NECESSARY PERMITS AND APPROVALS OF CONSTRUCTION. HE SHALL ALSO SECURE CERTIFICATE OF OCCUPANCY UPON CONCLUSION OF CONSTRUCTION.
- THE ARCHITECT OF DESIGN HAS NOT BEEN RETAINED FOR ANY FIELD SUPERVISION OR INSPECTION.
- THE OWNER SHALL BE RESPONSIBLE FOR THE SAFE MAINTENANCE OF THE BUILDING AND ITS FACILITIES.
- ALL MATERIALS, ASSEMBLIES, FORMS AND METHODS OF CONSTRUCTION AND SERVICE EQUIPMENT SHALL MEET THE FOLLOWING REQUIREMENTS: (27-130 thru 27-137).
 - IT SHOULD HAVE BEEN ACCEPTABLE PRIOR TO THE EFFECTIVE DATE OF THE CODE BY THE BOARD OR
 - IT SHOULD HAVE BEEN ACCEPTED FOR USE UNDER THE PRESCRIBED CODE TEST METHODS BY THE COMMISSIONER OR
 - APPROVED BY THE BOARD OF STANDARDS AND APPEALS.
- POSTED OCCUPANCY AND USE. ALL BUILDINGS SHALL BE POSTED WITH A SIGN IN A CONSPICUOUS LOCATION IN PUBLIC HALL OR CORRIDOR, STATING LIVE LOADS AND OCCUPANT LOADS IN THE BUILDING AND ALL PARTS THEREOF. (27-225 & 27-226).

ADDITIONAL NOTES

Footings, Foundation, Concrete, & Steel Notes:

NOT APPLICABLE

Electrical, Mechanical, Plumbing, Sprinklers, & Fire Alarm Notes:

- PLUMBING SYSTEMS AND EQUIPMENT SHALL BE CONSTRUCTED, INSTALLED, AND MAINTAINED IN ACCORDANCE WITH THE NEW YORK STATE PLUMBING CODE.
- ELECTRICAL COMPONENTS, EQUIPMENT, AND SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH THE PROVISIONS OF THE NEW YORK STATE ELECTRICAL CODE.
- MECHANICAL APPLIANCES, EQUIPMENT, AND SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH THE PROVISIONS OF THE NEW YORK STATE MECHANICAL CODE.

APPLICABLE CODES

2020 EXISTING BUILDING CODE OF NEW YORK STATE (EBCNYS), BASED ON 2018 INTERNATIONAL EXISTING BUILDING CODE, ALTERATION LEVEL 2, CHAPTERS 7 & 8.	2020 FUEL GAS CODE
2020 NYS UNIFORM FIRE PREVENTION CODE	2020 NYS PROPERTY MANAGEMENT CODE
2020 NYS PLUMBING CODE	2020 NYS ENERGY CONSERVATION CODE
2020 NYS MECHANICAL CODE	2010 ACCESSIBILITY: ANSI A-117.1 2010
	NASSAU COUNTY HEALTH DEPARTMENT

FINISHES

INTERIOR FINISHES TO BE SELECTED BY TENANT, AND ARE TO COMPLY WITH THE REQUIREMENTS OF 2020 NYS BLDG. CODE, CHAPTER 8.

- ALL INTERIOR WALL & CEILING FINISH MATERIALS BE CLASSIFIED IN ACCORDANCE WITH ASTM E84 OR UL 723, PER SECTION 803.12 (FLAME SPREAD OF 26-75, CLASS 'B').
- ALL INTERIOR FLOOR FINISH & COVERING MATERIALS TO COMPLY WITH SECTION BC 804.
- SUSPENDED ACOUSTICAL CEILING (IF APPLICABLE) TO BE INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF ASTM C835 AND ASTM C836, PER SECTION 803.11.1.

TENANT SAFETY NOTES

- ALL WORK IS TO BE DONE IN THE AREAS INDICATED ON THE DRAWINGS ONLY, AND WILL NOT HAVE AFFECT THE ADJACENT STORES.
- ALL WORK TO BE DONE BETWEEN 8:00 AM AND 5:00 PM MONDAYS THROUGH FRIDAYS, EXCEPT HOLIDAYS, AS PER THE TOWNS REGULATIONS.
- ALL DIRT, DEBRIS, ETC., CAUSED BY THE NEW CONSTRUCTION WILL BE SAFELY STORED AND CARTED OUT BY THE GENERAL CONTRACTOR AS NEEDED. CONTRACTOR TO BE RESPONSIBLE FOR MAINTAINING A CLEAN & SAFE PASSAGE FREE OF DEBRIS OR TOOLS TO EVERYONE WORKING ON THE SPACE.
- ALL ELECTRICAL, GAS, AND WATER SERVICES, ETC., WILL REMAIN OPERABLE DURING CONSTRUCTION, AND WILL BE TEMPORARILY SUSPENDED AS NEEDED BY THE DIFFERENT TRADES PERFORMING THE WORK AS NEEDED.

NOTES:

THERE'S NO CHANGE IN THE BUILDING'S BULK OR EGRESS UNDER THIS APPLICATION.

THERE'S NO STRUCTURAL WORK TO BE DONE ON THE PREMISES.

THERE'S NO WORK TO BE DONE ON THE EXTERIOR OF THE BUILDING.



Block Diagram

Not To Scale



Existing Building

Not To Scale

ABBREVIATIONS

A.C.T.	ACOUSTICAL CEILING TILE	HORIZ.	HORIZONTAL
ADJ.	ADJUSTABLE	HT.	HEIGHT
A.F.F.	ADJUSTABLE FINISH FLOOR	HY/AC	HEATING/VENT./AIR CONDITIONING
ALUM.	ALUMINUM	INSUL.	INSULATION
ALT.	ALTERNATE	LAV.	LAVATORY
ANOD.	ANODIZED	L.L.H.	LONG LEG HORIZONTAL
BD.	BOARD	L.L.V.	LONG LEG VERTICAL
BLDG.	BUILDING	LT.	LIGHT
BM.	BEAM	MAS.	MASONRY
BOTT.	BOTTOM	MAT.	MATERIAL
CFMF	COLD FORM MTL. FRAMING	MAX.	MAXIMUM
CL.	CENTER LINE	MECH.	MECHANICAL
CLG.	CEILING	MIN.	MINIMUM
CLR.	CLEAR	MISC.	MISCELLANEOUS
C.J.	CONTROL JOINT	M.O.	MASONRY OPENING
C.M.U.	CONCRETE MASONRY UNIT	MTP.	MOUNTED
COL.	COLUMN	O.C.	ON CENTER
CONC.	CONCRETE	OPP.	OPPOSITE
CONT.	CONTINUOUS	PL.	PLATE
DBL.	DOUBLE	PLYWD.	PLYWOOD
DTL.	DETAIL	PT.	PAINT
DR.	DOOR	REF.	REFERENCE
DWG.	DRAWING	RM.	ROOM
E.J.	EXPANSION JOINT	R.O.	ROUGH OPENING
ELEV.	ELEVATION	SCHED.	SCHEDULE
ELEC.	ELECTRICAL	SHT.	SHEET
ENC.	ENCLOSURE	SIM.	SIMILAR
E.P.	ELECTRICAL PANEL	SPEC.	SPECIFICATION
EQ.	EQUAL	STD.	STANDARD
EXP.	EXPANSION	S.S.	STAINLESS STEEL
EXT.	EXTERIOR	STL.	STEEL
F.A.	FIRE ALARM	STRUCT.	STRUCTURAL
F.D.	FLOOR DRAIN	T.B.D.	TO BE DETERMINED
F.E.	FIRE EXTINGUISHER	TEMP.	TEMPORARY
F.F.	FINISH FLOOR	THK.	THICK
FIN.	FINISH	TYP.	TYPICAL
FIXT.	FIXTURE	U.O.N.	UNLESS OTHERWISE NOTED
FLR.	FLOOR	VERT.	VERTICAL
GA.	GAUGE	V.I.F.	VERIFY IN FIELD
GL.	GLASS	WD.	WOOD
GYP. BD.	GYP. BOARD	W/	WITH
HCP.	HANDICAPPED		
H.C.	HOLLOW CORE		
HDWR.	HARDWARE		

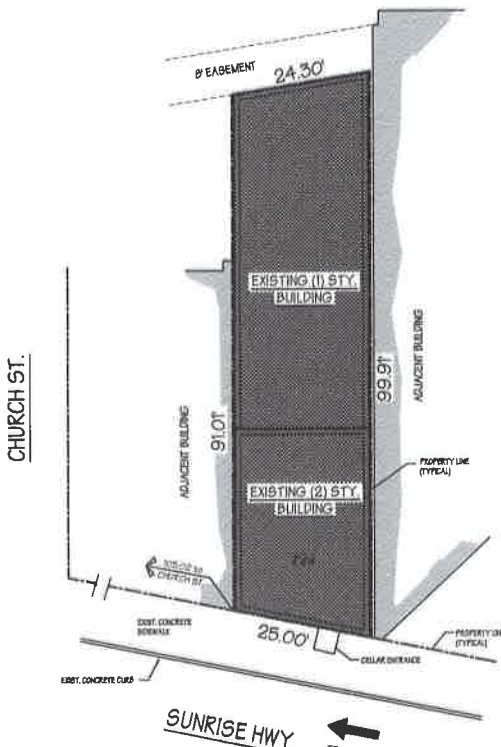
SCOPE OF WORK:

LEVEL 2 ALTERATION:

INTERIOR BUILD-OUT FOR NEW MEDICAL SPACE

ZONING DATA

ZONE	BUSINESS
OCC. GROUP	MERCANTILE
VILLAGE	FREEPORT
SECTION	55
BLOCK	21
LOT(s)	20
HOUSE #	29
BLDG. AREA	738 S.F.
CONSTRUCTION TYPE	II-B



Site Plan

Scale: 1/16" = 1'



N.Y.S. ENERGY CONSERVATION CODE

TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE, USING CHAPTER C5.

SITE PLAN NOTE:

EXISTING SITE AND BUILDING'S DIMENSIONS ARE BASED ON SURVEY PREPARED BY: LICENSED SURVEYOR, ON SURVEY DATED 12/27/91

DRAWING'S LIST

Architectural

SP-001	SITE PLAN / ZONING INFORMATION	A-004	DOOR / FINISH SCHEDULES
GN-001	GENERAL NOTES 1	A-007	HANDICAPPED ACCESSIBILITY DETAILS
GN-002	GENERAL NOTES 2	A-008	WALL / CEILING PENETRATIONS (1 OF 2)
D-001	CELLAR AND 1ST FLOOR DEMOLITION PLANS	A-009	WALL / CEILING PENETRATIONS (2 OF 2)
A-001	EXISTING / PROPOSED 1ST FLOOR PLAN		
A-002	1ST FLOOR REFLECTED CEILING PLAN		
A-003	WALL TYPES / EGRESS PLAN		



CONSULTANTS

DOB APPROVAL

PROJECT INFORMATION

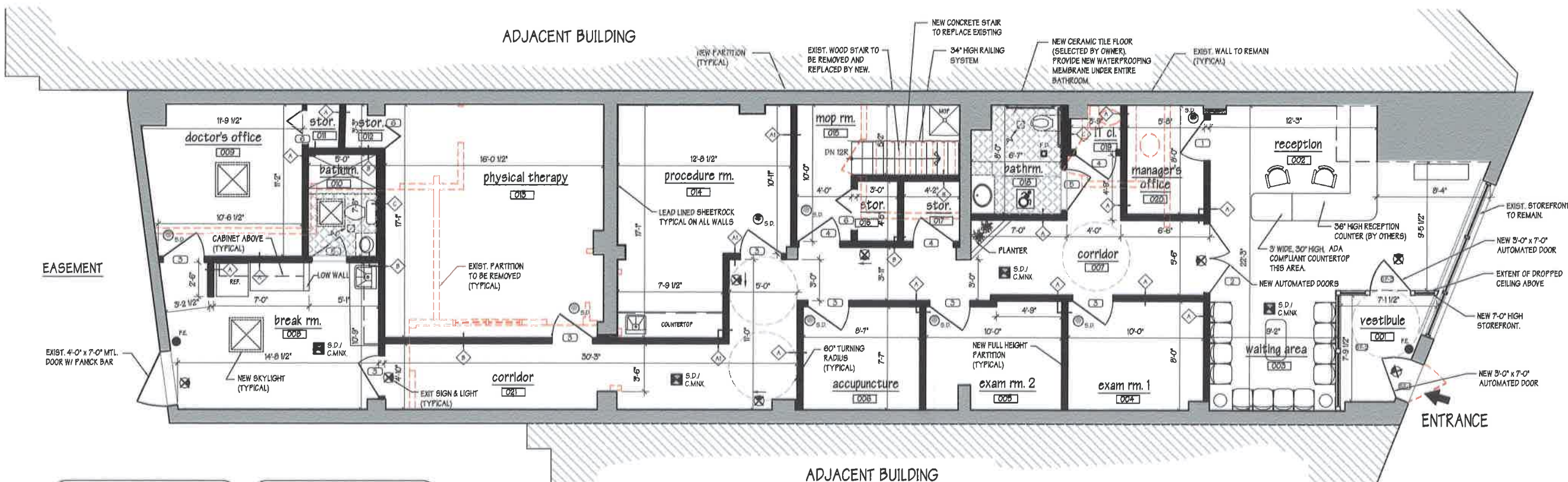
Medical Office
Interior Build-Out

29 W Sunrise Highway,
Freeport, NY 11520

SECTION: 55
BLOCK: 21
TAX LOT(s): 20

SUBMISSIONS		
No.	DATE	DESCRIPTION
1	6/20/25	FOR DOB SUBMISSION

PROJECT NO:	2508
CAD DWG FILE:	
DATE:	6/16/25
DRAWN BY:	MAK
SHEET TITLE	1st Floor Plan
SHEET NUMBER	PAGE NO.
A-001.00	5 of -
JOB NUMBER	



OCCUPANT LOAD

ENTIRE FLOOR = 2,075 S.F.
2,075 S.F. / 120 S.F. per person =
17.29 = 17 PEOPLE

PARKING REQUIREMENTS

ENTIRE FLOOR = 2,075 S.F.
2,075 S.F. / 400 S.F. per car =
5.18 = 6 CARS

Existing / Proposed Floor Plan

Scale: 1/4" = 1'-0"

CODE COMPLIANCE

THIS PROJECT WAS DESIGNED IN ACCORDANCE TO
THE 2020 BUILDING CODE OF THE NEW YORK STATE

CARBON MONOXIDE NOTE:

CARBON MONOXIDE DETECTION AND NOTIFICATION SHALL BE PROVIDED
AS PER SECTIONS 503.15 AND 503.15.1 OF 2020 NYS BLDG. CODE.

FIRE PROTECTION NOTES:

- PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED AS PER NFPA 10.
- MAXIMUM DISTANCE OF TRAVEL TO EXTINGUISHER = 75', AS PER
TABLE 906.3(1), CLASS A-FIRE HAZARD.

NOTES:

PLANS WERE CREATED BASED UPON THE AVAILABLE INFORMATION
OBTAINED, AND THE EXISTING CONDITIONS OF THE VISIBLE
SURFACES ONLY AT THE TIME THE SITE VISIT WAS CONDUCTED.

ALL FURNITURE SHOWN TO BE SELECTED BY TENANT, AND IS FOR
SCHEMATIC PURPOSES ONLY. FINAL LOCATION AND LAYOUT TO BE
DETERMINED BY TENANT.

ALL MILLWORK TO BE DONE BY OTHERS.
ARCHITECT AND TENANT TO REVIEW SHOP DRAWINGS

THE ARCHITECT IS NOT RESPONSIBLE FOR ANY STRUCTURAL AND
UNSEEN CONDITIONS PRESENT ON THE INNER SURFACE OF THE
WALLS AND FLOORS.

ALTHOUGH THEY ARE FAIRLY ACCURATE, SOME DIMENSIONS
INDICATED MAY NOT BE EXACT.
CONTRACTOR SHALL VERIFY ALL DIMENSIONS, AND SHALL NOTIFY THE
ARCHITECT OF ANY DISCREPANCIES CONCERNING THE AREA
WHERE WORK IS TO BE PERFORMED.

THERE'S NO INCREASE OF FLOOR AREA OR BUILDING FOOTPRINT
UNDER THIS APPLICATION.

ENERGY CERTIFICATION

THESE DRAWINGS HAVE BEEN PREPARED BY THE
UNDERSIGNED, AND TO THE BEST OF MY KNOWLEDGE,
INFORMATION & BELIEF, THEY MEET THE REQUIREMENTS OF
THE NEW YORK STATE ENERGY CONSERVATION
CONSTRUCTION CODE 2020.

MECHANICAL NOTE

REUSE EXISTING DUCTS, REGISTERS & DIFFUSERS. RELOCATE AS
REQUIRED. ALL EQUIPMENT TO COMPLY W/ SECTION 906.1 OF THE
2020 NYS MECHANICAL CODE.

REPAIR OR REPLACE AS REQUIRED.

ELECTRICAL NOTE

ALL EXISTING ELECTRICAL LINES TO BE REUSED.

G.C. TO VERIFY EXISTING ELECTRICAL SERVICE FOR COMPLIANCE WITH
NEW EQUIPMENT REQUIREMENTS. UPDATE SERVICE, AS NECESSARY.

ALL NEW ELECTRICAL WORK TO CONFORM WITH SECTION 907.1 OF
2020 NYS EXIST. BLDG. CODE, AND NFPA 70.

PLUMBING NOTE

ALL EXISTING PLUMBING TO BE REUSED. REPAIR AS REQUIRED.
NEW PLUMBING TO COMPLY W/ 2020 NYS PLUMBING CODE.

G.C. TO VERIFY EXISTING WATER SERVICE FOR COMPLIANCE WITH
REQUIREMENTS INDICATED BY NEW EQUIPMENT.

STRUCTURAL NOTE

ALL EXISTING COLUMNS, JOISTS, AND BEAMS TO BE REUSED UNLESS
OTHERWISE NOTED.

G.C. SHOULD IMMEDIATELY STOP WORK AND NOTIFY THE ARCHITECT IF
ANY CHANGES BE NECESSARY IN THE EXISTING STRUCTURAL
ELEMENTS.

NOTE

ALL NEW FURNITURE, CABINETS, KITCHEN EQUIPMENT, LIGHT FIXTURES,
BATHROOM, ACCESSORIES, AND FINISHES, TO BE SELECTED BY OWNER.

GENERAL DEMOLITION NOTES:

G.C. SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO PROCEEDING WITH THE WORK. ANY
DISCREPANCY THAT MAY BE FOUND BETWEEN THESE PLANS AND THE ACTUAL FIELD
CONDITIONS, SHALL BE IMMEDIATELY BROUGHT TO THE ARCHITECT'S ATTENTION.

G.C. TO BE FAMILIAR WITH THE SCOPE OF WORK OF THE PROJECT.

WHERE ELECTRICAL OR PLUMBING LINES ARE TO BE ABANDONED, SUCH SHALL BE REMOVED.
CAP-OFF LINES LEGALLY AT FINAL INACCESSIBLE PENETRATIONS. ALL NEW PLUMBING AND
ELECTRICAL WORK TO BE RECESSED BEHIND FINISHED SURFACES.

DEMOLITION PERFORM. DISCLAIMER

THE ARCHITECT AND/OR HIS CONSULTANTS ASSUME NO RESPONSIBILITY FOR THE MEANS BY
WHICH THE DEMOLITION IS PERFORMED. THE CONTRACTOR AND HIS SUBCONTRACTORS SHALL
REMOVE AND/OR PERFORM THE ITEMS NOTED AS SUCH ON THIS SHEET IN A PROFESSIONAL
MANNER, IN ACCORDANCE WITH 'GOOD GENERAL PRACTICES'.

IN THE EVENT ANY STRUCTURAL DAMAGES OCCUR WHILE INSTITUTING DEMOLITION
PROCEDURES, THE CONTRACTOR IS TO TEMPORARILY STABILIZE THE STRUCTURE TO A 'SAFE'
CONDITION AND NOTIFY THE ARCHITECT AND/OR ENGINEER IMMEDIATELY FOR RECTIFICATION.

ADA NOTES:

ENTIRE SPACE TO COMPLY WITH ANSI A117.1 - 2010, AND 2020 NYS BUILDING CODE FOR THE REQUIRED
CLEARANCES FOR DOORS, MANEUVERING, AND TACTILE SIGNAGES.

ALL SINKS AND LAVATORIES TO HAVE A MIN. 8" TOE CLEARANCE, AND 27" MIN. KNEE CLEARANCE.

DOOR NOTE:

REFER TO DWG. A-004 FOR
NEW DOOR INFORMATION

WALL NOTE:

REFER TO DWG. A-005 FOR
NEW WALL TYPES INFORMATION

FINISH NOTE:

REFER TO DWG. A-004 FOR
FINISH SCHEDULE.

LEGEND:

- EXISTING PARTITION TO REMAIN
- EXISTING PARTITION TO BE REMOVED
- NEW PARTITION
- ELEVATION NUMBER
- SHEET NUMBER
- WALL TYPE
- DOOR TYPE
- EXIT SIGN
- FIRE EXTINGUISHER
- SECTION MARK
- FLOOR ELEVATION
- ROOM NUMBER
- DETAIL MARK
- PLUMBING FIXTURE

Proposed Medical Office

29 W. Sunrise Highway, Freeport, NY 11520

GENERAL NOTES

- THESE NOTES ARE PART OF THE PLANS AND SPECIFICATIONS AND ARE TO BE COMPLIED WITH IN ALL RESPECTS. MORE RESTRICTIVE NOTES MENTIONED ELSEWHERE ARE TO TAKE PRECEDENCE OVER THE FOLLOWING.
- CONTRACTOR SHALL BE HELD TO HAVE VISITED THE SITE SO THAT HE MAY DETERMINE THE DIFFICULTIES HE MAY ENCOUNTER DURING CONSTRUCTION.
- CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO THE COMMENCEMENT OF ANY WORK AND SHALL REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ARCHITECT.
- CONTRACTOR DOING THE WORK SHALL OBTAIN NECESSARY PERMITS AND APPROVALS OF CONSTRUCTION. HE SHALL ALSO SECURE CERTIFICATE OF OCCUPANCY UPON CONCLUSION OF CONSTRUCTION.
- THE ARCHITECT OF DESIGN HAS NOT BEEN RETAINED FOR ANY FIELD SUPERVISION OR INSPECTION.
- THE OWNER SHALL BE RESPONSIBLE FOR THE SAFE MAINTENANCE OF THE BUILDING AND ITS FACILITIES.
- ALL MATERIALS, ASSEMBLIES, FORMS AND METHODS OF CONSTRUCTION AND SERVICE EQUIPMENT SHALL MEET THE FOLLOWING REQUIREMENTS: (27-130 thru 27-137):
 - IT SHOULD HAVE BEEN ACCEPTABLE PRIOR TO THE EFFECTIVE DATE OF THE CODE BY THE BOARD OR
 - IT SHOULD HAVE BEEN ACCEPTED FOR USE UNDER THE PRESCRIBED CODE TEST METHODS BY THE COMMISSIONER OR
 - APPROVED BY THE BOARD OF STANDARDS AND APPEALS.
- POSTED OCCUPANCY AND USE: ALL BUILDINGS SHALL BE POSTED WITH A SIGN IN A CONSPICUOUS LOCATION IN PUBLIC HALL OR CORRIDOR, STATING LIVE LOADS AND OCCUPANT LOADS IN THE BUILDING AND ALL PARTS THEREOF. (27-225 & 27-226).

ADDITIONAL NOTES

Footings, Foundation, Concrete, & Steel Notes:

NOT APPLICABLE

Electrical, Mechanical, Plumbing, Sprinklers, & Fire Alarm Notes:

- PLUMBING SYSTEMS AND EQUIPMENT SHALL BE CONSTRUCTED, INSTALLED, AND MAINTAINED IN ACCORDANCE WITH THE NEW YORK STATE PLUMBING CODE.
- ELECTRICAL COMPONENTS, EQUIPMENT, AND SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH THE PROVISIONS OF THE NEW YORK STATE ELECTRICAL CODE.
- MECHANICAL APPLIANCES, EQUIPMENT, AND SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH THE PROVISIONS OF THE NEW YORK STATE MECHANICAL CODE.

APPLICABLE CODES

2020 EXISTING BUILDING CODE OF NEW YORK STATE (EBCNYS), BASED ON 2018 INTERNATIONAL EXISTING BUILDING CODE, ALTERATION LEVEL 2, CHAPTERS 7 & 8.	2020 FUEL GAS CODE
2020 NYS UNIFORM FIRE PREVENTION CODE	2020 NYS PROPERTY MANAGEMENT CODE
2020 NYS PLUMBING CODE	2020 NYS ENERGY CONSERVATION CODE
2020 NYS MECHANICAL CODE	2010 ACCESSIBILITY: ANSI A-117.1 2010
	NASSAU COUNTY HEALTH DEPARTMENT

FINISHES

INTERIOR FINISHES TO BE SELECTED BY TENANT, AND ARE TO COMPLY WITH THE REQUIREMENTS OF 2020 NYS BLDG. CODE, CHAPTER 8.

- ALL INTERIOR WALL & CEILING FINISH MATERIALS BE CLASSIFIED IN ACCORDANCE WITH ASTM E84 OR UL 723, PER SECTION 803.12 (FLAME SPREAD OF 26-75, CLASS B).
- ALL INTERIOR FLOOR FINISH & COVERING MATERIALS TO COMPLY WITH SECTION BC 804.
- SUSPENDED ACOUSTICAL CEILINGS (IF APPLICABLE) TO BE INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF ASTM C635 AND ASTM C636, PER SECTION 808.11.1.

TENANT SAFETY NOTES

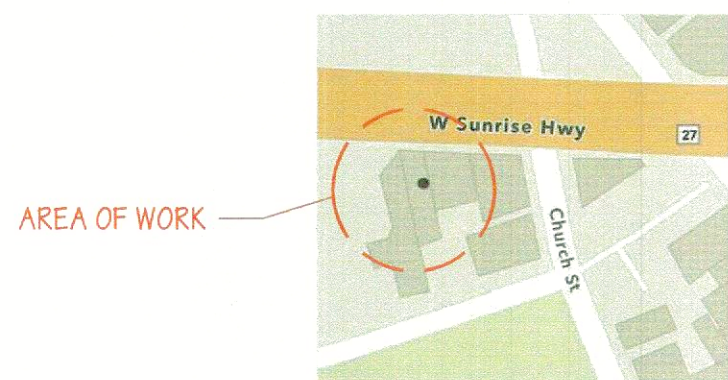
- ALL WORK IS TO BE DONE IN THE AREAS INDICATED ON THE DRAWINGS ONLY, AND WILL NOT HAVE AFFECT THE ADJACENT STORES.
- ALL WORK TO BE DONE BETWEEN 8:00 AM AND 5:00 PM MONDAYS THROUGH FRIDAYS, EXCEPT HOLIDAYS, AS PER THE TOWNS REGULATIONS.
- ALL DIRT, DEBRIS, ETC., CAUSED BY THE NEW CONSTRUCTION WILL BE SAFELY STORED AND CARTED OUT BY THE GENERAL CONTRACTOR AS NEEDED. CONTRACTOR TO BE RESPONSIBLE FOR MAINTAINING A CLEAN & SAFE PASSAGE FREE OF DEBRIS OR TOOLS TO EVERYONE WORKING ON THE SPACE.
- ALL ELECTRICAL, GAS, AND WATER SERVICES, ETC. WILL REMAIN OPERABLE DURING CONSTRUCTION, AND WILL BE TEMPORARILY SUSPENDED AS NEEDED BY THE DIFFERENT TRADES PERFORMING THE WORK AS NEEDED.

NOTES:

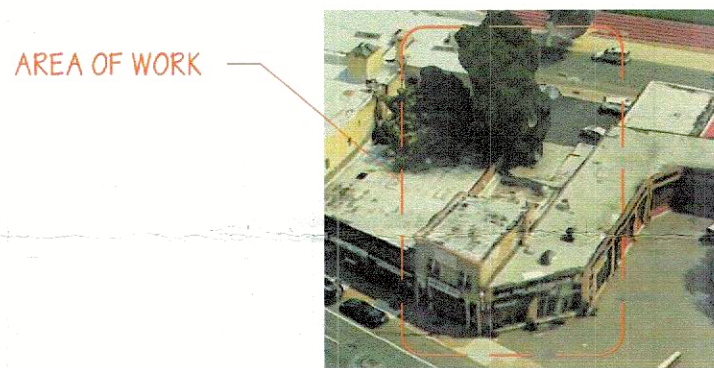
THERE'S NO CHANGE IN THE BUILDING'S BULK OR EGRESS UNDER THIS APPLICATION.

THERE'S NO STRUCTURAL WORK TO BE DONE ON THE PREMISES.

THERE'S NO WORK TO BE DONE ON THE EXTERIOR OF THE BUILDING.



Block Diagram
Not To Scale



Existing Building
Not To Scale

ABBREVIATIONS

A.C.T.	ACOUSTICAL CEILING TILE	HORIZ.	HORIZONTAL
ADJ.	ADJUSTABLE	HT.	HEIGHT
A.F.F.	ABOVE FINISH FLOOR	HVAC	HEATING/VENT/AIR CONDITIONING
ALUM.	ALUMINUM	INSUL.	INSULATION
ALT.	ALTERNATE	LAV.	LAVATORY
ANOD.	ANODIZED	LLH.	LONG LEG HORIZONTAL
BD.	BOARD	LLV.	LONG LEG VERTICAL
BLDG.	BUILDING	LT.	LIGHT
BM.	BEAM	MAS.	MASONRY
BOTT.	BOTTOM	MAX.	MAXIMUM
CFMF	COLD FORM MTL. FRAMING	MECH.	MECHANICAL
CL	CENTER LINE	MIN.	MINIMUM
CLG.	CEILING	MISC.	MISCELLANEOUS
CLR.	CLEAR	M.O.	MASONRY OPENING
C.J.	CONTROL JOINT	MTD.	MOUNTED
C.M.U.	CONCRETE MASONRY UNIT	O.C.	ON CENTER
COL.	COLUMN	OPP.	OPPOSITE
CONC.	CONCRETE	PL.	PLATE
CONT.	CONTINUOUS	PLYWD.	PLYWOOD
DBL.	DOUBLE	PT.	PAINT
DTL.	DETAIL	REF.	REFERENCE
DR.	DOOR	RM.	ROOM
DWG.	DRAWING	R.O.	ROUGH OPENING
E.J.	EXPANSION JOINT	SCHED.	SCHEDULE
ELEV.	ELEVATION	SHT.	SHEET
ELEC.	ELECTRICAL	SIM.	SIMILAR
ENC.	ENCLOSURE	SPEC.	SPECIFICATION
E.P.	ELECTRICAL PANEL	STD.	STANDARD
EQ.	EQUAL	S.S.	STAINLESS STEEL
EXP.	EXPANSION	STL.	STEEL
EXT.	EXTERIOR	STRUCT.	STRUCTURAL
F.A.	FIRE ALARM	T.B.D.	TO BE DETERMINED
F.D.	FLOOR DRAIN	TEMP.	TEMPORARY
F.E.	FIRE EXTINGUISHER	THK.	THICK
F.F.	FINISH FLOOR	TYP.	TYPICAL
FIN.	FINISH	U.O.N.	UNLESS OTHERWISE NOTED
FIXT.	FIXTURE	VERT.	VERTICAL
FLR.	FLOOR	WD.	WOOD
GA.	GAUGE	W/	WITH
GL.	GLASS		
GYP. BD.	GYPSUM BOARD		
HCP.	HANDICAPPED		
H.C.	HOLLOW CORE		
HWR.	HARDWARE		

SCOPE OF WORK:

LEVEL 2 ALTERATION:

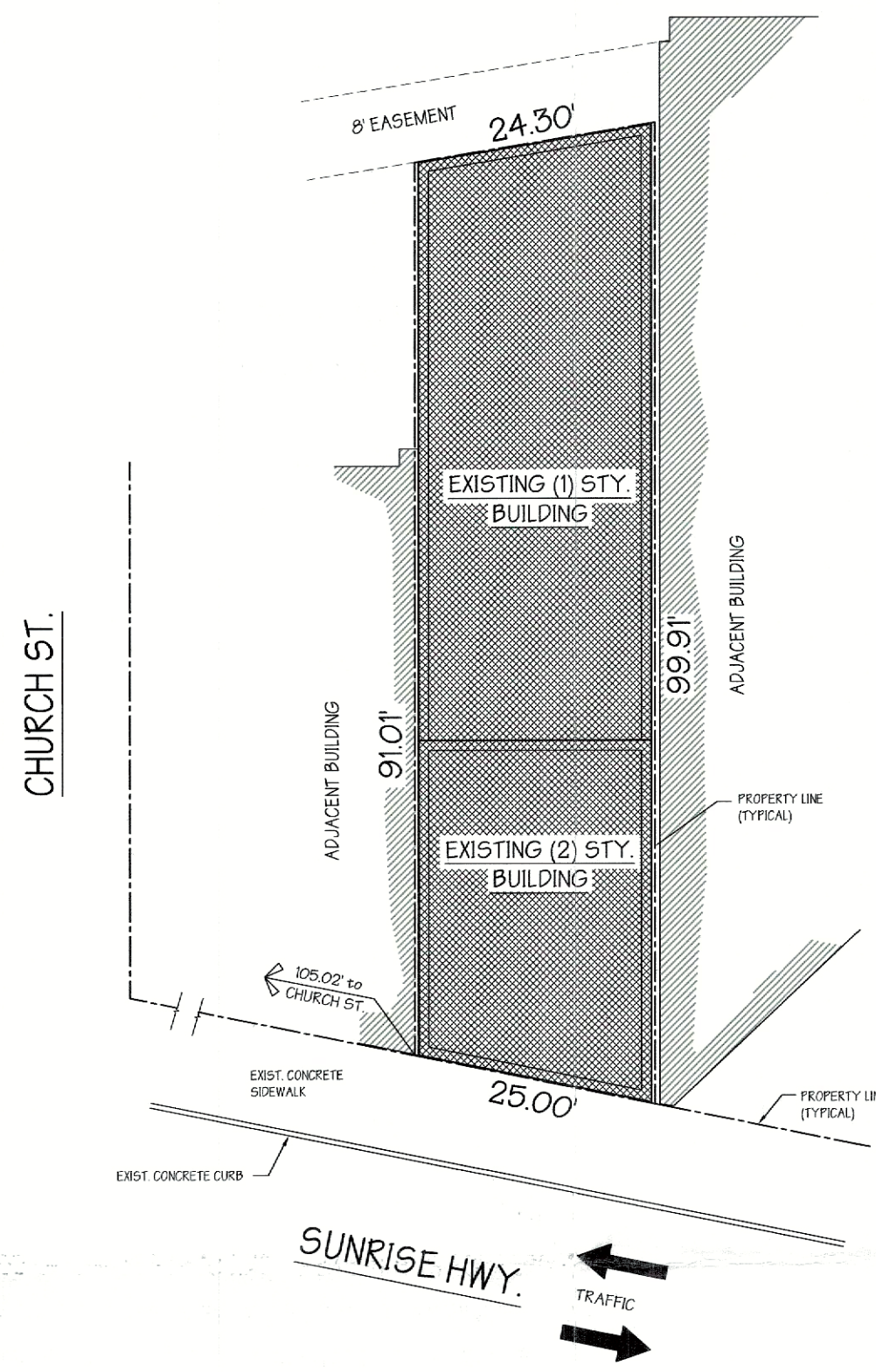
INTERIOR BUILD-OUT FOR NEW MEDICAL SPACE

REFER TO APPLICATION

FOR ADDITIONAL INFORMATION.

ZONING DATA

ZONE	BUSINESS
OCC. GROUP	MERCANTILE
VILLAGE	FREEPORT
SECTION	55
BLOCK	21
LOT(s)	20
HOUSE #	29A
BLDG. AREA	738 S.F.
CONSTRUCTION TYPE	II-B



Site Plan

Scale: 1/16" = 1'

N.Y.S. ENERGY CONSERVATION CODE

TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE, USING CHAPTER C3.

SITE PLAN NOTE:

EXISTING SITE AND BUILDING'S DIMENSIONS ARE BASED ON SURVEY PREPARED BY: LICENSED SURVEYOR, ON SURVEY DATED 12/27/91.

DRAWING'S LIST

Architectural

SP-001	SITE PLAN / ZONING INFORMATION
GN-001	GENERAL NOTES
A-001	EXISTING / PROPOSED 1ST FLOOR / MEZZANINE PLAN
A-002	BUILDING SECTION / EGRESS PLAN / WALL TYPES
A-003	DOOR / FINISH SCHEDULES
A-004	PLUMBING / GAS RISER DIAGRAMS

A-005	PLUMBING DETAILS
A-006	KITCHEN EQUIPMENT INFORMATION
A-007	HANDICAPPED ACCESSIBILITY DETAILS
A-008	WALL / CEILING PENETRATIONS (1 OF 2)
A-009	WALL / CEILING PENETRATIONS (2 OF 2)



2963 Holiday Park Drive
Merrick, New York, 11566

Phone: 516.378.2178
Email: mak@delargentdesign.com



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CONSULTANTS

DOB APPROVAL

PROJECT INFORMATION

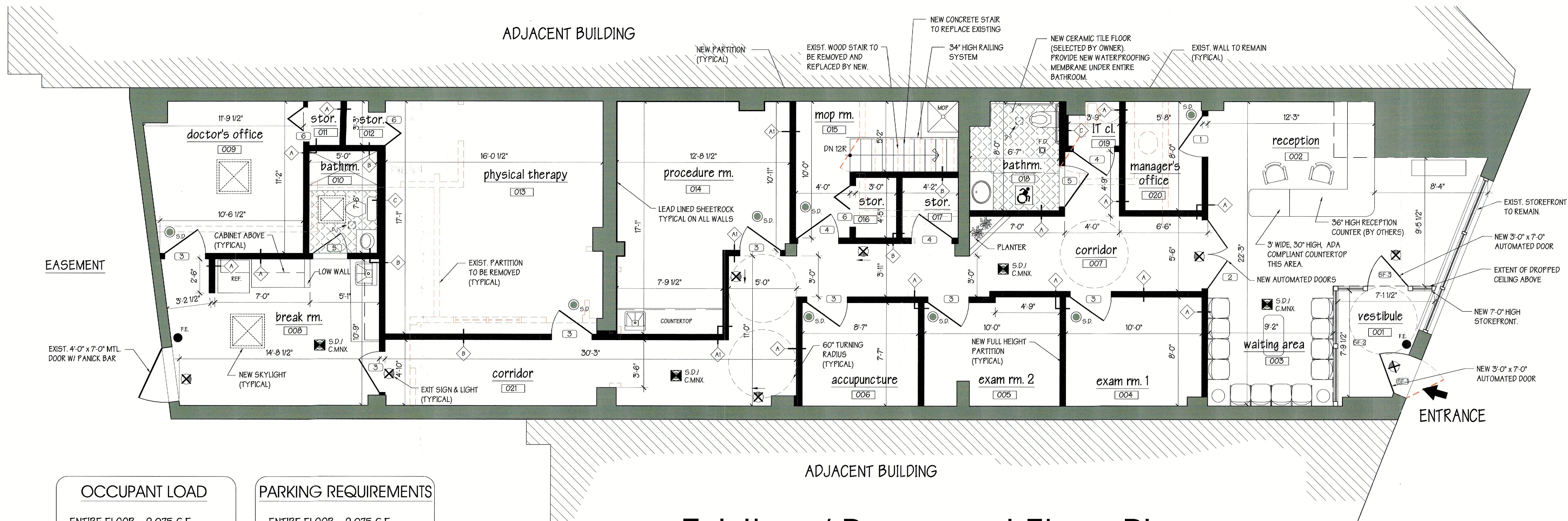
Medical Office
Interior Build-Out

29 W. Sunrise Highway,
Freeport, NY 11520

SECTION: 55
BLOCK: 21
TAX LOT(s): 20

SUBMISSIONS		
No.	DATE	DESCRIPTION
	6/20/25	FOR DOB SUBMISSION

PROJECT NO:	2508
CAD DWG FILE:	
DATE:	6/16/25
DRAWN BY:	MAK
SHEET TITLE	
Site Plan / Zoning information	
SHEET NUMBER	PAGE NO.
SP-001.00	1 of -
JOB NUMBER	
-	



OCCUPANT LOAD

ENTIRE FLOOR = 2,075 S.F.
2,075 S.F. / 120 S.F. per person =
17.29 = 17 PEOPLE

PARKING REQUIREMENTS

ENTIRE FLOOR = 2,075 S.F.
2,075 S.F. / 400 S.F. per car =
5.19 = 6 CARS

Existing / Proposed Floor Plan

Scale: 1/4" = 1'-0"

CODE COMPLIANCE

THIS PROJECT WAS DESIGNED IN ACCORDANCE TO
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CARBON MONOXIDE NOTE:

CARBON MONOXIDE DETECTION AND NOTIFICATION SHALL BE PROVIDED
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MECHANICAL NOTE

REUSE EXISTING DUCTS, REGISTERS & DIFFUSERS. RELOCATE AS
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REPAIR OR REPLACE AS REQUIRED.

ELECTRICAL NOTE

ALL EXISTING ELECTRICAL LINES TO BE REUSED.

G.C. TO VERIFY EXISTING ELECTRICAL SERVICE FOR COMPLIANCE WITH
NEW EQUIPMENT REQUIREMENTS. UPDATE SERVICE, AS NECESSARY.

ALL NEW ELECTRICAL WORK TO CONFORM WITH SECTION 807.1 OF
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PLUMBING NOTE

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NEW PLUMBING TO COMPLY W/ 2020 NYS PLUMBING CODE.

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DOOR NOTE:

REFER TO DWG. A-004 FOR
NEW DOOR INFORMATION

WALL NOTE:

REFER TO DWG. A-005 FOR
NEW WALL TYPES INFORMATION

FINISH NOTE:

REFER TO DWG. A-004 FOR
FINISH SCHEDULE.

LEGEND:

- EXISTING PARTITION TO REMAIN
- EXISTING PARTITION TO BE REMOVED
- NEW PARTITION
- ELEVATION NUMBER
- SHEET NUMBER
- WALL TYPE
- DOOR TYPE
- EXIT SIGN
- FIRE EXTINGUISHER
- SECTION MARK
- FLOOR ELEVATION
- ROOM NUMBER
- DETAIL MARK
- PLUMBING FIXTURE



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CONSULTANTS

DOB APPROVAL

PROJECT INFORMATION

Medical Office
Interior Build-Out

29 W Sunrise Highway,
Freeport, NY 11520

SECTION: 55
BLOCK: 21
TAX LOT(s): 20

SUBMISSIONS

No.	DATE	DESCRIPTION
	6/20/25	FOR DOB SUBMISSION

PROJECT NO: 2508

CAD DWG FILE:

DATE: 6/16/25

DRAWN BY: MAK

SHEET TITLE

1st Floor Plan

SHEET NUMBER

PAGE NO.

A-001.00

5 of -

JOB NUMBER



INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

ROBERT T. KENNEDY
MAYOR

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

July 28, 2025

UPDATED LETTER OF DENIAL

BGC Properties Inc.
19 Suffolk Street
Freeport, NY 11520

RE: 19 Suffolk St, Freeport, NY

Zoning District – Marine Commerce Sec. 62 Blk. 176, Lots 325,326,327,328,329.

Building Permit Application #20243928

Description: Construct 19,996.77 SF addition to existing building and change of use to Residence Apartment for 20-unit apartment building)

Dear Sir/Madam:

Please be advised that the above captioned Building Permit Application must be denied for the following reason(s):

Village Ordinance §210-6A. No building or land shall hereafter be used or occupied and no building or part thereof shall be erected, moved or altered unless in conformity with the regulations herein specified for the district in which it is located.

Village Ordinance §210-238. Prohibited uses.

B. Any use not specifically permitted shall be prohibited. Apartment houses are not a permitted use.

Village Ordinance §210-239. Building height.

No building or structure shall exceed 40 feet in height or have more than three stories, except that such height restrictions shall not apply to a flagpole, a water tank, an elevator or stair bulkhead, an antenna for radio or television purposes or a crane or derrick used for marine purposes. Height shall be measured from the average level of the street curb grade to the highest point of the building. According to the drawings submitted the high of the building is 40'-10" and 4 stories. You will be seeking a variance of 10" and a variance for the additional 1 story.

Village Ordinance §210-48. Lot area; apartments.

No apartment house shall be erected on a lot whose area is less than 15,000 square feet or which provides less than 990 square feet of lot area per apartment unit. According to the drawings submitted the lot area is 11,500 SF and only 11 apartments would be allowed. You will be seeking a variance of 3,500 SF and 9 apartments.

Village Ordinance §210-49. Lot coverage.

B. Apartments. An apartment house shall not occupy more than 40% of the area of the lot, including accessory buildings or structures. According to the drawings submitted 64.8% is going to be occupied when only 40% is permitted. You will be seeking a variance of 24.8%.

C. Open space. Open space, out-of-doors and uncovered, shall be provided at the ratio of at least one square foot of open space to each two square feet of residential floor area which excludes the basement or cellar. According to the drawings the required open space should be 9,998.39 SF and only 4,054.03 is provided.

D. Open recreation space. Open recreation space, out-of-doors, shall be provided on the basis of 1/6 of the open space requirement in a single contiguous area other than the front yard. This requirement is a part of the open space requirement. Open recreation space shall use a portion of the open space required by Subsection **C** above. According to the drawings submitted no open recreation space was provided and you will be seeking a variance of 3,339.46SF of open recreation space. As per 86-11 Open recreation must be at grade level.

Village Ordinance §210-51. Required yards.

A. Front yard depth: the average front yard depth of existing buildings on the same side of the street in the same block and within 200 feet of each side of the lot; if there are no existing buildings as aforesaid, the average front yard depth of existing buildings on the opposite side of the street in the same block and within 200 feet of the lines projected from each side of the lot; in no event, less than 25 feet; According to the drawings submitted the frontage is 5.8', 7.8' and 0.9'

B. Side yard width: 20 feet; According to the drawings submitted the side yard is 10'.

C. Rear yard depth: 20 feet; According to the drawings submitted the rear yard is 5'.

Village Ordinance §210-52. Parking space for apartment building.

Parking space shall be provided as set forth in § **210-172**.

As per 210-172 indicates that you will need 30 parking spaces but only 21 legal parking spaces were provided. You will be seeking a variance of 9 parking spaces.

Village Ordinance §210-54. Front yards of apartment building.

With the exception of the necessary driveways, walks and entrance areas, the front yard of any apartment house shall be fully graded, landscaped and continuously maintained in a neat and orderly fashion, and no portion of the said front yard shall be used for parking automobiles or other vehicles or storing articles of any kind. According to the drawings submitted the parking and trash room are in the front yard and secondary front yard.

Village Ordinance §210-241. Plots abutting or directly across a street from single-family residence districts.

For all nonresidential uses of plots that abut or are directly across a street from a Residence A District or a more highly restricted district, there shall be provided a buffer area of at least 20 feet in depth along the line where said nonresidential use abuts or is directly across a street from a Residence A or a more highly restricted district. Said buffer area shall not be used for buildings, loading, storage or other accessory uses, except that said buffer may be used for the storage of boats on grade only and off-street parking lots. Except when used for on-grade boat storage or parking, said buffer area shall be landscaped. In addition, an evergreen planting strip or suitably designed fence shall be provided along the property line abutting or directly across from the single-family residence district to further buffer the area from residential uses. According to the drawings no buffer zone is shown.

Please be further advised that if you intend to appeal this decision you must file an application within sixty (60) days of the date of this letter. For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the **Village Clerk's Office at 516-377-2202** to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Zoning Board of Appeals within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Zoning Board of Appeals Application, please call the **VILLAGE CLERK'S OFFICE** at 377-2202

Very truly yours,

Sergio A. Mauras
Superintendent of Buildings
Daniela Hernandez
SITE PLAN APPROVAL NEEDED: YES

VILLAGE OF FREEPORT

Department of Buildings

Recommendation

Notice

X **Negative Declaration**

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project :

Building Permit App. 20243928

Location: 19 Suffolk Street

Applicant: BGC Properties INC

Description: Construct 19,996.77 SF addition to existing building and change of use to Residence Apartment for a 20-unit apartment building.

**Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY**

**Agency Contact Person:
Superintendent of Buildings
(516) 377-2242**

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A)

**B) Possible environment effects identified:
(only if positive determination)**

Dated: July 28, 2025

Sergio A. Mauras

**Sergio A. Mauras
Superintendent of Buildings**

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

RECEIVED

2025 JUN 11 A 10:20

CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

6-10-25 REVISE PER ZBA COMMENTS
4-10-24 ISSUED TO DOB FOR DENIAL
4-3-24 ISSUED TO DOB FOR DENIAL

revision	date	description

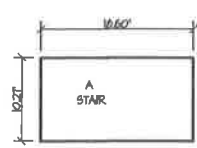
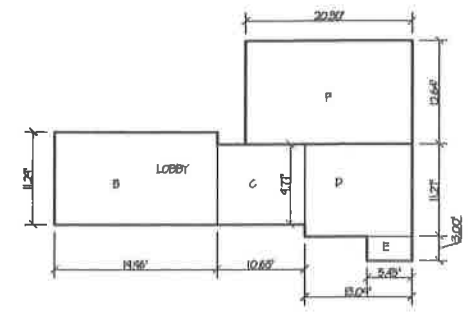
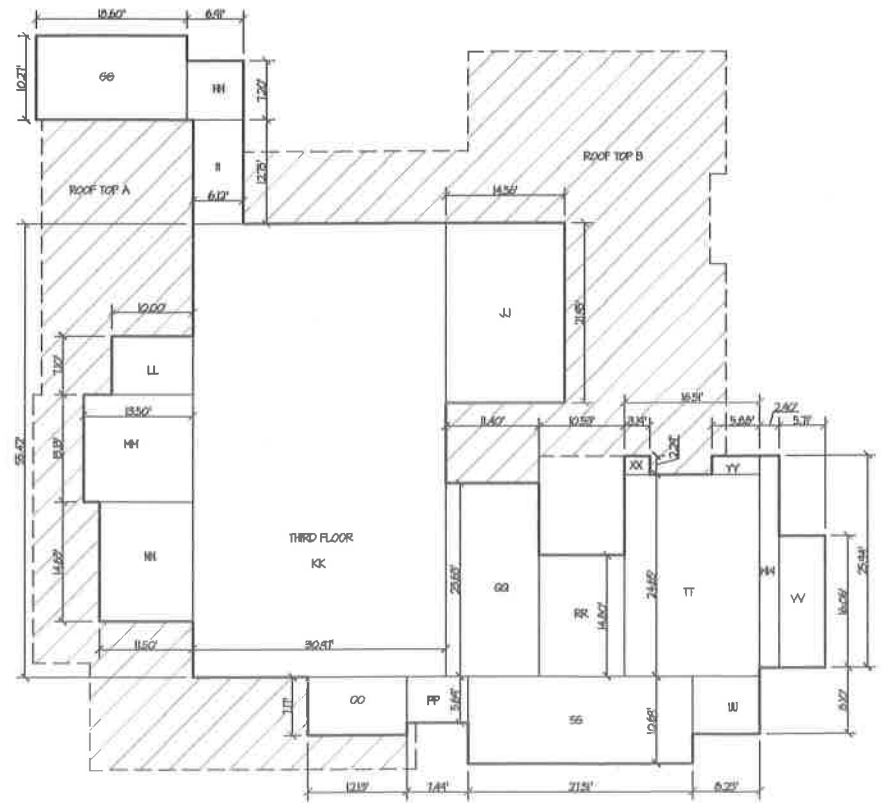
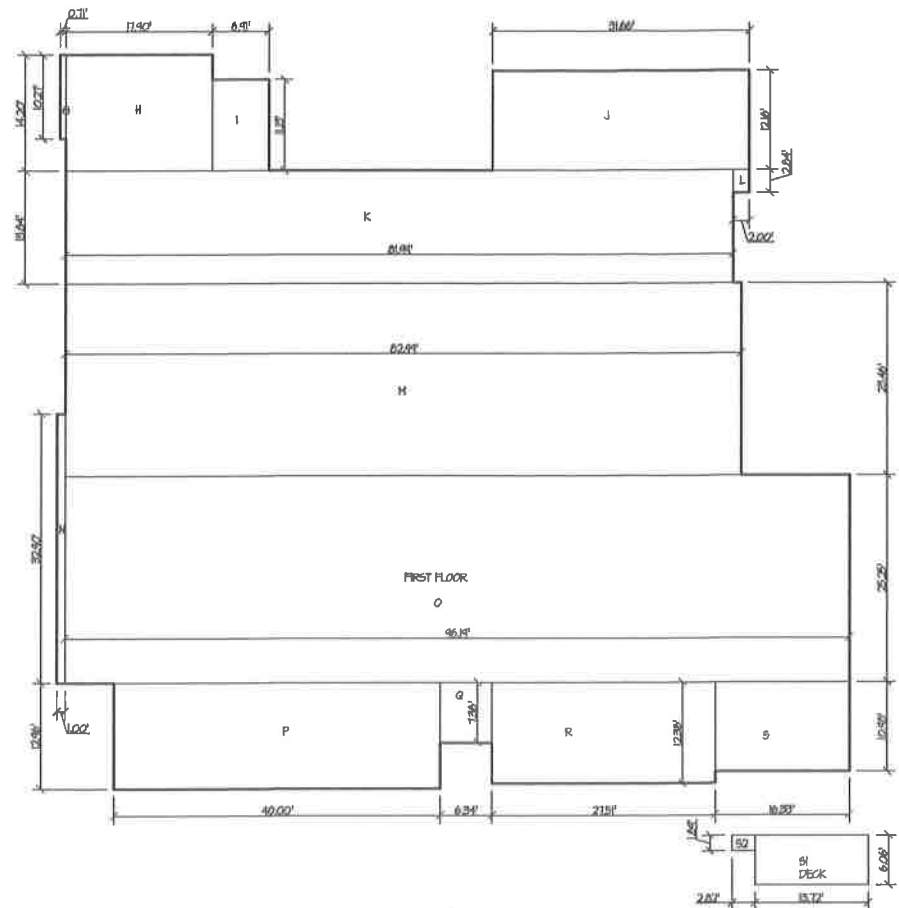
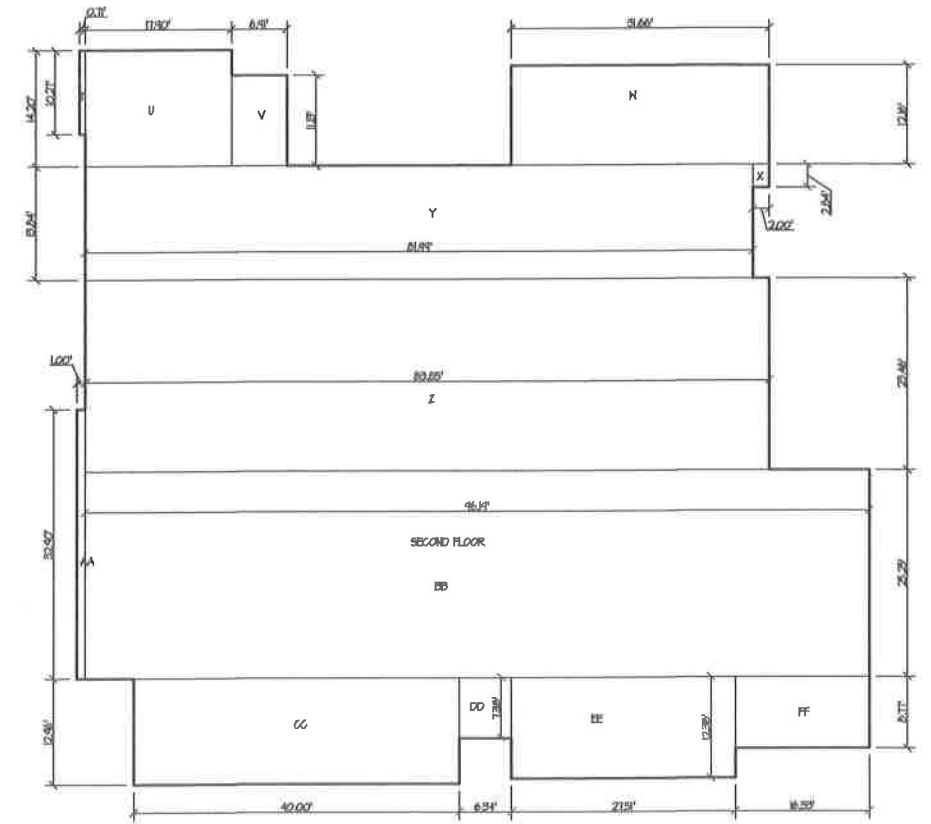
ADDITION & ALTERATION
FOR
BGC PROPERTIES, INC.
11 SUFFOLK AVE - FREEPORT, NY 11520

BKH
ARCHITECT P.C.
183 pat drive - west Islip, ny 11785
631-241-7328 bkharchitect@gmail.com



drawn by bkh	sheet # of 9
checked by bkh	
date 7-14-2023	
file 24-01	

A-2



AREA TAKE OFF

SCALE: 1" = 10'-0"

A = 10.27' X 10.61' = 108.72 SQ. FT.
B = 11.24' X 14.90' = 167.48 SQ. FT.
C = 10.65' X 4.77' = 50.62 SQ. FT.
D = 11.07' X 11.27' = 124.78 SQ. FT.
E = 5.07' X 5.45' = 27.53 SQ. FT.
F = 12.64' X 20.23' = 255.84 SQ. FT.

LOBBY LEVEL AREA = 440.64 SQ. FT.

B = 10.27' X 0.71' = 7.29 SQ. FT.
H = 11.9' X 14.2' = 169.18 SQ. FT.
I = 6.91' X 11.83' = 81.81 SQ. FT.
J = 10.65' X 12.81' = 136.48 SQ. FT.
K = 10.65' X 13.84' = 147.44 SQ. FT.
L = 2.07' X 2.84' = 5.88 SQ. FT.
M = 10.27' X 23.40' = 239.82 SQ. FT.
N = 11.07' X 32.4' = 358.63 SQ. FT.
O = 10.65' X 25.23' = 268.88 SQ. FT.
P = 40.07' X 12.96' = 519.4 SQ. FT.
Q = 13.9' X 6.34' = 88.15 SQ. FT.
R = 27.15' X 12.36' = 335.57 SQ. FT.
S = 18.35' X 10.96' = 200.52 SQ. FT.
T = 13.72' X 6.06' = 83.14 SQ. FT.
U = 10.9' X 2.82' = 30.74 SQ. FT.

FIRST FLOOR AREA = 7,445.91 SQ. FT.

T = 10.27' X 0.71' = 7.29 SQ. FT.
U = 11.9' X 14.2' = 169.18 SQ. FT.
V = 6.91' X 11.83' = 81.81 SQ. FT.
W = 10.65' X 12.81' = 136.48 SQ. FT.
X = 2.07' X 2.84' = 5.88 SQ. FT.
Y = 10.65' X 13.84' = 147.44 SQ. FT.
Z = 10.65' X 23.40' = 239.82 SQ. FT.
AA = 1.07' X 32.4' = 34.67 SQ. FT.
BB = 10.65' X 25.23' = 268.88 SQ. FT.
CC = 40.07' X 12.96' = 519.4 SQ. FT.
DD = 13.9' X 6.34' = 88.15 SQ. FT.
EE = 27.15' X 12.36' = 335.57 SQ. FT.
FF = 18.35' X 10.96' = 200.52 SQ. FT.

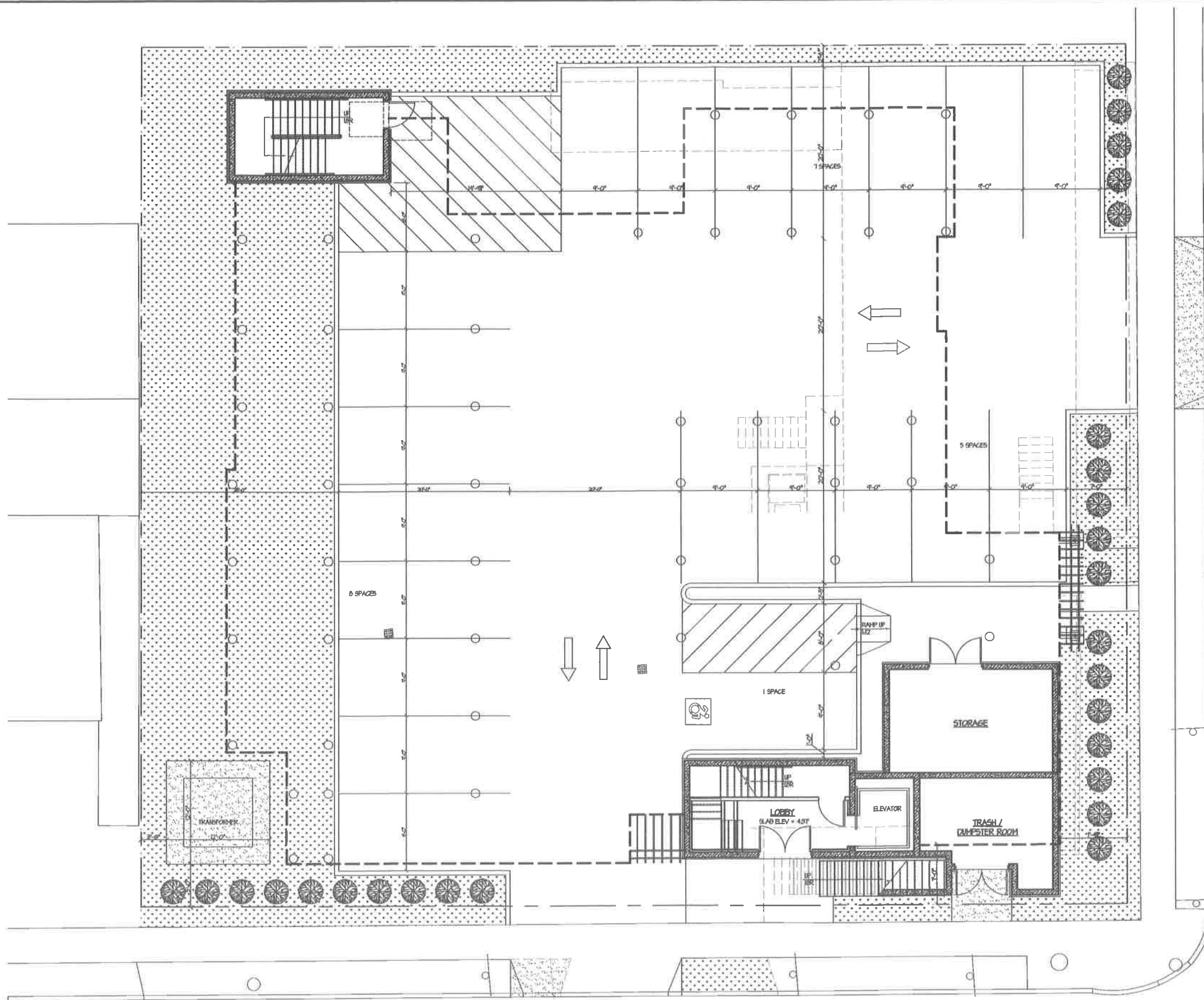
SECOND FLOOR AREA = 7,341.50 SQ. FT.

BB = 10.65' X 10.27' = 109.39 SQ. FT.
HH = 6.91' X 11.27' = 77.78 SQ. FT.
II = 12.75' X 6.12' = 78.05 SQ. FT.
JJ = 14.56' X 21.83' = 317.78 SQ. FT.
KK = 30.17' X 35.42' = 1069.88 SQ. FT.
LL = 10.07' X 11' = 110.77 SQ. FT.
MM = 13.9' X 13.83' = 191.26 SQ. FT.
NN = 13.9' X 14.65' = 203.26 SQ. FT.
OO = 11.17' X 12.15' = 135.81 SQ. FT.
PP = 5.09' X 7.49' = 38.32 SQ. FT.
QQ = 25.05' X 11.4' = 285.67 SQ. FT.
RR = 10.35' X 14.8' = 153.12 SQ. FT.
SS = 10.84' X 21.51' = 233.22 SQ. FT.
TT = 24.65' X 16.51' = 406.97 SQ. FT.
VV = 6.33' X 5.1' = 32.28 SQ. FT.
WW = 16.04' X 5.71' = 91.59 SQ. FT.
XX = 2.4' X 25.14' = 60.34 SQ. FT.
YY = 3.49' X 2.24' = 7.82 SQ. FT.

ROOF TOP A = 1,250.85 SQ. FT.
ROOF TOP B = 1,940.27 SQ. FT.

THIRD FLOOR AREA = 4,266.55 SQ. FT.
3rd FLOOR ROOF = 2,806.4 SQ. FT.
TOTAL THIRD FLOOR = 7,072.95 SQ. FT.

TOTAL FLOOR AREA = 440.64 + 7,445.91 + 7,341.50 + 4,266.55 = 19,494.60 SQ. FT.



LOWER LEVEL
SCALE 3/16" = 1'-0"

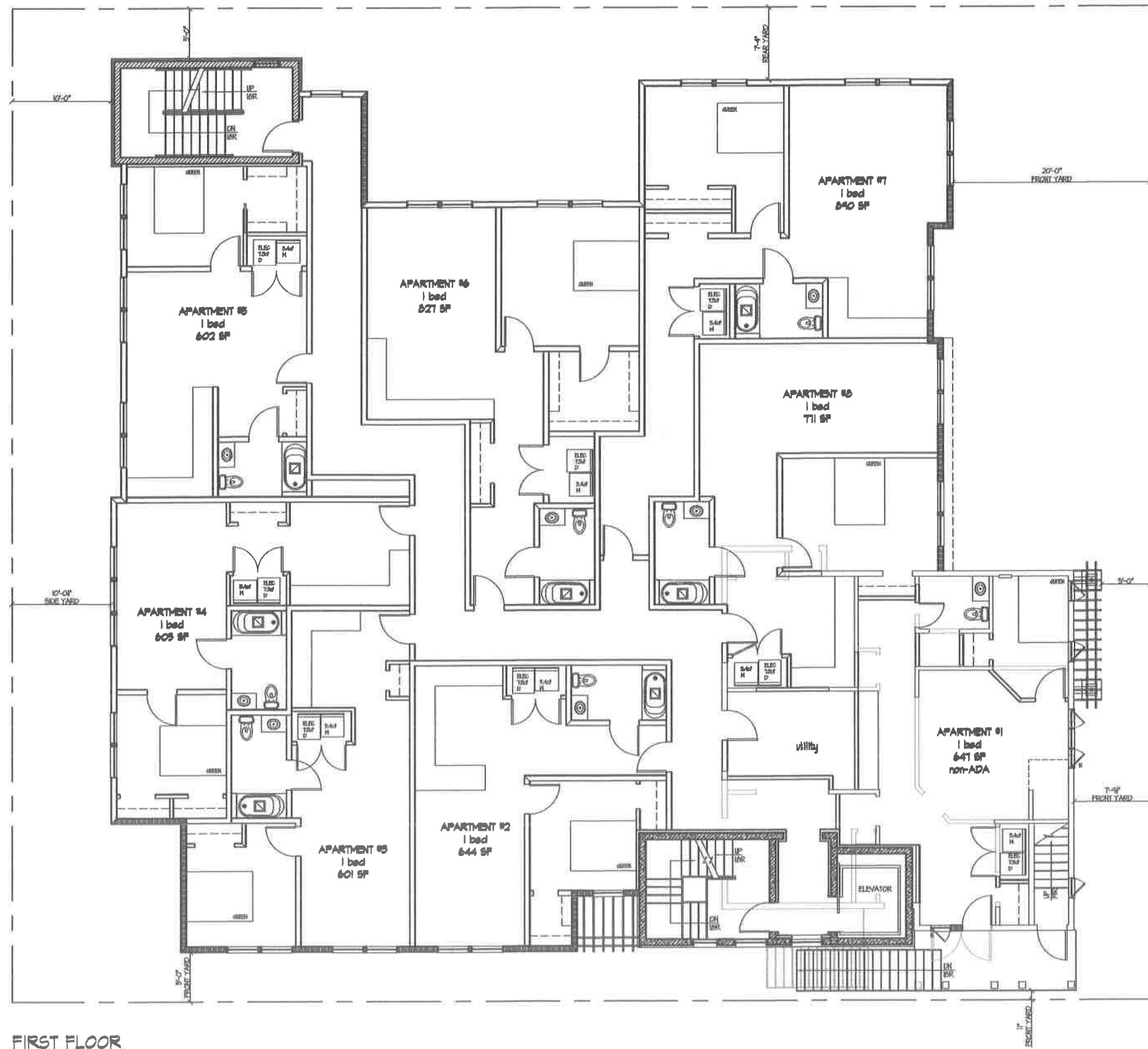
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2025 JUN 11 A 10:20
CLERK'S OFFICE
VILLAGE OF FREEPORT, NY
CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

revision	date	description
6-10-25	REVISE PER ZBA COMMENTS	
4-15-24	ISSUED TO DOB FOR DENIAL	
4-3-24	ISSUED TO DOB FOR DENIAL	
ADDITION & ALTERATION FOR BGC PROPERTIES, INC. 14 SUFFOLK AVE - FREEPORT, NY 11520		
BKH ARCHITECT P.L.L.C. 765 PAT DRIVE - WEST ISIP, NY 11795 631-241-7328 bkharchitect@gmail.com		
	drawn by bkh checked by bkh date 7-14-2025 title 24-01	sheets in set 9 A-3

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2025 JUN 11 A 10:20

CLERK'S OFFICE
VILLAGE OF FREEDOM, NY



FIRST FLOOR
SCALE: 3/16" = 1'-0"

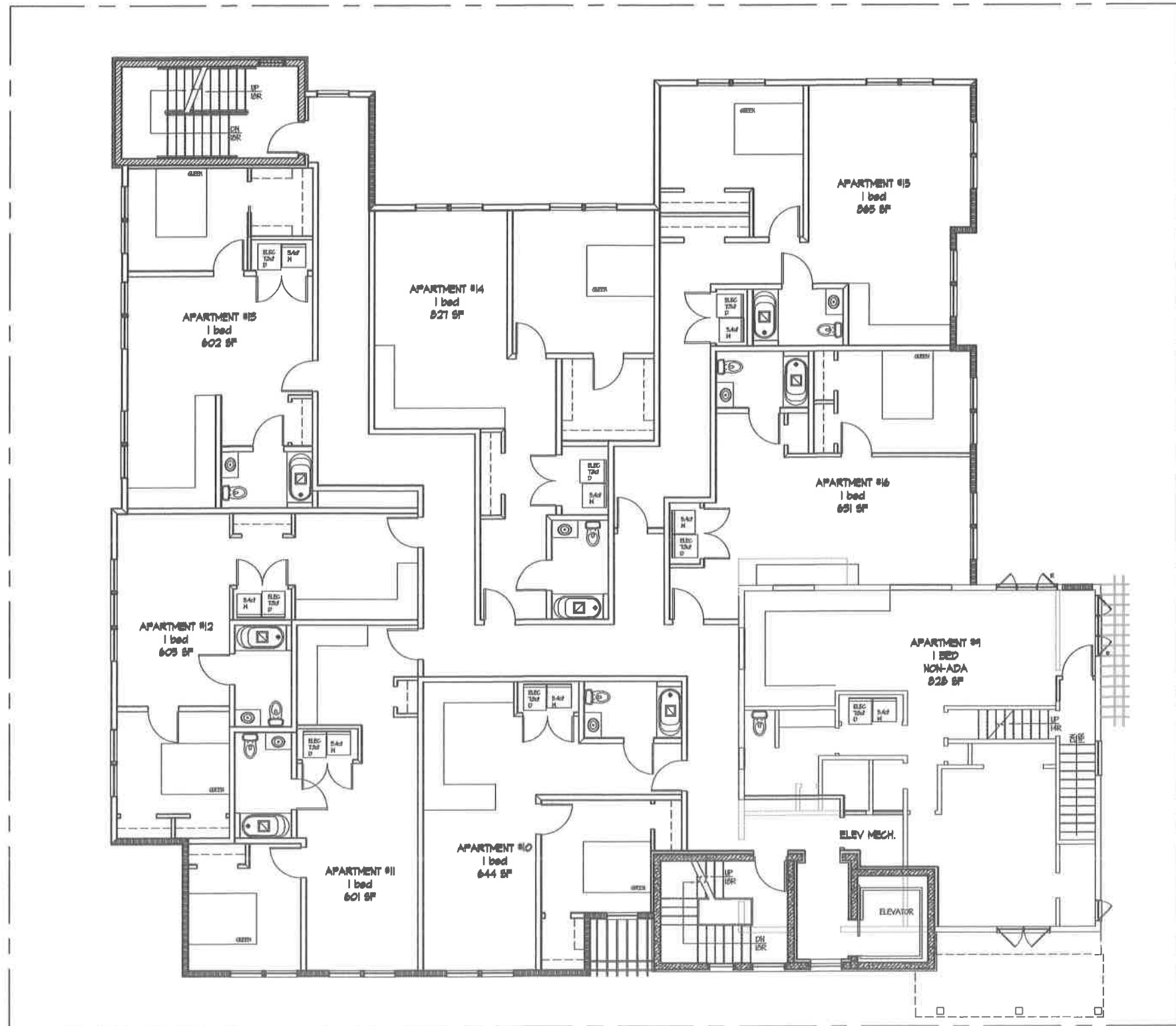
6-10-25	REVISE PER ZBA COMMENTS	
4-18-24	ISSUED TO DCB FOR DENIAL	
4-3-24	ISSUED TO DCB FOR DENIAL	
revision	date	description

<u>ADDITION & ALTERATION</u> FOR BGC PROPERTIES, INC. 14 SUFFOLK AVE - FREEPORT, NY 11520	
BKH	
ARCHITECT	plc
783 pot drive - west Islip, ny 11745 631-241-7328 bkharchitect@gmail.com	

	drawn by bkh	sheets in set: 9
	checked by bkh	
	date: 1-19-2023	A-4
	file: 24-CI	

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2025 JUN 11 A 10:20
CLIENT'S OFFICE
VILLAGE OF FREEPORT, NY



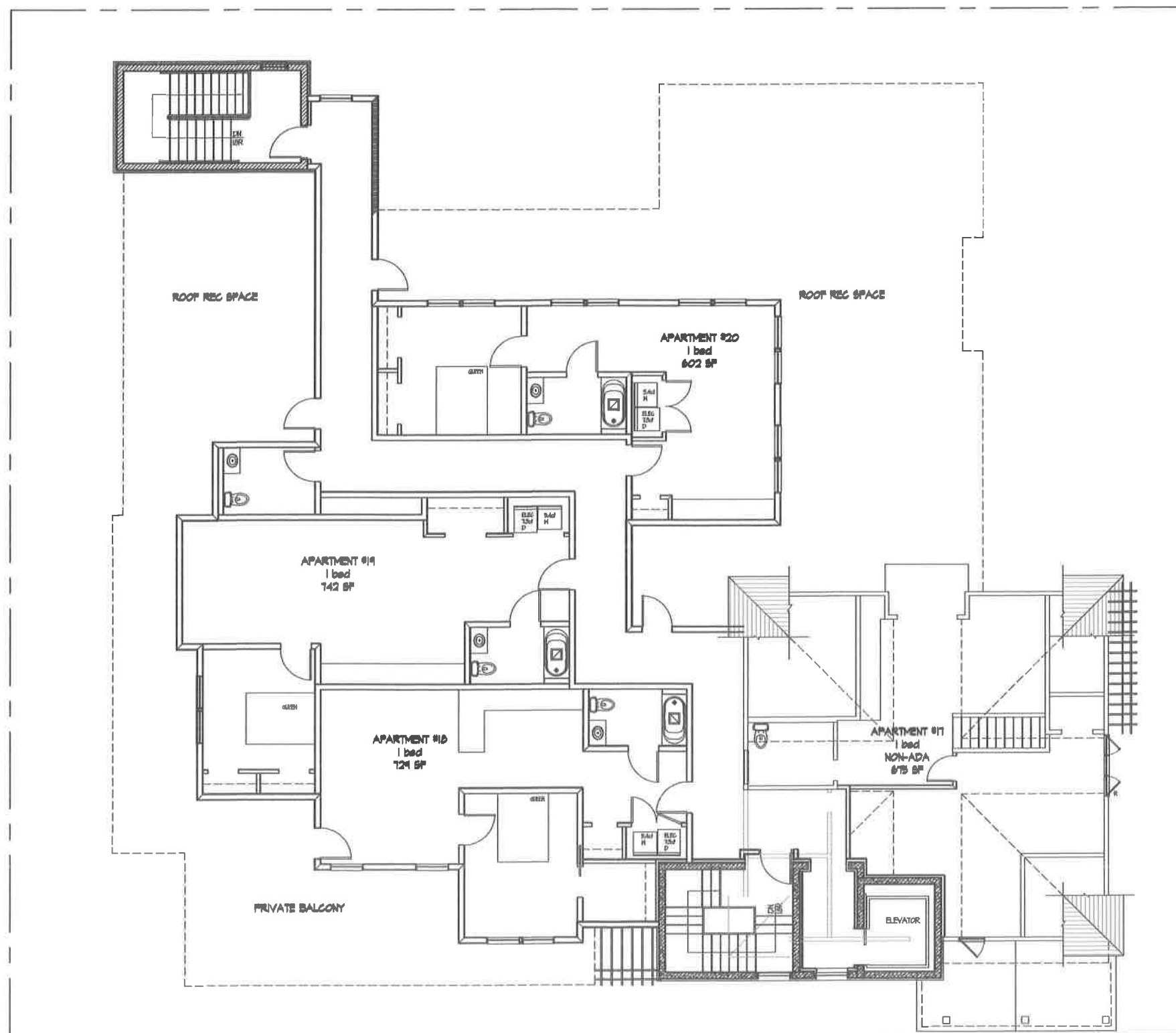
SECOND FLOOR
SCALE 3/16" = 1'-0"

revision	date	description
6-10-25		REVISE PER ZBA COMMENTS
4-18-24		ISSUED TO DOB FOR DENIAL
4-3-24		ISSUED TO DOB FOR DENIAL
ADDITION & ALTERATION FOR B&C PROPERTIES, INC. 13 SUFFOLK AVE - FREEPORT, NY 11520		
BKH ARCHITECT P.C. 783 post drive - west islip, ny 11795 631-241-7528 bkharchitect@gmail.com		
drawn by bkh	checked by bkh	sheet no. of 9
date 7-19-2023		A-5
file 24-01		

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2025 JUN 11 A 10:20

CLERK'S OFFICE
VILLAGE OF FREEPORT, NY



THIRD FLOOR
SCALE 3/16" = 1'-0"

6-10-25	REVISE PER ZBA COMMENTS	
4-18-24	ISSUED TO DOB FOR DENIAL	
4-3-24	ISSUED TO DOB FOR DENIAL	
revision	date	description
ADDITION & ALTERATION FOR BGC PROPERTIES, INC. 19 SUFFOLK AVE - FREEPORT, NY 11520		
BKH ARCHITECTS, P.C. 183 PAT DRIVE - WEST ISIP, NY 11755 631-241-7320 bkharchitects@gmail.com		
drawn by bkh	checked by bkh	date 7-14-2023
date 7-14-2023	file 24-01	sheet 9
		A-6

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2025 JUN 11 A 10:20

CLERK'S OFFICE
VILLAGE OF FREEPORT, NY



FRONT ELEVATION (NORTH)
SUFFOLK STREET
SCALE 1/4" = 1'-0"

revision	date	description
6-10-25	9-18-24	REVISE PER ZBA COMMENTS
9-18-24	9-3-24	ISSUED TO DOB FOR DENIAL
9-3-24		ISSUED TO DOB FOR DENIAL
ADDITION & ALTERATION FOR BGC PROPERTIES, INC. 14 SUFFOLK AVE - FREEPORT, NY 11520		
BKH ARCHITECT P.L.L.C. 783 PAT DRIVE - WEST ISLIP, NY 11785 631-241-7328 bkharchitect@gmail.com		
drawn by bkh	checked by bkh	date 1-14-2023
sheet 9	file 24-01	A-8



RECEIVED

INC. VILLAGE OF FREEPORT

Department of Buildings
46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

2024 OCT 18 P 3:16

Clerk's Office
VILLAGE OF FREEPORT, NY

ROBERT T. KENNEDY
MAYOR

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

October 18, 2024
LETTER OF DENIAL

BGC Properties INC
19 Suffolk Street
Freeport, NY 11520

RE: 19 Suffolk Street, Freeport, NY

Zoning District – Marine Commerce Sec. 62 Blk. 176 Lots 325,326,327,328,329.

Building Permit Application #20243928

Description – Construct addition to existing building and change use to residence apartment for 24 unit 4-story apartment building 22,511.06 SF

Dear Sir/Madam:

Please be advised that the above captioned Building Permit Application must be denied for the following reason(s):

Village Ordinance §210-6A. No building or land shall hereafter be used or occupied and no building or part thereof shall be erected, moved or altered unless in conformity with the regulations herein specified for the district in which it is located.

Village Ordinance §210-238. Prohibited uses.

B. Any use not specifically permitted shall be prohibited. Apartment houses are not a specificity use.

Village Ordinance §210-47. Building height.

A. Generally. No apartment houses shall not exceed 32 feet in height nor have more than 2 1/2 stories, including the basement. According to the drawings submitted the high of the building is 42'-8" and 4 stories. You will be seeking a variance of 7'-8" and a variance for the additional 1.5 stories.

Village Ordinance §210-48. Lot area; apartments.

No apartment house shall be erected on a lot whose area is less than 15,000 square feet or which provides less than 990 square feet of lot area per apartment unit. According to the drawings submitted the lot area is 11,500 SF and only 11 apartments would be allowed. You will be seeking a variance of 3,500 SF and 13 apartments.

Village Ordinance §210-49. Lot coverage.

B. Apartments. An apartment house shall not occupy more than 40% of the area of the lot, including accessory buildings or structures. According to the drawings submitted 62.3% is going to be occupied when only 40% is permitted. You will be seeking a variance of 22.3%

C. Open space. Open space, out-of-doors and uncovered, shall be provided at the ratio of at least one square foot of open space to each two square feet of residential floor area which excludes the basement or cellar. According to the drawings the required open space should be 11,255.53 SF and only 4,118.28 is provided.

D. Open recreation space. Open recreation space, out-of-doors, shall be provided on the basis of 1/6 of the open space requirement in a single contiguous area other than the front yard. **This** requirement is a part of the open space requirement. Open recreation space shall use a portion of the open space required by Subsection **C** above. According to the drawings submitted no open space was provided and you will be seeking a variance of 3,846.18 SF of open space. As per 86-11 Open recreation must be at grade level.

Village Ordinance §210-51. Required yards.

A. Front yard depth: the average front yard depth of existing buildings on the same side of the street in the same block and within 200 feet of each side of the lot; if there are no existing buildings as aforesaid, the average front yard depth of existing buildings on the opposite side of the street in the same block and within 200 feet of the lines projected from each side of the lot; in no event, less than 25 feet; According to the drawings submitted the frontage is 5.8', 7.8' and 0.9"

B. Side yard width: 20 feet; According to the drawings submitted the side yard is 10'.

C. Rear yard depth: 20 feet: According to the drawings submitted the rear yard is 5'.

Village Ordinance §210- 52. Parking space for apartment building.

Parking space shall be provided as set forth in § **210-172**.

As per 210-172 indicates that you will need 36 parking spaces but only 20 legal parking spaces were provided. You will be seeking a variance of 16 parking spaces.

Village Ordinance §210- 54. Front yards of apartment building.

With the exception of the necessary driveways, walks and entrance areas, the front yard of any apartment house shall be fully graded, landscaped and continuously maintained in a neat and orderly fashion, and no portion of the said front yard shall be used for parking automobiles or other vehicles or storing articles of any kind. According to the drawings submitted the parking and trash room are in the front yard and secondary front yard.

Please be further advised that if you intend to appeal this decision you must file an application within sixty (60) days of the date of this letter. For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the **Village Clerk's Office at 516-377-2202** to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only

ONE complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Zoning Board of Appeals within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Zoning Board of Appeals Application, please call the **VILLAGE CLERK'S OFFICE** at 377-2202

Very truly yours,

Sergio A. Mauras
Superintendent of Buildings
Daniela Hernandez
SITE PLAN APPROVAL NEEDED: YES

RECEIVED
2024 OCT 18 PM 3:17
VILLAGE CLERK'S OFFICE
VILLAGE CLERK'S OFFICE



SEC. 102 BLK. 176 LOT. 325
326
327
328
329

BOARD OF APPEALS OF THE VILLAGE OF FREEPORT

In the Matter
Of
the Application of

To The Board of Appeals of the Village of Freeport, New York

Index No.

COMPLY WITH
ORIGINAL NOTES

The application of 19 Suffolk St Addition, alteration + Change of use
respectfully states and alleges:

Strike out
inapplicable
phrase

1. That the applicant (resides at) (has its principal office for the conducting of its business at)

19 Suffolk St, Freeport ny 11520

State whether
applicant is owner,
lessee, or has option
or contract. If other
than owner, state
briefly terms of
agreement.

2. That the premises affected by this application is located at

19 Suffolk St Freeport ny 11520

Land Map of Nassau County

Sec. 102 Blk. 176 Lot(s) 325

and that the interest which the applicant has in the property concerned is that of

applicant is owner of property

3. That ~~(the applicant)~~ (the applicant's duly authorized _____) on or about the
4th day of September 2024, filed in the office of the Department of Buildings of the Village of
Freeport, New York, an application for a Building Permit. Documents filed with said application were
as follows:

Architectural Plans

Obtain reason for
denial from
Department of
Buildings.

4. That on or about the 17th day of October, 2024, the Department of Buildings denied said
application; upon information and belief that the reason for said denial was as follows: multiple
village ordinance's, listed in #8

Describe by
construction and
number of stories. If
none, so state.

5. That the nature of the improvements now upon said premises is as follows:

extension of existing buildings to include 24-
1 bedroom units

State nature of use of
property. If a
business, give brief
description.

6. That said premises are now being used as follows:

commercial office space and 1 apartment

Describe fully and
clearly the use
desired.

7. That the applicant seeks authority to make use of said premises as follows:

apartment district

Strike out whichever
word is not
applicable. Follow
language in
ordinance.

8. Upon information and belief that a (permit) (variance) for such use may be granted by this Board by
virtue of the following sections of the said Zoning Code of The Village of Freeport or statutes of the
State of New York 210-69, 210-47, 210-48, 210-49, 210-51
210-172, 210-54, 210-52

Refer where possible
to paragraphs and
section by numbers.

9. That the following is a statement of other factual information deemed pertinent by the applicant. If the
application involves a subdivision of property, describe the existing property:

19

If more space is needed annex statement on separate sheet and refer to it here with following words: "See annexed statement which is made a part hereof." Save opinions for the hearing.

If non-conforming use is claimed, set forth uses made of premises and dates thereof in chronological order.

If this verification is made by an officer of a corporation or an Association or by a legal representative of an estate, his name and office should be designated on the first line.

10. That the grounds for this application are as follows:

Cannot realize reasonable return on property

11. That any deed restrictions running with the land prohibiting the desired use are as follows:

NA

12. That (the applicant has made no previous application to this Board for the authority sought herein) (upon information and belief a previous application was made for the same or similar authority sought herein and denied by this Board, but that this application contains facts not alleged or shown in any previous preceding before this Board).

WHEREFORE, the applicant respectfully prays that the authority sought herein be granted.

Dated: September 23RD, 20 24.

BY: [Signature]

ITS: _____

State of New York)
County of Nassau) ss:

The applicant Ben Jackson / BGC Properties named in the foregoing application, being duly sworn, depose and say that he read the foregoing application subscribed by _____ and know the contents thereof; and that the same is true to his own knowledge except as to the matters therein stated to be alleged on information and belief, and that as to those matters _____ believe _____ to be true.

Sworn to before me this 23RD day
of September, 20 24.

[Signature]
Signature of Applicant

Notary Public [Signature]

Notice Conflict of Interest

I have read Section 809 of the General Municipal Law concerning disclosure of and conflict of interest and hereby certify that there are no conflicts in respect to this application requiring disclosure.

September 23RD, 20 24.
Date Year

[Signature]
Signature

Affidavit of Owner

To be completed only if the owner is not the applicant.

State of New York)
County of Nassau) ss:

I Ben Jackson being duly sworn, depose and say:

That he (the owner of 19 Suffolk St Kneppert) (is the owner of 19 Suffolk St Kneppert of 19 Suffolk St Kneppert the property concerned is correct to the best of the knowledge of deponent _____.)

That the owner Ben Jackson consents to the granting of the authority sought in the above application.

Sworn to before me this 18th day
of October, 20 24.

[Signature]
Signature

[Signature]

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

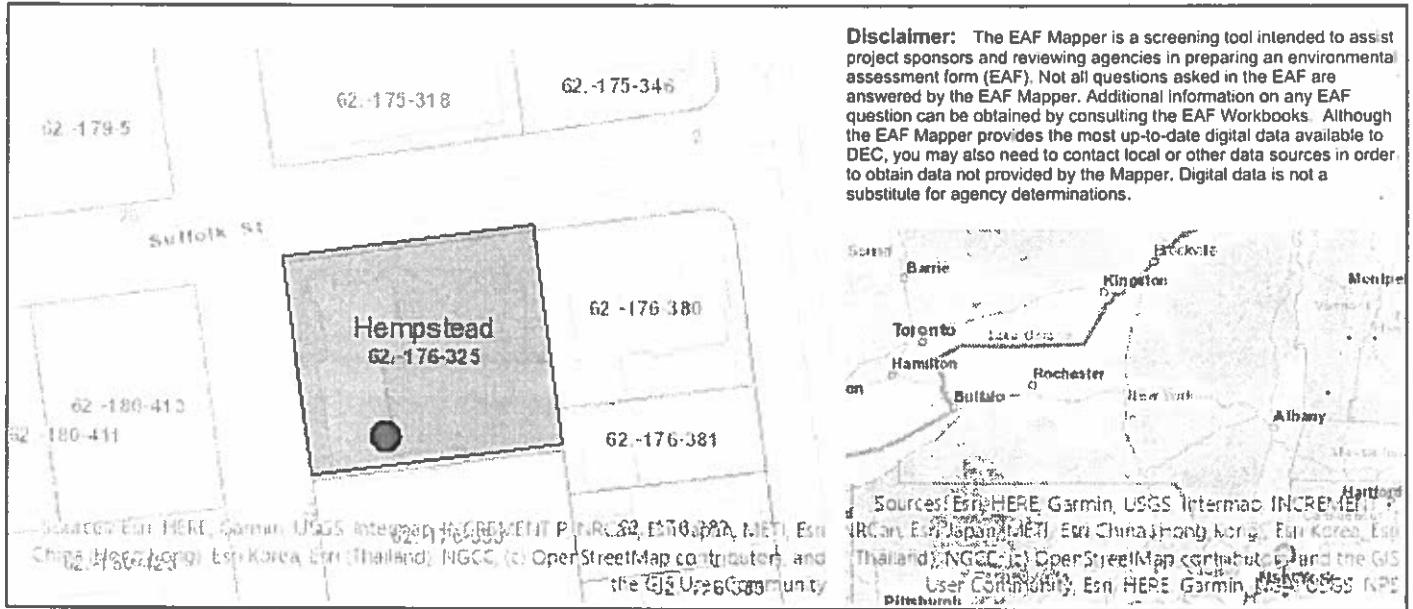
Part 1 – Project and Sponsor Information			
Name of Action or Project: 19 Suffolk Street - Freeport, NY 11520			
Project Location (describe, and attach a location map): corner of suffolk street and South Ocean Ave			
Brief Description of Proposed Action: Proposed addition, alteration and change of use to create a 24 unit apartment building			
Name of Applicant or Sponsor: Brandon Hamchuk, RA		Telephone: 631-241-7328 E-Mail: BKHarchitect@gmail.com	
Address: 783 Pat Drive			
City/PO: West Islip		State: NY	Zip Code: 11795
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO ☒ YES ☐
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			NO ☒ YES ☐
3. a. Total acreage of the site of the proposed action?		0.264 acres	
b. Total acreage to be physically disturbed?		0.264 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		0264 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. ☐ Urban ☐ Rural (non-agriculture) ☐ Industrial ☒ Commercial ☒ Residential (suburban) ☐ Forest ☐ Agriculture ☐ Aquatic ☐ Other(Specify): ☐ Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	☒	☐	☐
b. Consistent with the adopted comprehensive plan?	☐	☒	☐
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	☐	☒	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	☒	☐	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
b. Are public transportation services available at or near the site of the proposed action?	☒	☐	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	☒	☐	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: State code _____	☐	☒	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____	☐	☒	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____	☐	☒	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	☒	☐	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	☐	☒	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	☒	☐	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____			

RECEIVED
MAY 18 2017

EAF Mapper Summary Report

Wednesday, May 17, 2023 8:59 PM



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	Yes
Part 1 / Question 20 [Remediation Site]	No

DEPARTMENT OF BUILDINGS

OF THE VILLAGE OF FREEPORT, N.Y.

APPLICATION NO. 70243938

SEP 4 - 2024

Filing Date 9/4/24

Application for Erection of Buildings or Alterations

IMPORTANT - Applicant to complete all items in sections: I, II, III, IV, V

I. LOCATION OF BUILDING	AT (LOCATION) <u>19 Suffolk Street</u>	ZONING DISTRICT <u>Marine Commerce</u>
	(No.) (Street)	
	BETWEEN <u>South Ocean Ave</u> AND <u>Woodcleft Ave</u>	
	(Cross Street) (Cross Street)	
SECTION <u>62</u>	BLOCK <u>176</u>	LOT <u>325, 326, 327, 328, 329</u>
		APPROX. LOT SIZE <u>100.0' x 115.0'</u> LOT AREA <u>11,500</u>

II. TYPE AND COST OF BUILDING - All applicants complete Parts A - D.

A. TYPE OF IMPROVEMENT		B. PROPOSED OR EXISTING USE	
1 New building 2 ☒ Addition-Alteration (If residential, enter number of new housing units added. If non-state none <u>24</u>) 3 Swimming Pool 4 Repair (replacement) 5 Bulkhead (New, Repair) 6 Fence 7 Moving (relocation)		RESIDENTIAL 11 One Family 12 Two families 13 ☒ Apartment - Enter No. of Units <u>24</u> 14 Transient hotel, motel, or dormitory - Enter No. of Units _____ 15 Garage or Accessory Structure 16 Other - Specify _____ NON RESIDENTIAL - Complete Part "E" 17 Industrial 18 Office, bank, professional 19 Stores, mercantile 20 Church, other religious 21 Hospital, institutional 22 Other - Specify _____	
C. COST		D. DESCRIPTION OF PROJECT	
10 TOTAL COST OF IMPROVEMENT \$ <u>250,000</u>		<u>Addition, alteration and change of use for 24 unit apartment building</u> _____ _____	

III. IDENTIFICATION - To be completed by all applicants

NAME	MAILING ADDRESS - Number, street, city and state, Zip	TEL. NO.
1. Owner or Lessee BGC Properties inc.	19 Suffolk Street - Freeport, NY 11520	516-623-2945
2. Contractor		
3. Architect or Engineer BKH Architect, pllc	783 Pat Dr. - West Islip, NY 11795	631-241-7328

IV. OWNER - CONTRACTOR STATEMENT

Building permit is issued subject to the provisions of Section 57 of the Workmen's Compensation Law.

Workmen's Compensation Certificate No. _____ Company _____ Exp. Date _____

Contractor or Owner _____ (Print)
 Address _____
 Phone _____

State of New York
 County of Nassau
BGC Properties, Inc. being duly sworn, says that he is the contractor or owner of the above mentioned building. That the items of the above application also the estimated cost of said building or alteration, is correct to the best of his knowledge and belief and agrees to conform to all applicable laws of this Jurisdiction (He or Her)

V. FLOOD ZONE

IS PROJECT LOCATED WITHIN A DESIGNATED FLOOD HAZARD ZONE?
 YES ☒ NO ☐
 IF YES, WHICH ZONE? AE-8

IS PROJECT TO REPAIR FLOOD DAMAGE?
 YES ☐ NO ☒

PROJECT DESCRIPTION

Total/First Floor Square Feet 684.0

Upper Floor Square Feet 23,032

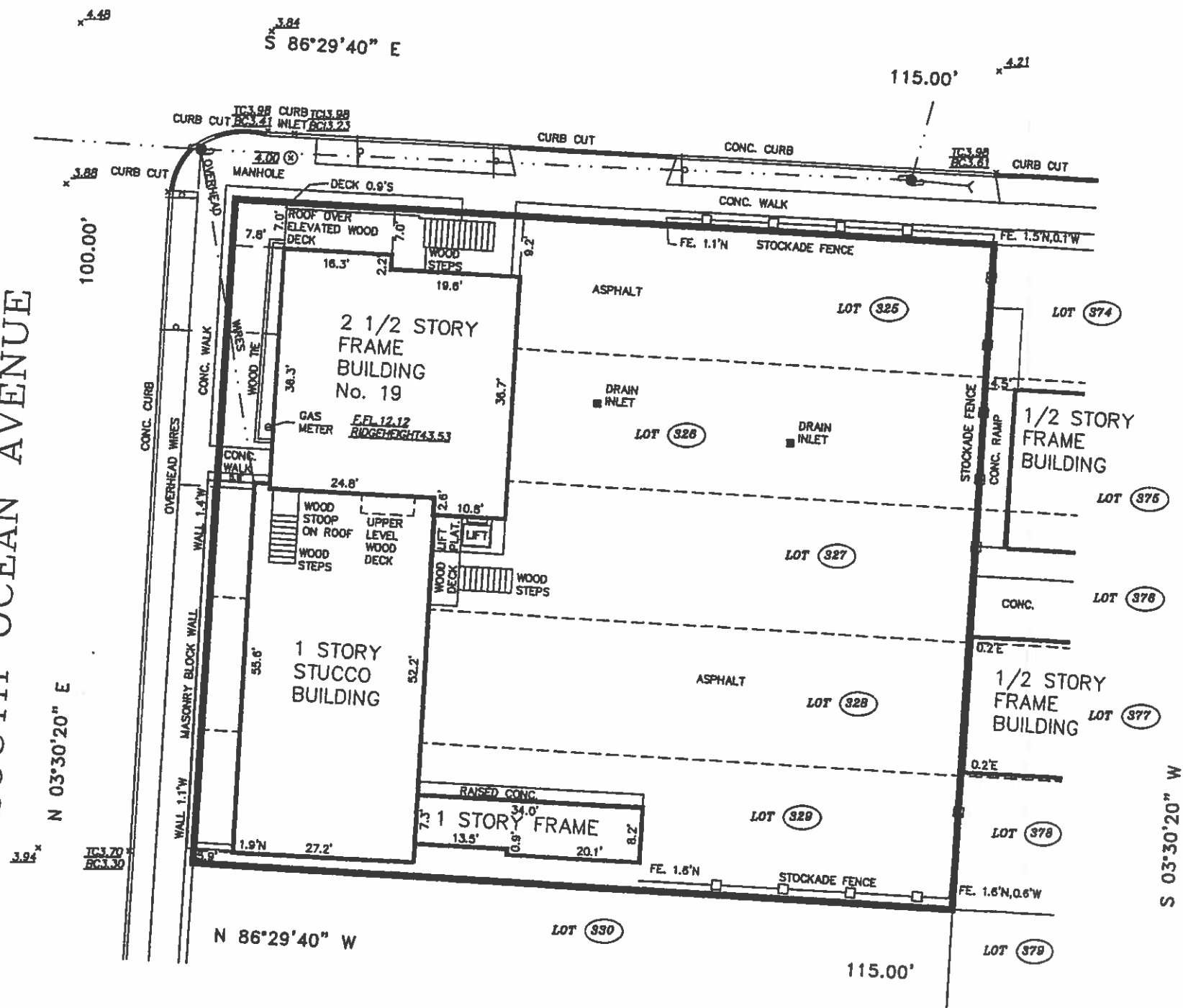
SUFFOLK STREET

SURVEY OF
LOTS 325-329
MAP OF
WOODCLEFT BAY ESTATES SEC. No. 1
FILE NO. 3479 FILED JULY 16, 1925
SITUATED AT
INC. VILLAGE OF FREEPORT
TOWN OF HEMPSTEAD
NASSAU COUNTY, NEW YORK
N.C. TAX No. SECTION 62 BLOCK 176 LOTS 325-329

SCALE 1"=20'
JUNE 4, 2017
SEPTEMBER 13, 2024 ADD ELEVATIONS

AREA = 11,500 sq. ft.
0.264 ac.

SOUTH OCEAN AVENUE



NOTES:

- ELEVATIONS ARE REFERENCED TO N.A.V.D. 1988 DATUM
EXISTING ELEVATIONS ARE SHOWN THUS: $x_{0.00}$

NOTE: LOCATIONS AND EXISTENCE OF ANY
SUBSURFACE UTILITIES AND/OR STRUCTURES
NOT READILY VISIBLE, ARE NOT CERTIFIED.

METES AND BOUNDS SURVEYING

53 PROBST DRIVE
SHIRLEY, NY 11967
PHONE (516) 972-5812

LOT: 325-329 BLOCK: 176 SECTION: 62

MAP OF: WOODCLEFT BAY ESTATES SEC. No. 1
FILE No. 644

SITUATED AT: INC. VILLAGE OF FREEPORT
NASSAU COUNTY, NEW YORK

CERTIFIED
TO

FIDELITY NATIONAL TITLE INSURANCE COMPANY
EAST COAST ABSTRACT, INC.
OCEAN FINANCIAL FEDERAL CREDIT UNION
BGC PROPERTIES INC.

THIS SURVEY IS SUBJECT TO ANY EASEMENT
OF RECORD AND ANY OTHER PERTINENT FACTS
WHICH A TITLE SEARCH MIGHT DISCLOSE

"UNAUTHORIZED ALTERATION OR ADDITION TO A
SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S
SEAL IS A VIOLATION OF ARTICLE 134, SECTION
7206, SUBDIVISION 2, OF THE NEW YORK STATE
EDUCATION LAW"

"Copies from the original of this survey map
not marked with an original of the land
surveyor's inked seal or his embossed seal
shall not be considered a valid true copy."
Certification indicated hereon signify that
this survey was prepared in accordance with
the existing Code of Practice for Land Surveys
adopted by the New York State Association of
Professional Land Surveyors. Said
certifications shall run only to the person
for whom the survey is prepared, and on his
behalf to the title company, governmental
agency and lending institution.
Certifications are not transferable to
additional institutions or subsequent owners."

JOB NO.: 17-193B
DATE: SEPTEMBER 13, 2024



STORY DIAGRAM
SCALE: 1/8" = 1'-0"

ZONING INFORMATION

M SUFFOLK STREET - FREEPORT, NY 11520

SEC. 62 BLK. 116 LOT. 325326321328329 ZONE: MARINE COMMERCE FEHA: AE-2

LOT SIZE: 100.0' X 15.0' = 1,500.0 SQ. FT. ~ 0.264 ACRE

210-418 MAX LOT COVERAGE = 40 X 11,500.0 = 4,600.0 SQ. FT.
ACTUAL LOT COVERAGE = 7,381.2 / 4,600

210-418 OPEN SPACE = 22511.06 / 2 = 11,255.53 SQ. FT.
ACTUAL O.S. = 4118.28 / 11,255.53

210-418 REG. SPACE = 1/8 = 16.7 X 22511.06 = 3,754.35 SQ. FT.
ACTUAL GROUND LEVEL R.S. = 0 / 3,754.35
ROOF TOP R.S. = 2,000 / 3,754.35

210-418 LOT AREA / DENSITY = 990 PER DU
= 1,500 / 990 = 1.51 DU
= 1,500 / 24 = 62.5 SQ. FT.
ACTUAL L.A. / DENSITY = 24 DU / 1.51

SECTION	ITEM	REQUIRED	EXISTING	PROPOSED
210-418	LOT COVERAGE	40% ~ 4,600	21.7% ~ 3,185.54	62.3% ~ 7,381.2
210-418	LOT AREA	15,000	11,500	NO CHANGE
210-50	MIN. F.A.	600 SF	814 SF	629 SF
210-46	DENSITY	990 ~ 11 DU	5,150 ~ 2 DU	471.11 ~ 24 DU
210-418	OPEN SPACE	11,555	8,344.41	4,118.28
210-418	REG. SPACE	3,746.18	0	2,000 ROOF DECK
210-51A	FRONT YARD	25'	5.8' / 1.0' / 0.9'	5.0' / 1.82' / 0.9'
210-51B	SIDE YARD	20'	7.3'	10.0'
210-51C	REAR YARD	20'	1.9'	5.0'
210-241	BUFFER	20'	5.8'	20.0' / 1.82'
210-41	HEIGHT	32' ~ 25 STY	36'-6" ~ 3 STY	42'-8" ~ 4 STY
210-112A21	PARKING	36 SPACES	14 SPACES	31 SPACES

PARKING 210-112A21

REQUIREMENTS	
BOATS ACCESSIBLE	= 26 TO 50 + 2 SPACES REG'D
ONE BEDROOM	= 15 SPACES
TWO BEDROOM OR MORE	= 2 SPACES

ACTUAL
ONE BEDROOMS = 24

24 X 15 = 36 SPACES

PROVIDED = 31 SPACES TOTAL
ACCESSIBLE = 2 SPACES

ESTABLISHED GRADE

SUFFOLK STREET = 4.2' + 3.84' = 8.05'
SOUTH OCEAN AVE = 3.94' + 3.86' = 7.82'
INTERSECTING CORNER = 4.48'

AVG. STREET CROWN = 20.35' / 5 = 4.07'

FLOOD ZONE = ELEV. 10.0'

ADJUSTED GRADE = 10.0' + 4.07' + 14.07' / 2 = 14.04'

BUILDING INFORMATION

2020 BUILDING CODE OF NYS

NEW CONSTRUCTION

OCCUPANCY CLASS = R-2

CONSTRUCTION CLASS = 5A

ALLOWABLE STORY = 4 ~ 10' 0"
ACTUAL STORY = 3 ~ 57'-1"

ALLOWABLE SF = 96,000
ACTUAL SF = 1,128.52

PER SECTION 510.4 STORY COUNTS AT SECOND FLOOR

TABLE 601
CONSTRUCTION CLASS = 5A

STRUCTURAL FRAME = 1 HOUR
BEARING WALL EXTERIOR = 1 HOUR
BEARING WALL INTERIOR = 1 HOUR
NON BEARING WALL = 0 HOUR
FLOOR CONSTRUCTION = 1 HOUR
ROOF CONSTRUCTION = 1 HOUR

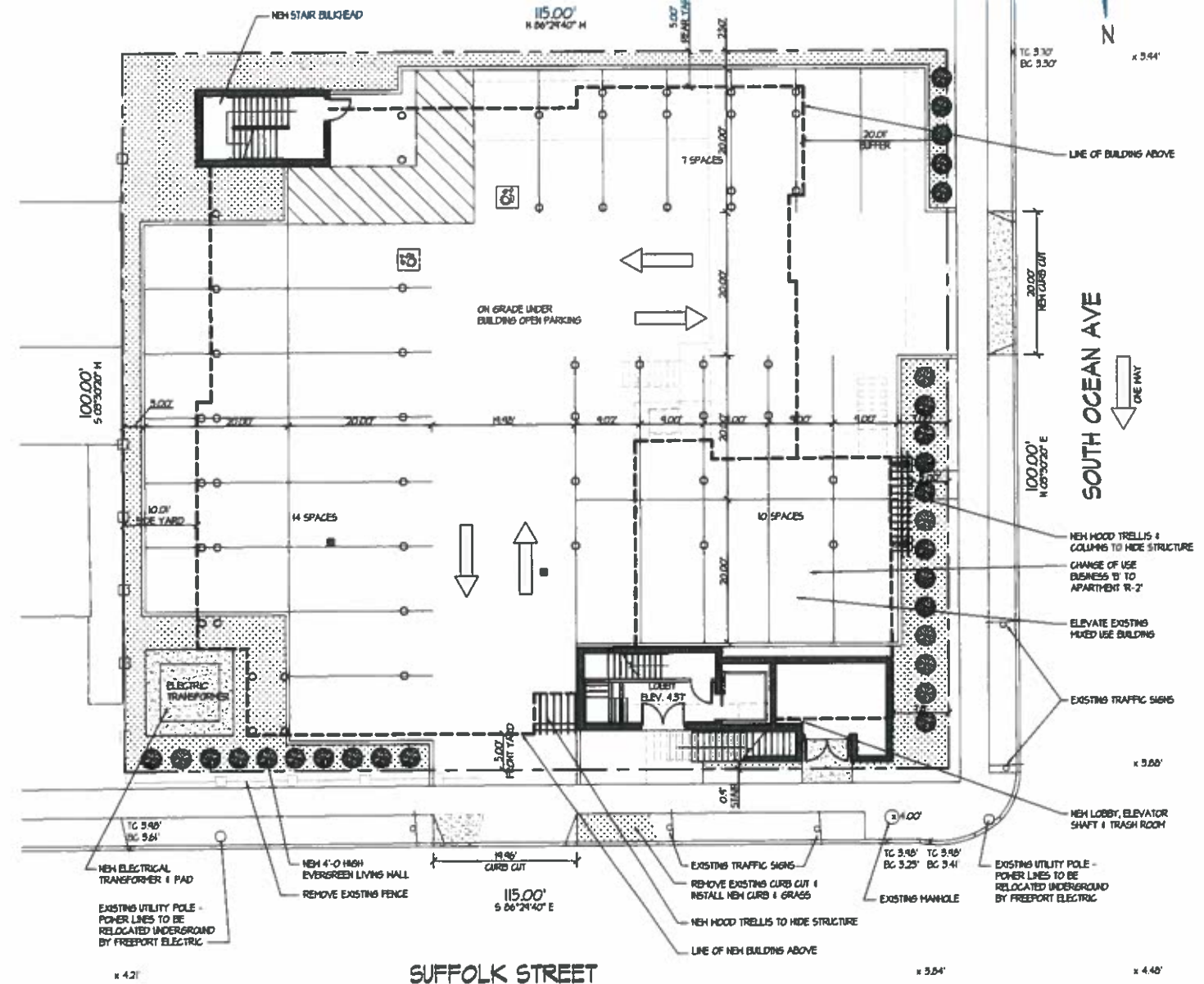
ALL WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH:

2020 NEW YORK STATE BUILDING CODE
2020 NEW YORK STATE EXISTING BUILDING CODE
2020 NEW YORK STATE PLUMBING CODE
2020 NEW YORK STATE MECHANICAL CODE
2020 NEW YORK STATE FUEL GAS CODE
2020 NEW YORK STATE FIRE CODE
2020 NEW YORK STATE PROPERTY MAINTENANCE CODE
2020 NEW YORK STATE ENERGY CONSERVATION CODE
2011 ANSI ADA ICC ACCESSIBILITY

TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE, USING CHAPTER 4



PROVIDE DECAL AND ATTACH TO STRUCTURE PER VILLAGE REQUIREMENTS



PLOT PLAN

SCALE: 1" = 10'-0"

ALL INFORMATION BASED UPON SURVEY PREPARED BY METES AND BOUNDS SURVEYING, DATED 6-4-2017. THE CONTRACTOR SHALL BE RESPONSIBLE TO RETAIN A LICENSED LAND SURVEYOR TO CHECK & VERIFY ALL LINES, BOUNDARIES, SETBACKS & ELEVATIONS PRIOR TO EXCAVATION. REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.

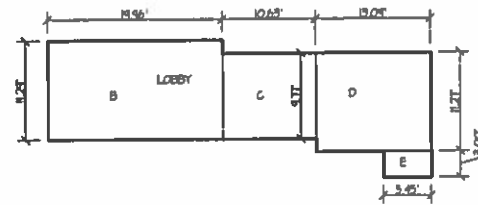
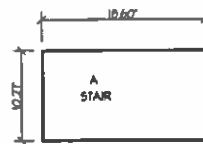


FIRM MAP

FIRM MAP # 3605AC02346

FEHA: AE-2 + 4' FREEBOARD

revision	date	description
4-18-24	ISSUED TO DOB FOR DENIAL	
4-3-24	ISSUED TO DOB FOR DENIAL	
ADDITION & ALTERATION FOR BGC PROPERTIES, INC. 14 SUFFOLK AVE - FREEPORT, NY 11520 BKH ARCHITECT P.C. 783 pat drive - west Islip, ny 11795 631-241-7328 bkharchitect@gmail.com		
drawn by	sheet	in set
bkh	9	
checked by		
bkh		
date		
7-19-2023		
file		
24-01		



AREA TAKE OFF

SCALE: 1" = 10'-0"

A = 10.27' X 10.67' = 109.02 SQ. FT.
B = 11.24' X 14.83' = 166.75 SQ. FT.
C = 10.63' X 4.77' = 50.56 SQ. FT.
D = 10.63' X 11.27' = 120.00 SQ. FT.
E = 3.07' X 5.45' = 16.73 SQ. FT.

LOWER LEVEL AREA = 664.1 SQ. FT.

F = 10.27' X 11.71' = 120.30 SQ. FT.
G = 6.4' X 14.83' = 94.94 SQ. FT.
H = 34.44' X 12.26' = 422.23 SQ. FT.
I = 31.66' X 15.15' = 479.02 SQ. FT.
J = 80.94' X 12.06' = 976.14 SQ. FT.
K = 81.94' X 24.6' = 2016.55 SQ. FT.
L = 45.14' X 26.21' = 1184.45 SQ. FT.
M = 34.35' X 2.07' = 71.11 SQ. FT.
N = 12.07' X 40.07' = 483.50 SQ. FT.
O = 6.42' X 6.34' = 40.71 SQ. FT.
P = 11.42' X 21.51' = 245.76 SQ. FT.
Q = 16.33' X 10.07' = 164.28 SQ. FT.
R = 10.27' X 11.71' = 120.30 SQ. FT.
S = 6.4' X 14.83' = 94.94 SQ. FT.
T = 34.44' X 12.26' = 422.23 SQ. FT.
U = 31.66' X 15.15' = 479.02 SQ. FT.
V = 80.94' X 12.06' = 976.14 SQ. FT.
W = 81.94' X 24.6' = 2016.55 SQ. FT.
X = 34.35' X 2.07' = 71.11 SQ. FT.
Y = 45.14' X 26.21' = 1184.45 SQ. FT.
Z = 12.07' X 40.07' = 483.50 SQ. FT.
AA = 6.42' X 6.34' = 40.71 SQ. FT.
BB = 11.42' X 21.51' = 245.76 SQ. FT.
CC = 16.33' X 10.07' = 164.28 SQ. FT.

FIRST FLOOR AREA = 1301.12 SQ. FT.

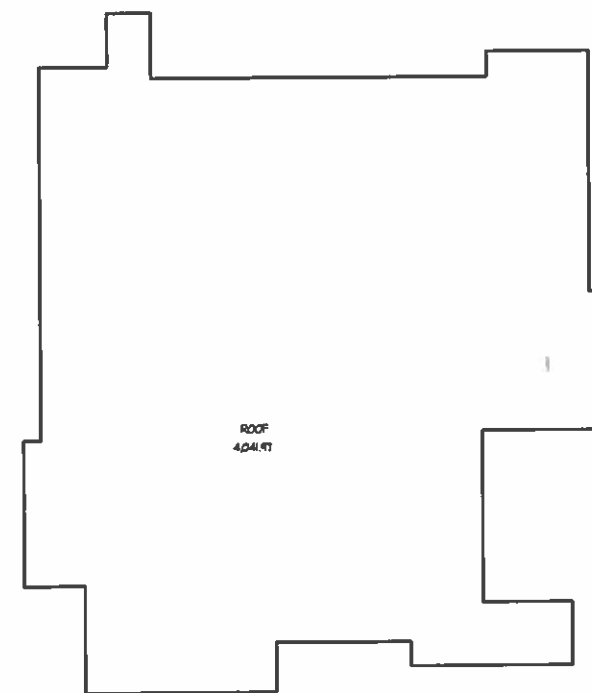
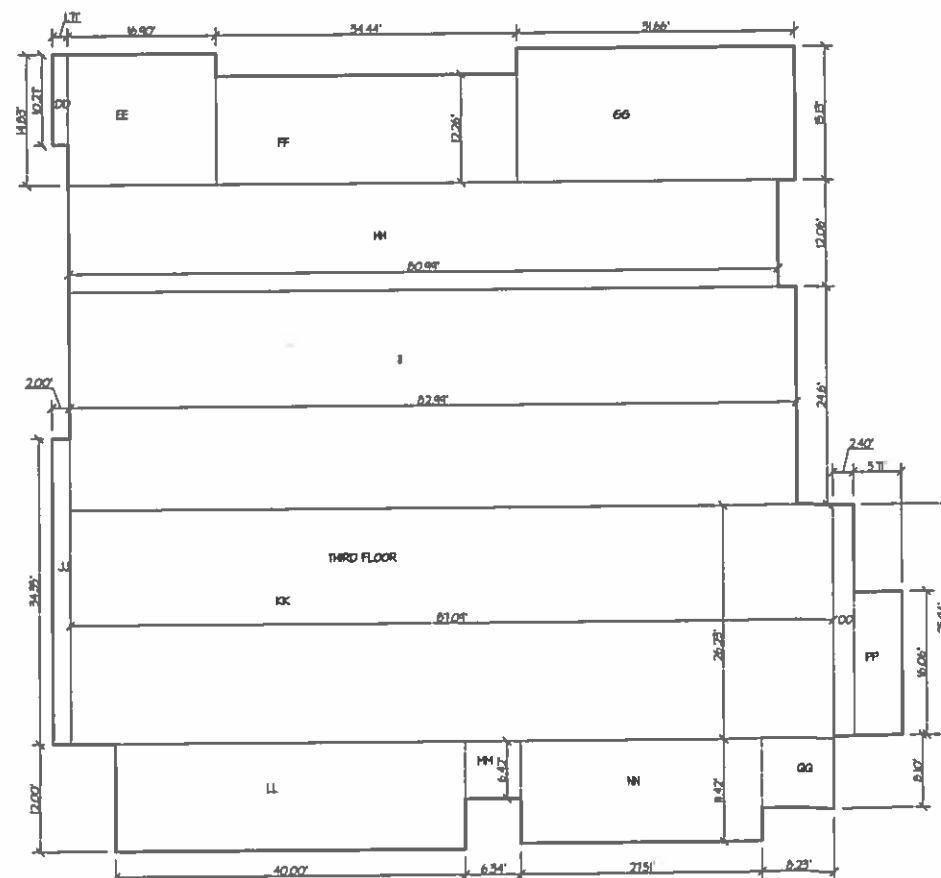
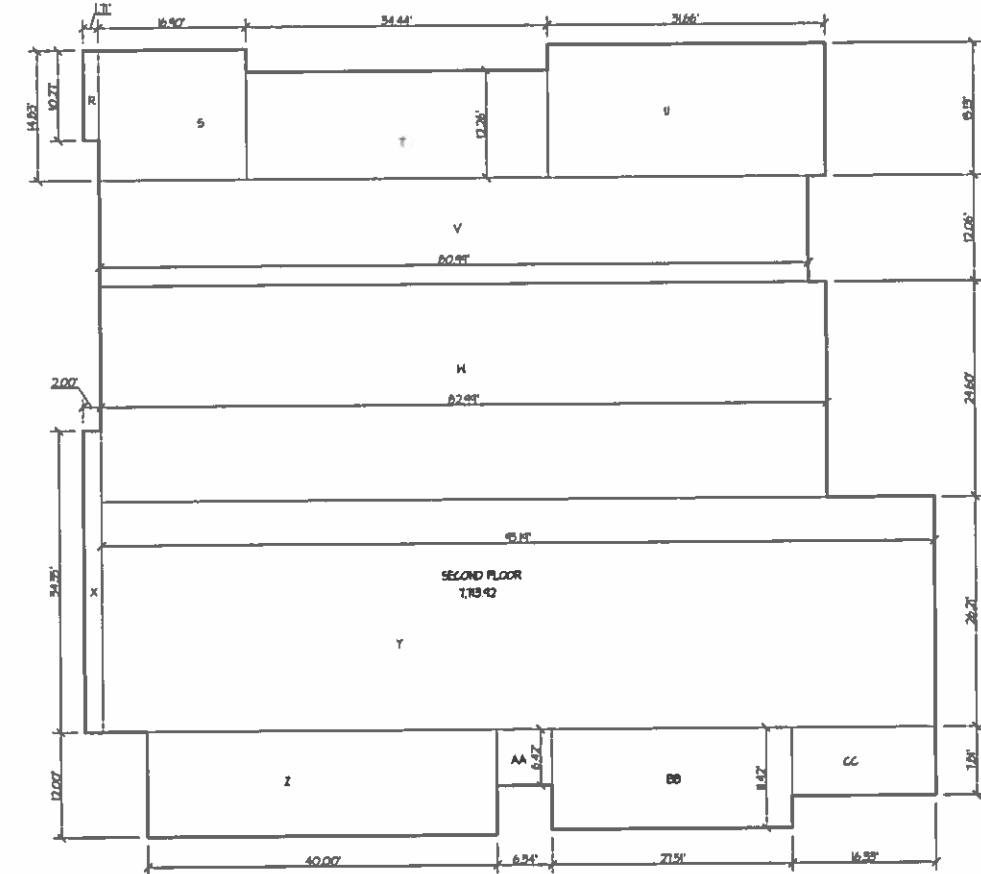
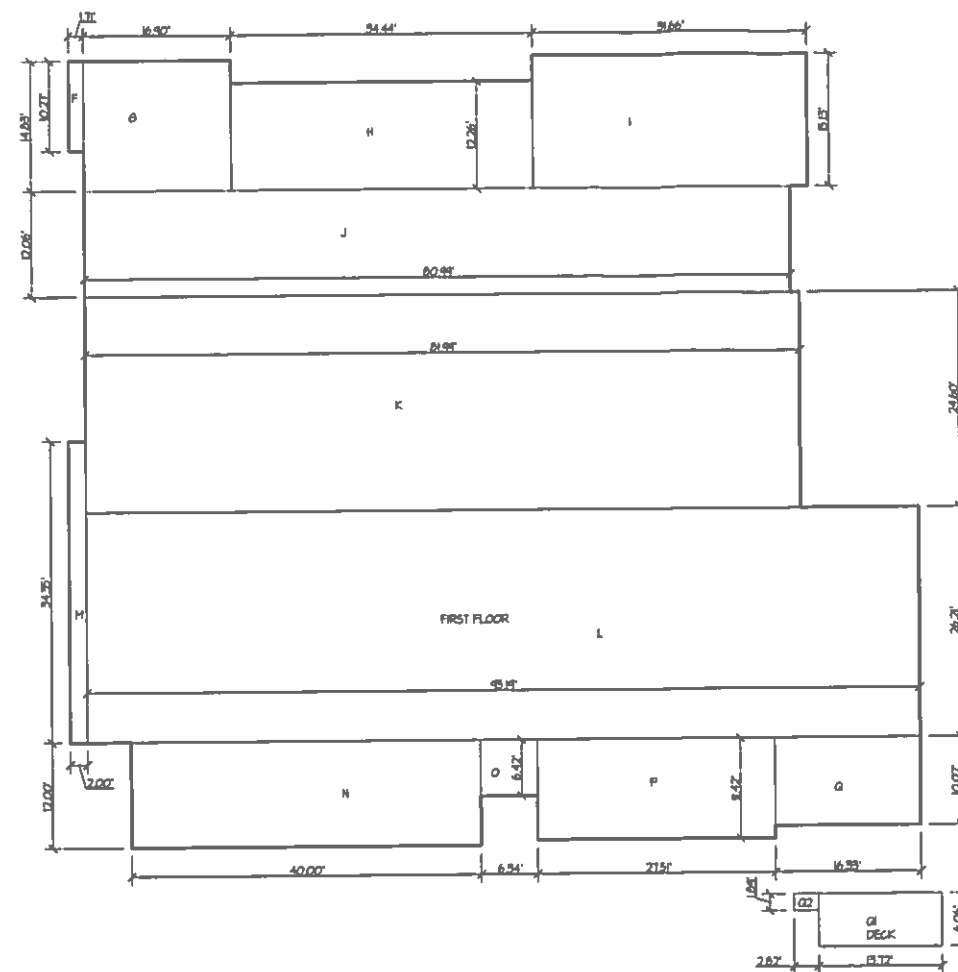
R = 10.27' X 11.71' = 120.30 SQ. FT.
S = 6.4' X 14.83' = 94.94 SQ. FT.
T = 34.44' X 12.26' = 422.23 SQ. FT.
U = 31.66' X 15.15' = 479.02 SQ. FT.
V = 80.94' X 12.06' = 976.14 SQ. FT.
W = 81.94' X 24.6' = 2016.55 SQ. FT.
X = 34.35' X 2.07' = 71.11 SQ. FT.
Y = 45.14' X 26.21' = 1184.45 SQ. FT.
Z = 12.07' X 40.07' = 483.50 SQ. FT.
AA = 6.42' X 6.34' = 40.71 SQ. FT.
BB = 11.42' X 21.51' = 245.76 SQ. FT.
CC = 16.33' X 10.07' = 164.28 SQ. FT.

SECOND FLOOR AREA = 1281.36 SQ. FT.

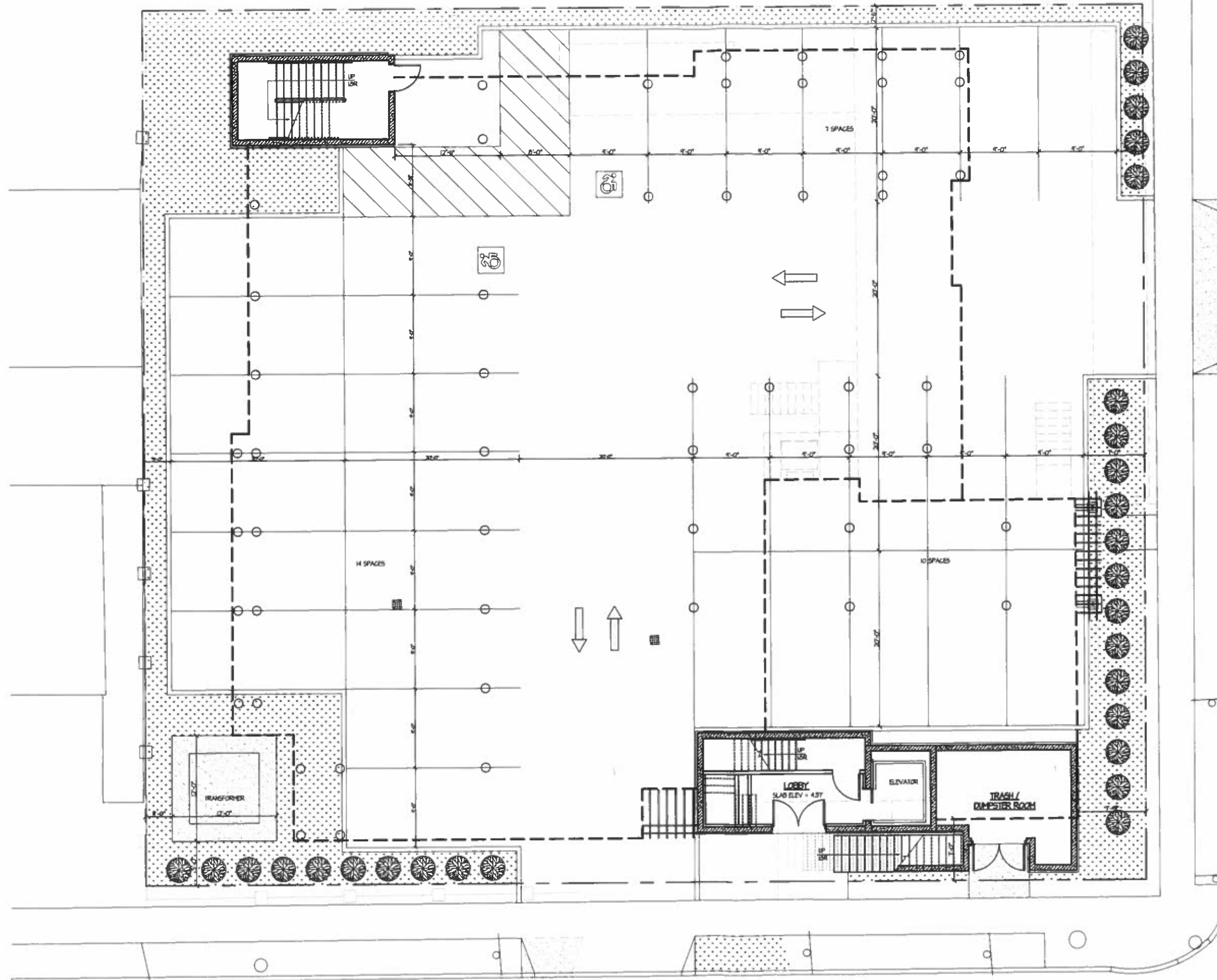
DD = 10.27' X 11.71' = 120.30 SQ. FT.
EE = 6.4' X 14.83' = 94.94 SQ. FT.
FF = 34.44' X 12.26' = 422.23 SQ. FT.
GG = 31.66' X 15.15' = 479.02 SQ. FT.
HH = 80.94' X 12.06' = 976.14 SQ. FT.
II = 81.94' X 24.6' = 2016.55 SQ. FT.
JJ = 34.35' X 2.07' = 71.11 SQ. FT.
KK = 45.14' X 26.21' = 1184.45 SQ. FT.
LL = 12.07' X 40.07' = 483.50 SQ. FT.
MM = 6.42' X 6.34' = 40.71 SQ. FT.
NN = 11.42' X 21.51' = 245.76 SQ. FT.
OO = 16.33' X 10.07' = 164.28 SQ. FT.
PP = 3.11' X 16.06' = 50.00 SQ. FT.
QQ = 6.25' X 8.1' = 50.63 SQ. FT.

THIRD FLOOR AREA = 1163.88 SQ. FT.

TOTAL FLOOR AREA = 664.1 + 1301.12 + 1281.36 + 1163.88 = 3250.26 SQ. FT.

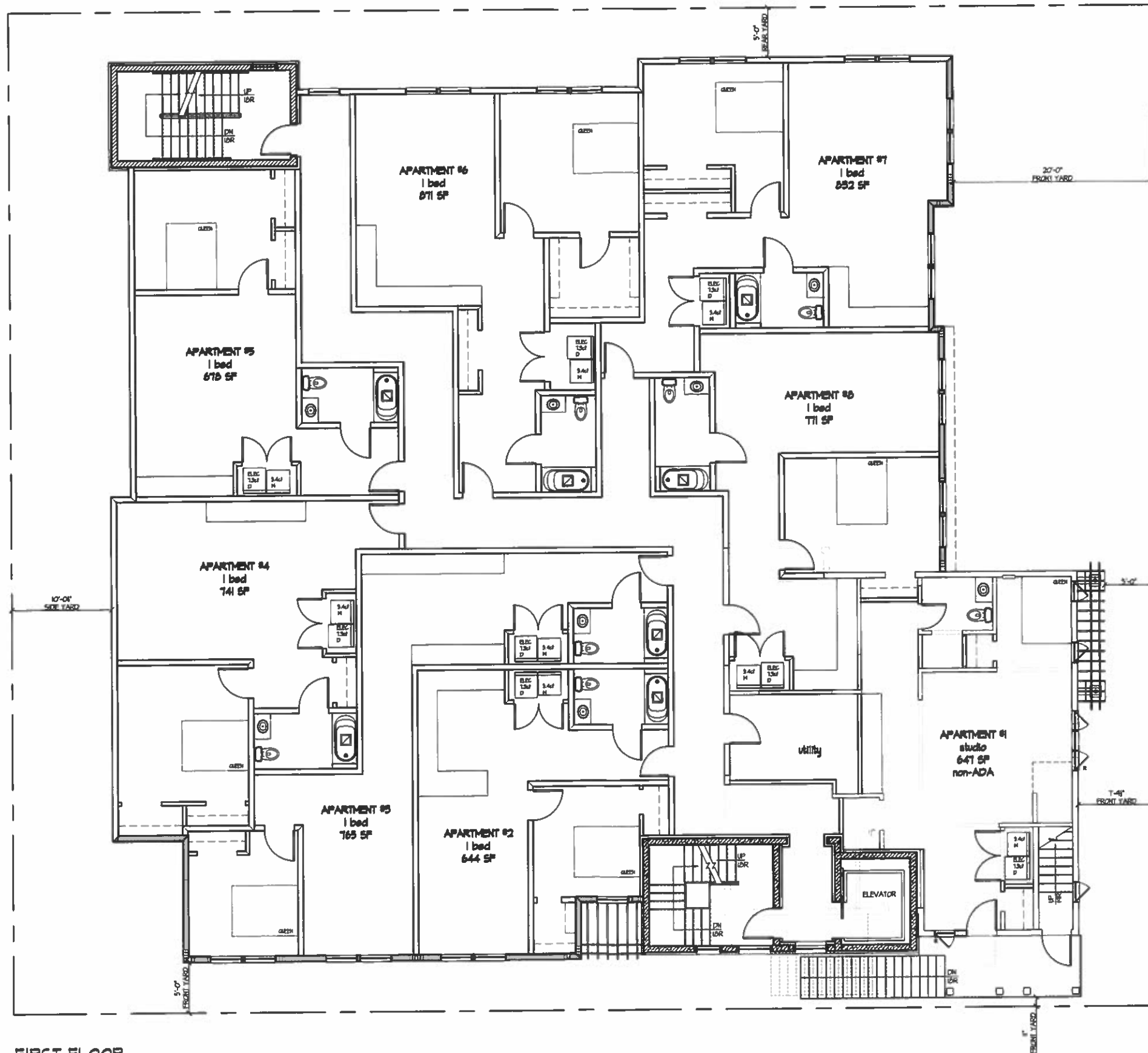


revision	date	description
9-18-24	ISSUED TO DOB FOR DENIAL	
9-3-24	ISSUED TO DOB FOR DENIAL	
ADDITION & ALTERATION FOR BGC PROPERTIES, INC. 14 SUFFOLK AVE - FREEPORT, NY 11520		
BKH ARCHITECT PLLC 183 pat drive - west islip, ny 11795 631-241-7326 bkharchitect@gmail.com		
drawn by	bkh	sheet in set
checked by	bkh	9
date	7-19-2023	A-2
file	24-01	



LOWER LEVEL
SCALE: 3/8" = 1'-0"

revision	4-16-24	ISSUED TO DOB FOR DENIAL
date	4-5-24	ISSUED TO DOB FOR DENIAL
description		
ADDITION & ALTERATION		
FOR		
BGC PROPERTIES, INC.		
14 SUFFOLK AVE - FREEPORT, NY 11520		
BKH ARCHITECT PLLC		
183 POT DRIVE - WEST ISIP, NY 11745		
631-241-7325 bkharchitect@gmail.com		
drawn by	bkh	sheet in set
checked by	bkh	9
date	1-19-2023	A-3
file	24-01	



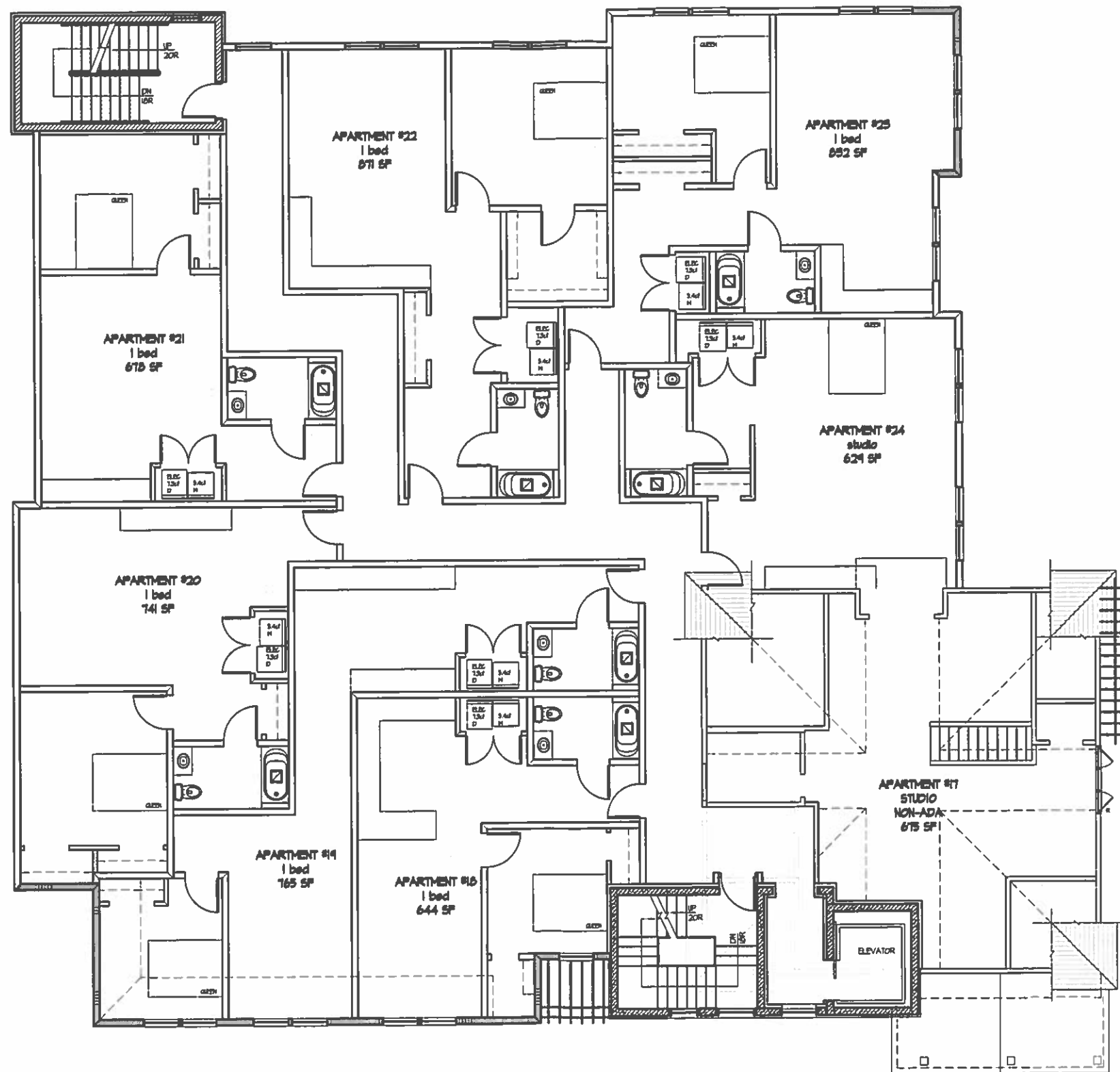
FIRST FLOOR
SCALE: 3/16" = 1'-0"

9-15-24	ISSUED TO DOB FOR DENIAL	
4-3-24	ISSUED TO DOB FOR DENIAL	
revision:	date:	description:

<u>ADDITION & ALTERATION</u> FOR BGC PROPERTIES, INC. 14 SUFFOLK AVE - FREEPORT, NY 11520		
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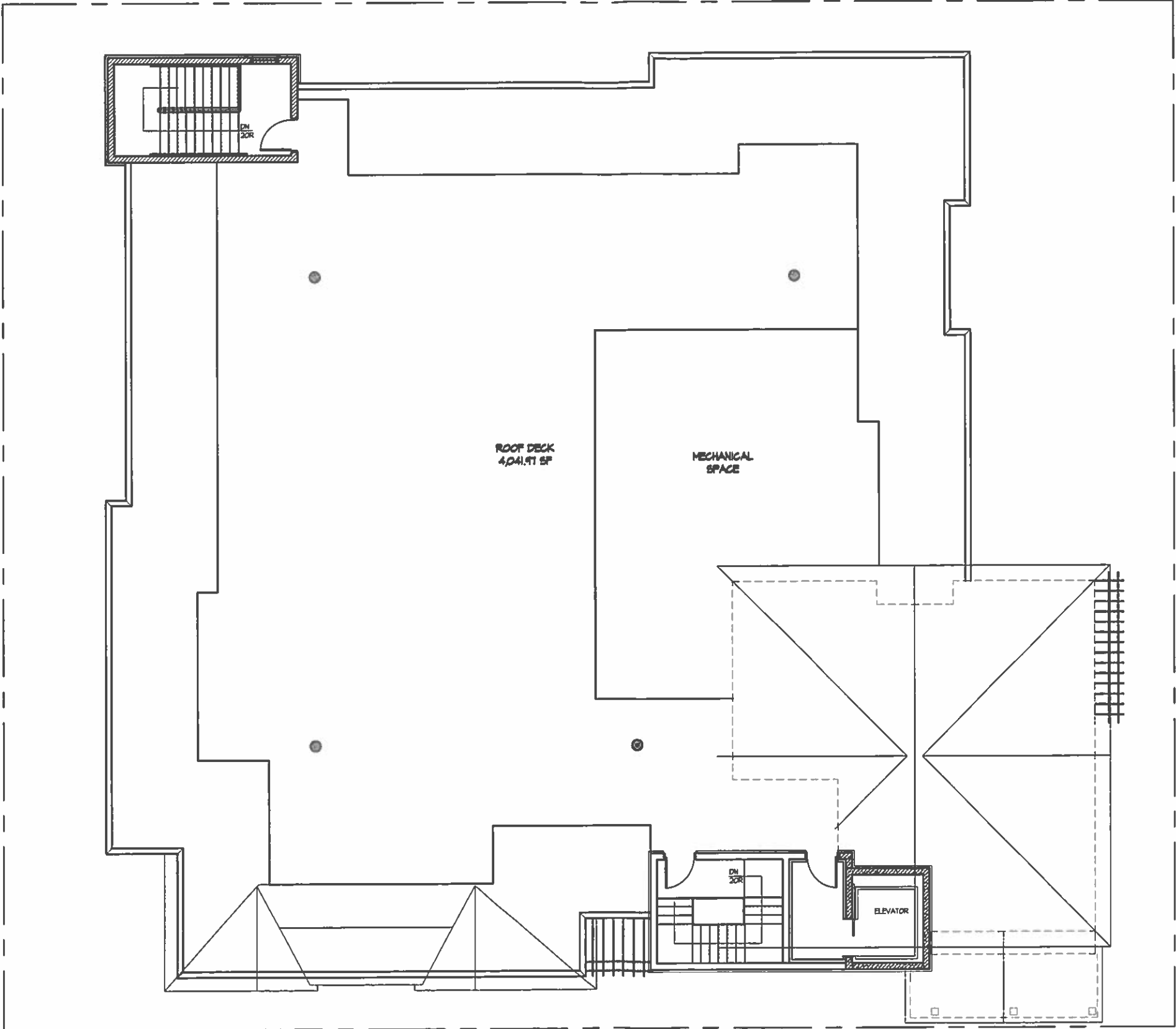
BKH ARCHITECT pkc		
183 pat drive - west islip, ny 11795 631-241-7326 bkharchitect@gmail.com		

	drawn by	sheets in set:
	bkh	9
	checked by	
	bkh	
	date:	A-4
1-19-2023		
file:		
24-01		



THIRD FLOOR
SCALE: 3/16" = 1'-0"

9-10-24	ISSUED TO DOB FOR DENIAL	
9-3-24	ISSUED TO DOB FOR DENIAL	
revision	date	description
<u>ADDITION & ALTERATION</u> FOR BGC PROPERTIES, INC. 19 SUFFOLK AVE - FREEPORT, NY 11520		
BKH ARCHITECT <i>llc</i> 183 pat drive - west Islip, ny 11745 631-241-1326 bkharchitect@gmail.com		
	drawn by bkh	sheets in set: 9
	checked by bkh	
	date: 7-19-2023	
	file: 24-01	
	A-6	



ROOF
SCALE: 3/8" = 1'-0"

revision	date	description
	9-16-24	ISSUED TO DOB FOR DENIAL
	9-3-24	ISSUED TO DOB FOR DENIAL
ADDITION & ALTERATION FOR BGC PROPERTIES, INC. 14 SUFFOLK AVE - FREEPORT, NY 11520		
BKH ARCHITECT PLLC 183 put drive - west isip, ny 11795 631-241-7328 bkharchitect@gmail.com		
	drawn by: bkh	sheet: 9 of 9
	checked by: bkh	
	date: 7-9-2023	
	file: 24-01	

A-7



FRONT ELEVATION (NORTH)
SUFFOLK STREET
SCALE: 1/4" = 1'-0"

revision	date	description
4-15-24	ISSUED TO DOB FOR DENIAL	
4-3-24	ISSUED TO DOB FOR DENIAL	
ADDITION & ALTERATION FOR BGC PROPERTIES, INC. 14 SUFFOLK AVE - FREEPORT, NY 11520		
BKH ARCHITECT P.C. 183 pat drive - west islp, ny 11795 631-241-7328 bkharchitect@gmail.com		
	drawn by	sheet
	bkh	9
	checked by	
	bkh	
	date	A-8
	1-19-2023	
	file	
	24-01	



FRONT ELEVATION (WEST)
SOUTH OCEAN AVE
SCALE: 1/4" = 1'-0"

	9-18-24 9-3-24	ISSUED TO DOB FOR DENIAL ISSUED TO DOB FOR DENIAL
revision:	date:	description:
ADDITION & ALTERATION FOR BGC PROPERTIES, INC. 19 SUFFOLK AVE - FREEPORT, NY 11520		
BKH ARCHITECT <u>pkc</u> 783 pat drive - west isip, ny 11795 631-241-1326 bkharchitect@gmail.com		
	drawn by bkh	sheet # of set 9
	checked by bkh	A-9
	date: 7-14-2023	
	file: 24-01	



REAR ELEVATION (SOUTH)
SCALE: 1/4" = 1'-0"

9-18-24	ISSUED TO DOB FOR DENIAL	
9-3-24	ISSUED TO DOB FOR DENIAL	
revision	date	description
ADDITION & ALTERATION FOR BGC PROPERTIES, INC. 14 SUFFOLK AVE - FREEPORT, NY 11520		
BKH ARCHITECT LLC 783 pat drive west islp, ny 11795 631-241-7328 bkharchitect@gmail.com		
	drawn by bkh	sheets in set 9
	checked by bkh	A-10
	date 7-19-2023	
	file 24-01	