



SEC. 55 BLK. 244 LOT. 1

BOARD OF APPEALS OF THE VILLAGE OF FREEPORT

In the Matter
Of
the Application of

To The Board of Appeals of the Village of Freeport, New York

Index No. _____

COMPLY WITH ORIGINAL NOTES

The application of 186 N. Columbus Ave - Maintain 12'x15' shed
respectfully states and alleges:

Strike out inapplicable phrase

1. That the applicant (~~resides at~~) (has its principal office for the conducting of its business at)

Tecnico Services LLC - Antonio Seminatore
60 W 3rd St Freeport NY 11520

State whether applicant is owner, lessee, or has option or contract. If other than owner, state briefly terms of agreement.

2. That the premises affected by this application is located at

186 N Columbus Ave

Land Map of Nassau County
Sec. 55 Blk. 244 Lot(s) 1

and that the interest which the applicant has in the property concerned is that of wired
by the Owner to apply for Variance

3. That (the applicant) (the applicant's duly authorized Tecnico Services LLC) on or about the 22 day of September 20 25, filed in the office of the Department of Buildings of the Village of Freeport, New York, an application for a Building Permit. Documents filed with said application were as follows:

Maintain 12'x15' shed

Obtain reason for denial from Department of Buildings.

4. That on or about the 10 day of November, 2025, the Department of Buildings denied said application; upon information and belief that the reason for said denial was as follows: _____

Village Ordinance 210-6A - Conformity Required
Village Ordinance 210-43 - Required Yards

Describe by construction and number of stories. If none, so state.

5. That the nature of the improvements now upon said premises is as follows: _____

Maintain existing 12'x15' shed

State nature of use of property. If a business, give brief description.

6. That said premises are now being used as follows: ~~Same Usage~~

residential use

Describe fully and clearly the use desired.

7. That the applicant seeks authority to make use of said premises as follows: Same usage

residential

Strike out whichever word is not applicable. Follow language in ordinance.

8. Upon information and belief that a (~~perm~~) (variance) for such use may be granted by this Board by virtue of the following sections of the said Zoning Code of The Village of Freeport or statutes of the State of New York _____

Village Ordinance 210-6A
Village Ordinance 210-43 - Required Yards

Refer where possible to paragraphs and section by numbers.

9. That the following is a statement of other factual information deemed pertinent by the applicant. If the application involves a subdivision of property, describe the existing property: _____

2 story residential home

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VILLAGE OF FREEPORT, NY

If more space is needed annex statement on separate sheet and refer to it here with following words: "See annexed statement which is made a part hereof." Save opinions for the hearing.

10. That the grounds for this application are as follows: As seen in the attached aerial view of the surrounding neighbors, it is common in this area to have garage/sheds built next to the property line. All 5 neighbors have their garage next to the property line.

11. That any deed restrictions running with the land prohibiting the desired use are as follows: N/A

12. That (the applicant has made no previous application to this Board for the authority sought herein) (upon information and belief a previous application was made for the same or similar authority sought herein and denied by this Board, but that this application contains facts not alleged or shown in any previous proceeding before this Board).

WHEREFORE, the applicant respectfully prays that the authority sought herein be granted.

Dated: ~~11/28/2025~~ November 28th, 2025

[Signature]

BY: Antonio Seminatore
ITS: _____

If this verification is made by an officer of a corporation or an Association or by a legal representative of an estate, his name and office should be designated on the first line.

State of New York)
County of Nassau) ss:

The applicant Antonio Seminatore named in the foregoing application, being duly sworn, depose and say that he read the foregoing application subscribed by himself and know the contents thereof; and that the same is true to his own knowledge except as to the matters therein stated to be alleged on information and belief, and that as to those matters he believe _____ to be true.

Sworn to before me this 6th day of December, 2025

FREDERICK SOLLER
Notary Public, State of New York
No. 02SO6247748
Qualified in Nassau County
Commission Expires December 14, 2027
[Signature]
Signature of Applicant

Notary Public [Signature]

Notice of Conflict of Interest

I have read Section 809 of the General Municipal Law concerning disclosure of and conflict of interest and hereby certify that there are no conflicts in respect to this application requiring disclosure.

November 28th, 2025
Date Year

[Signature]
Signature

Affidavit of Owner

To be completed only if the owner is not the applicant.

State of New York)
County of Nassau) ss:

I Elsa Lucero / Juan Tito Cave being duly sworn, depose and say:

That he/she (the owner of _____) (is the Owner) of 186 N Columbus the property concerned is correct to the best of the knowledge of deponent _____.)

That the owner Elsa Lucero / Juan Tito consents to the granting of the authority sought in the above application.

Sworn to before me this 10th day of DECEMBER, 202025

[Signature]
[Signature]
Signature

Notary Public [Signature]

REVISED 2/2017

CHUKWUMA N MADU
Notary Public - State of New York
NO. 01MA6379408
Qualified in Suffolk County
My Commission Expires Aug 13, 2026

12-10-2025



INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

ROBERT T. KENNEDY
MAYOR

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

SERGIO A MAURAS
SUPERINTENDENT OF BUILDINGS

LETTER OF DENIAL

December 17, 2025

Elsa Lucero Castelan
186 N Columbus Ave
Freeport, NY 11520

RE: **186 N Columbus Ave, Freeport, NY**
Zoning District: Residence A Sec. 55 Blk. 244 Lot 1
Building Permit Application #BUIL-25-52
Description: Maintain 12'x15' shed.

Dear Sir/Madam:

Please be advised that the above captioned Building Permit Application must be denied for the following reason(s):

Village Ordinance §210-6A. Conformity Required. No building or land shall hereafter be used or occupied and no building or part thereof shall be erected, moved or altered unless in conformity with the regulations herein specified for the district in which it is located.

Village Ordinance §210-43. Required yards.

C. Yards of the following depths or widths shall be provided for accessory buildings, detached garages, accessory structures, barbecue pits, and breezeways on the lot:

(2) Rear and side yard depth: minimum five feet, except for lots which abut canals or navigable waters, a minimum depth of 20 feet measured landwards of the average line of the bulkhead shall be provided; if no bulkhead exists, measured 20 feet landwards of the rear property line. According to the drawing the existing shed is 1'-0" on the side yard and 2' on the rear yard. You will be seeking a variance of 4'-0" for the side yard and 3'-0" for the rear yard.

Please be further advised that if you intend to appeal this decision you must file a Zoning Board of Appeals application within sixty (60) days of the date of this letter. For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the **Village Clerk's Office at 516-377-2202** to make an appointment to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's office. **Only after this initial appointment should the additional copies be made**

In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Zoning Board of Appeals Application only, please call the VILLAGE CLERK'S OFFICE at 377-2202.

Very truly yours,

Sergio A. Mauras

Sergio A. Mauras
Superintendent of Buildings
Daniela Hernandez, Plans Examiner
cc: Village Clerk

SITE PLAN APPROVAL NEEDED: **YES**

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project:

Building Permit App. BUIL 25-52

Location: 186 N Columbus Ave

Applicant: Elsa Lucero Castelan

Description: Maintain 12'x15' shed.

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) _____

B) Possible environment effects identified:
(only if positive determination)

Dated: December 17, 2025

Sergio A. Mauras
Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

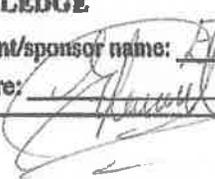
Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information	
186 N Columbus Ave	
Name of Action or Project: Maintain 12' x 15' shed	
Project Location (describe, and attach a location map): 186 N Columbus Ave	
Brief Description of Proposed Action: Maintain 12' x 15' shed	
Name of Applicant or Sponsor: Elsa Castelan + Juan Carde	Telephone: 924-440-4037 E-Mail: Mar.47012632@gmail.com
Address: 186 N Columbus Ave	
City/PO: Freeport	State: NY Zip Code: 11520
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.	NO YES <input checked="" type="checkbox"/> <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:	NO YES <input checked="" type="checkbox"/> <input type="checkbox"/>
3.a. Total acreage of the site of the proposed action? _____ acres	
b. Total acreage to be physically disturbed? _____ acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres	
4. Check all land uses that occur on, adjoining and near the proposed action.	
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland	

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5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing potable water: _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? <input type="checkbox"/> NO <input type="checkbox"/> YES If Yes, briefly describe: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

PLANNING OFFICE
 VILLAGE OF BIRMINGHAM, ALA
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18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>Elfin Lucreo Pustolan / Juan Tito Conde</u>		Date: <u>08-23-25</u>
Signature: 		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

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 VILLAGE DEPT MEMPHIS, TN

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

Building Permit Application

BUIL-25-52

Your Submission

Attachments

Guests (0)

- Permit Fee
- Building Completeness Review
- Building Inspector Plan Review
- Referral to Zoning Board of Appeals
- Zoning Decision

Referral to Site Plan Board

Site Plan Letter & Negative Declaration

Site Plan Decision - Affidavit of Compliance

Forward Assessment Form to County

Building Inspector Assignment

Permit Card Issued

Custom Inspection

Final Inspection

Certificate of Completion

Your submission

Submitted Sep 22, 2025 at 2:47pm

Contact Information

Antonio Seminatore

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CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

Email address

tecnicoservicesny@gmail.com

Phone Number

5169028169

Mailing Address

60 W 3rd St , Freeport, NY 11520-5729

Locations

1 location total

PRIMARY LOCATION



186 N COLUMBUS AVE
FREEPORT, NY 11520

Instructions

I hereby certify that I have read and accept the above conditions *



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VILLAGE OF FREEPORT, NY

Residential or Commercial

Residential Property

--

Commercial Property

--

Applicant Information

Applicant is *

Engineer

Applicant Contact Number *

Antonio Seminatore

Phone Number *

516-902-8169

Applicant Email Address

tecnicoservicesny@gmail.com

Mailing Address *

60 W3rd St

City *

Freeport

State *

NY

Zip Code *

11520

Property Ownership Details

Ownership Details *

Residential Homeowner

First Name of Contact Person *

Elsa

Last Name of Contact Person *

Lucero Castelan

Property Owners Contact Number *

929-410-4087

Property Owners Secondary Contact Number *

929-410-4087

Email Address of Owner *

Mar.azul2682@gmail.com

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VILLAGE OF FREEPORT, NY

Mailing Address *

186 N Columbus Ave

City *

Freeport

State *

NY

Zip Code *

11520

Type of Improvement

Type of Improvement * ?

Storage Sheds

Is the Property in a Floodzone? *

No

Is This Waterfront Property *

No

Detailed Description of Proposed or Maintain Work * ?

Maintain 12' X 15' shed

Is This Filing For Zoning Approval Only? * ?

Yes

Work Proposed

Proposed or Maintain? * ?

Maintain/ Legalization (Residential)

Who will be completing the work? *

Homeowner

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VILLAGE OF FREEPORT, NY

Describe Proposed Work in Detail * ?

Maintain 12' X 15' shed

Type of Building *

Residential

Existing Use *

One Family

Will there be any Mechanical Work * ?

No

Is there an architect associated with this work? *

No

Cost

Cost of Improvement *

3,456

Electrical ?

0

Plumbing ?

0

Heating, Air Conditioning ?

0

Other (elevator, etc) ?

--

Total Cost of Improvement

3,456

Additional Building Details

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VILLAGE OF FREEPORT, NY

Number of Bedrooms

3

Percent of Lot Occupied (do not include "%" sign)

27.2

Number of Full Bathrooms

2

Number of Partial Bathrooms

0

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VILLAGE OF FREEPORT, NY

Required Forms and Information

Signature

I confirm that the property owner hereby authorizes me as the applicant to apply for and act on the property owner's behalf, in all matters relative to work authorized by this building's permit applications. *

antonio seminatore
Aug 17, 2025

The owner of this building and the undersigned agree to conform to all applicable laws of the Village of Freeport NY *

antonio seminatore
Aug 17, 2025

I do hereby attest under the pains and penalties of perjury that all of the information contained in this application is true and accurate to the best of my knowledge and understanding. *

antonio seminatore
Aug 17, 2025

I do hereby attest that I understand that any and all associated permit fees are non-refundable *

antonio seminatore
Aug 17, 2025

Notice

Village of Freeport

Your Profile

Your Records (</dashboard/records>)

Resources

Claim a Record (</claimRecord>)

Employee Login (<https://freeportny.workflow.opengov.com>)

Portal powered by **OpenGov**

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VILLAGE OF FREEPORT, NY



Side view of shed



Front View of shed

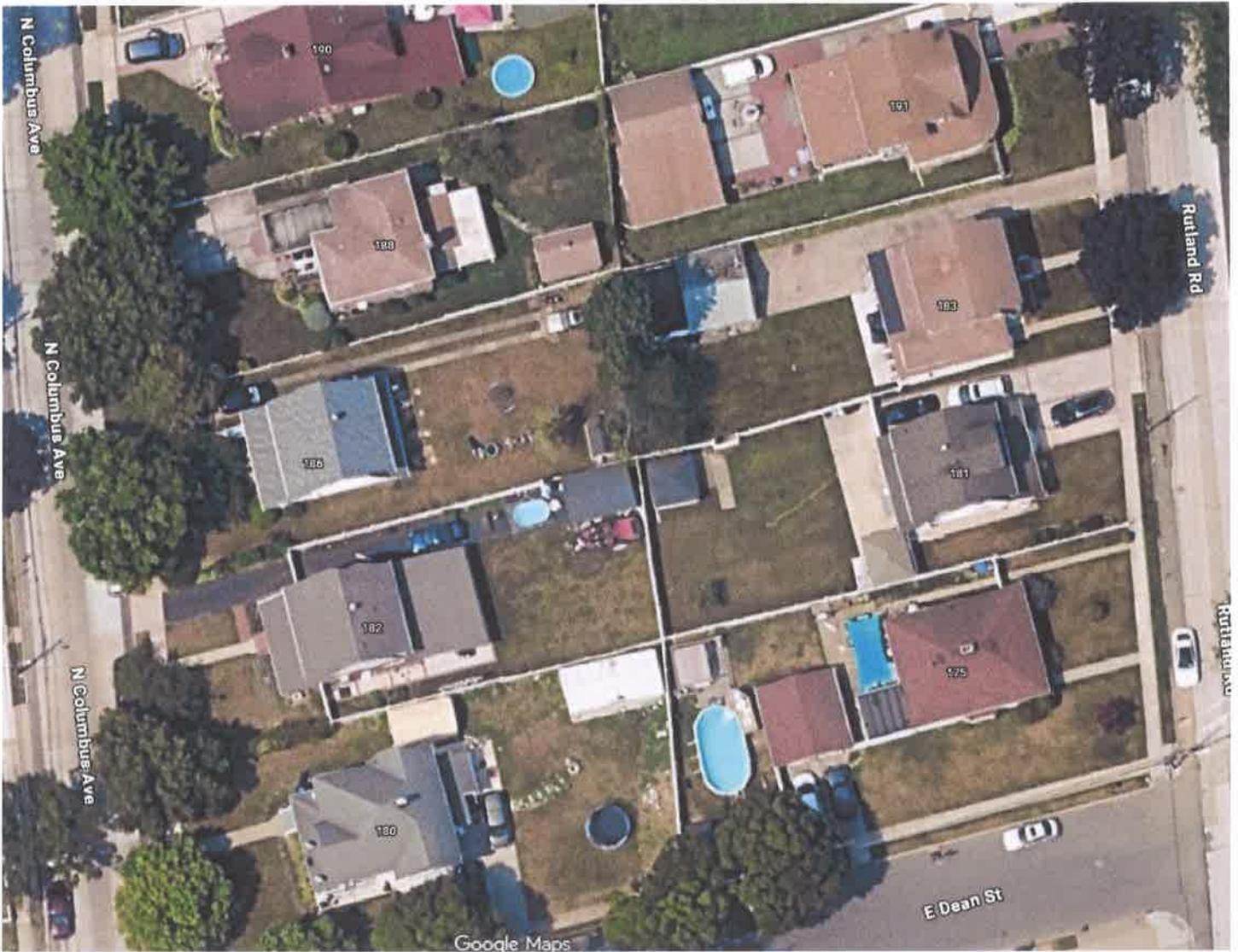


Side view of shed



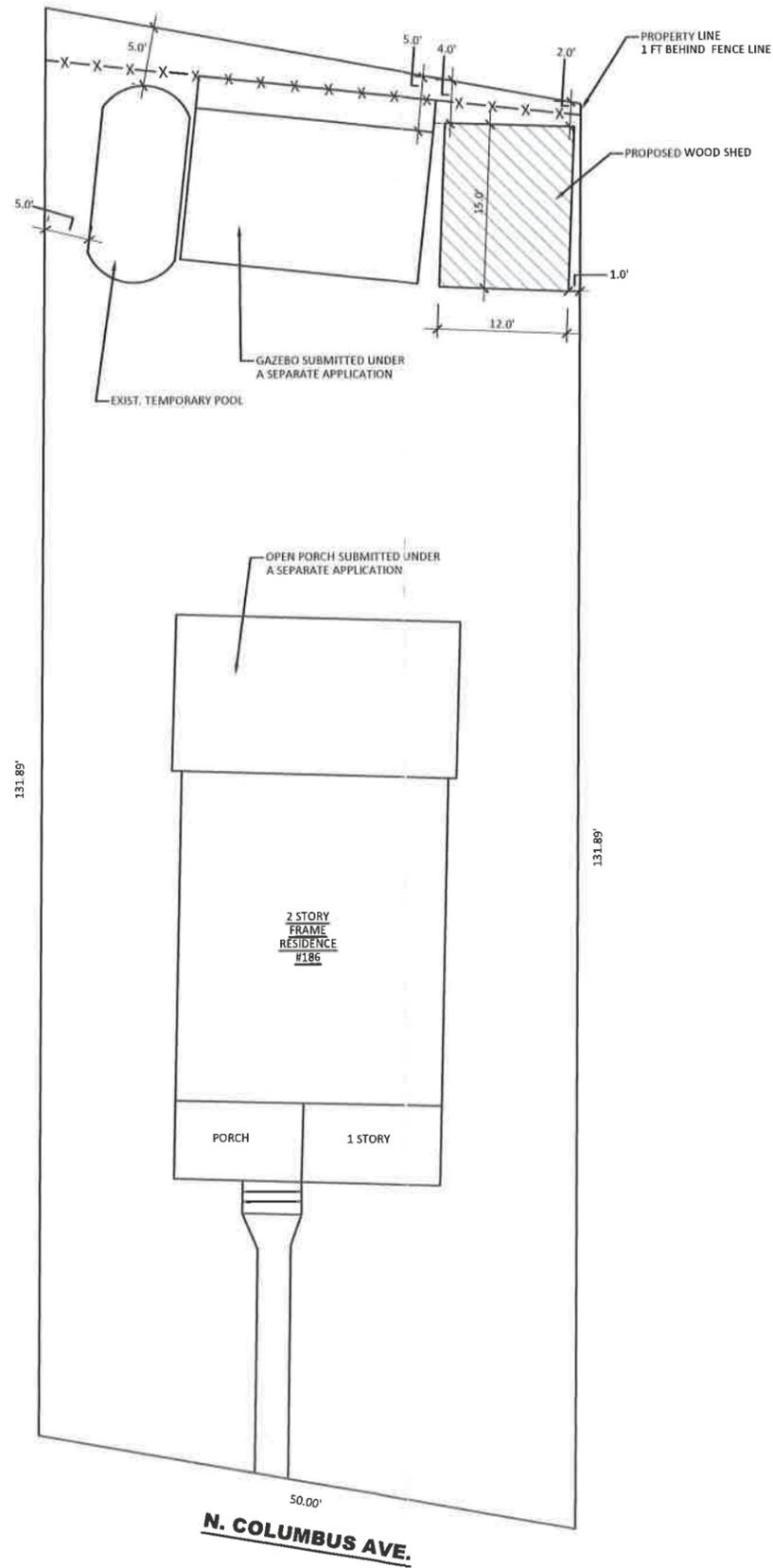
Rear view of shed

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VILLAGE OF FREEPORT, NY
TOWN OF FREEPORT, NY



Overhead view of 186 N. Columbus Ave.
Note: the proximity of the neighbors' garages/sheds to the property lines

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VILLAGE OF HILDEPONT, NY

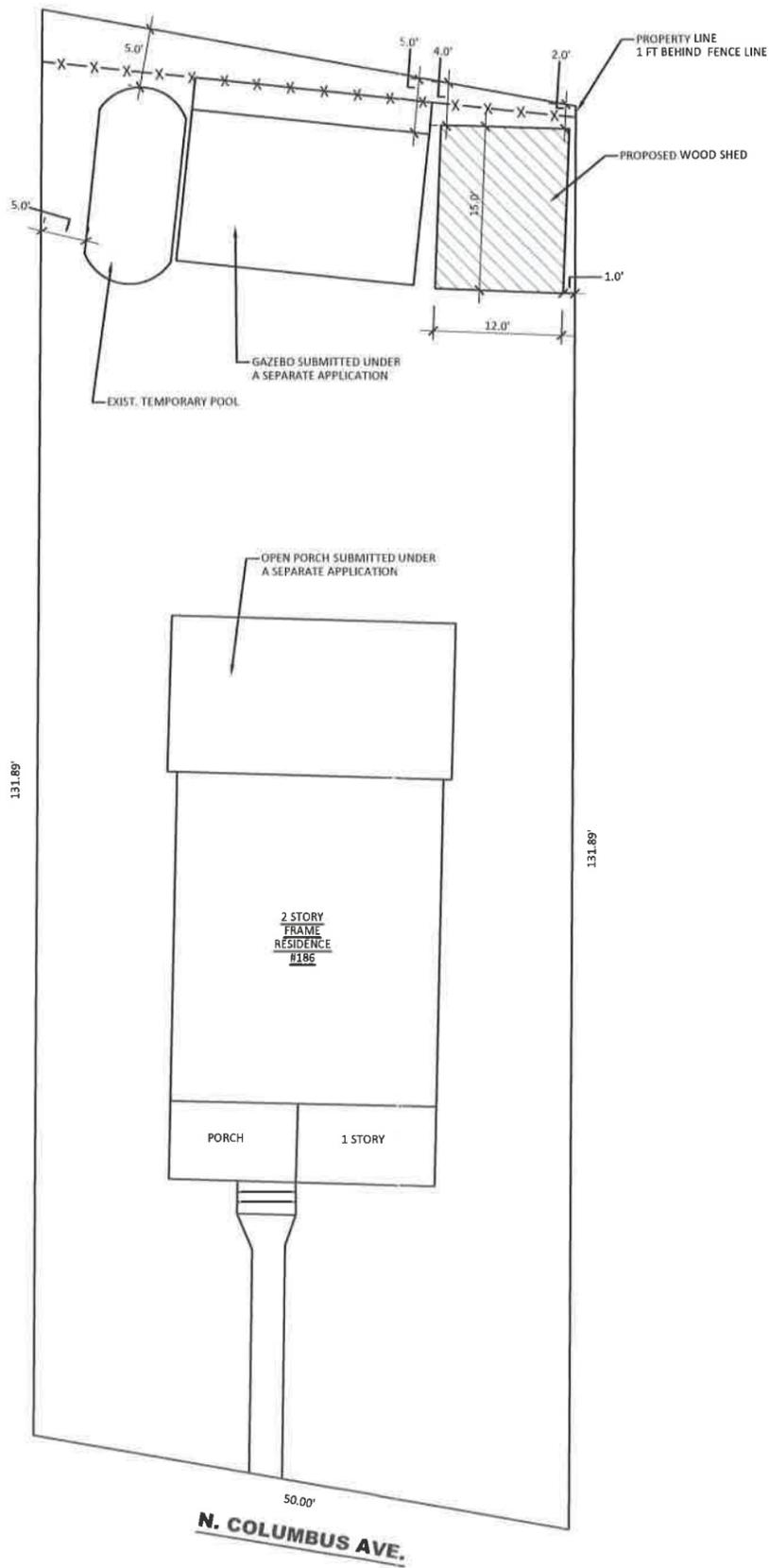


SITE PLAN
SCALE: 1/8" = 1'-0"

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2025 DEC 15 11 P 2: 59
PLANNING OFFICE
VILLAGE OF FREEPORT, NY



TECNICO SERVICES LLC ANTONIO SEMINATORE, P.E. EMAIL: TECNICOSERVICESNY@GMAIL.COM PHONE: 516-902-8169	
PROJECT	DATE
186 N. COLUMBUS AVE. FREEPORT, NY	11/21/25
TITLE	DRAWING
SITE PLAN	A-6



SITE PLAN
SCALE: 1/4" = 1'-0"

RECEIVED
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CLARENCE S. O'NEILL
VILLAGE OF FREEPORT, NY



TECNICO SERVICES LLC
ANTONIO SEMINTORE, P.E.
EMAIL: TECNICOSERVICESNY@GMAIL.COM
PHONE: 516-902-8169

PROJECT	DATE
186 N. COLUMBUS AVE. FREEPORT, NY	11/21/25
TITLE	DRAWING
SITE PLAN	A-6

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2025 DEC -5 A 11: 38

SEC. 62 BLK. 113 LOT. 216

CLERK'S OFFICE
VILLAGE OF FREEPORT, NY
BOARD OF APPEALS OF THE VILLAGE OF FREEPORT

In the Matter
Of
the Application of

To The Board of Appeals of the Village of Freeport, New York

Index No.

COMPLY WITH
ORIGINAL NOTES

The application of Eric Weinstein

respectfully states and alleges:

Strike out
inapplicable
phrase

1. That the applicant (resides at) (has its principal office for the conducting of its business at)
186 Atlantic Ave, Freeport NY 11520

State whether
applicant is owner,
lessee, or has option
or contract. If other
than owner, state
briefly terms of
agreement.

2. That the premises affected by this application is located at 186 Atlantic Ave, Freeport NY 11520 Land Map of Nassau County
Sec. 62 Blk. 113 Lot(s) 216

and that the interest which the applicant has in the property concerned is that of property and business owner

3. That (the applicant) (the applicant's duly authorized David Gonzales) on or about the
10 day of October 2025, filed in the office of the Department of Buildings of the Village of
Freeport, New York, an application for a Building Permit. Documents filed with said application were
as follows:
Architectural Plans, Survey, Short Environmental Assessment, Owner Fee Affidavit, NC Assessment

Obtain reason for
denial from
Department of
Buildings.

4. That on or about the 13th day of November, 2025, the Department of Buildings denied said
application; upon information and belief that the reason for said denial was as follows: Village
Ordinance S210-6A Conformity Required; S210-3 Lot Coverage, S210-86 Required Yards; S210-87
Plots abutting more restricted districts; S210-72 Required Parking Spaces; S210-180 Plots abutting Residential
Districts

Describe by
construction and
number of stories. If
none, so state.

5. ~~That the nature of the improvements now upon said premises is as follows:~~ Proposed 1631 SF one story addition

State nature of use of
property. If a
business, give brief
description.

6. That said premises are now being used as follows: Dental Office

Describe fully and
clearly the use
desired.

7. That the applicant seeks authority to make use of said premises as follows: Dental Office

Strike out whichever
word is not
applicable. Follow
language in
ordinance.

8. Upon information and belief that a ~~(permit)~~ (variance) for such use may be granted by this Board by
virtue of the following sections of the said Zoning Code of The Village of Freeport or statutes of the
State of New York S210-6A; S210-3; S210-86; S210-87; S210-172; S210-180

Refer where possible
to paragraphs and
section by numbers.

9. That the following is a statement of other factual information deemed pertinent by the applicant. If the
application involves a subdivision of property, describe the existing property: N/A

If more space is needed annex statement on separate sheet and refer to it here with following words: "See annexed statement which is made a part hereof." Save opinions for the hearing.

If non-conforming use is claimed, set forth uses made of premises and dates thereof in chronological order.

10. That the grounds for this application are as follows: Requesting Board approval for a Proposed One story addition to existing Dental Office

11. That any deed restrictions running with the land prohibiting the desired use are as follows: N/A

12. That (the applicant has made no previous application to this Board for the authority sought herein) (upon information and belief a previous application was made for the same or similar authority sought herein and denied by this Board, but that this application contains facts not alleged or shown in any previous proceeding before this Board).

WHEREFORE, the applicant respectfully prays that the authority sought herein be granted.

Dated: November 13, 2025

BY: April Madigan - 8 West Merrick Road
ITS: Expeditior Ste / Freeport, NY 11520
219

If this verification is made by an officer of a corporation or an Association or by a legal representative of an estate, his name and office should be designated on the first line.

State of New York)
County of Nassau) ss:

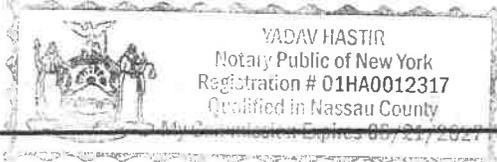
The applicant Eric Weinstein named in the foregoing application, being duly sworn, depose and say that he read the foregoing application subscribed by April Madigan and know the contents thereof; and that the same is true to his own knowledge except as to the matters therein stated to be alleged on information and belief, and that as to those matters he believe all to be true.

Sworn to before me this 13 day
of November, 2025

Notary Public [Signature]

X

Signature of Applicant



Notice

Conflict of Interest

I have read Section 809 of the General Municipal Law concerning disclosure of and conflict of interest and hereby certify that there are no conflicts in respect to this application requiring disclosure.

11/13, 2025
Date Year

X

Signature

Affidavit of Owner

To be completed only if the owner is not the applicant.

State of New York)
County of Nassau) ss:

I, Eric Weinstein being duly sworn, depose and say:

That he/she (the owner of 186 Atlantic Ave. Freeport) (is the _____ of _____

the property concerned is correct to the best of the knowledge of deponent _____)

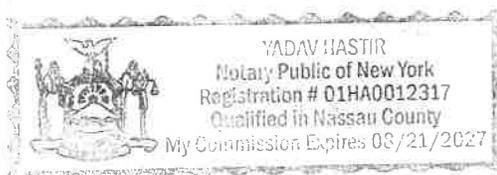
That the owner Eric Weinstein consents to the granting of the authority sought in the above application.

Sworn to before me this 13 day
of November, 2025

Notary Public [Signature]

X

Signature



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COUNTY OF NASSAU



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CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

ROBERT T. KENNEDY
MAYOR

SERGIO A MAURAS
SUPERINTENDENT OF BUILDINGS

LETTER OF DENIAL

November 24, 2025

Eric Weinstein
186 Atlantic Ave
Freeport NY 11520

RE: 186 Atlantic Ave, Freeport, NY

Zoning District – Residence AA (western 11 feet) / Business B (eastern 64 feet) Sec. 62 Blk. 113 Lot 216

Building Permit Application BP – 25-77

Description: Proposed 1631 SF one story addition.

Dear Sir/Madam:

Please be advised that the above captioned Building Permit Application must be denied for the following reason(s):

Village Ordinance §210-6A. Conformity Required. No building or land shall hereafter be used or occupied and no building or part thereof shall be erected, moved or altered unless in conformity with the regulations herein specified for the district in which it is located.

Village Ordinance §210-3. Parking Space. As defined, required parking spaces to be an accessible area of not less than 9' wide and 20' long. The parking spaces provided indicate their dimensions to be 9' wide by 18' long. You will be seeking a variance for undersize parking spaces.

Village Ordinance §210-86. Required Yards.

A. Front yards. Every building shall have a minimum front yard depth of five feet, except along streets where greater setbacks have been established. According to the drawings the front yard is 2.75'. You will be seeking a variance of 2.25'.

Village Ordinance §210-87. Plots abutting more restricted districts.

For all nonresidential uses of plots that abut directly on a Residence Apartment District or more highly restricted district, there shall be provided a yard of at least 10 feet in depth along the line where it abuts on such more highly restricted district. Such yard shall not be used for vehicular access, vehicle storage or parking and shall remain open, unobstructed and unencumbered. According to the drawings there is a 17' wide side yard on the west side used as a driveway for vehicular access. There is no rear or side yard proposed. 10' of yard along western side and rear is required as per code and prior zoning decision in 1996.

Village Ordinance §210-172. Required parking spaces.

A. The following number of parking spaces shall be provided and satisfactorily maintained for each building, lot or combination thereof which is hereafter lawfully erected, enlarged, altered, maintained and/or used for any of the following purposes:

(12) All nonresidential buildings in any zoning district except as otherwise required in this section: at least one parking space for each 400 square feet of the floor area of the building or structure plus parking space for two cars for each individual store, shop or business in the building or structure. According to the plans submitted the total sf is $3485/400=9 + 2 = 11$ parking spaces are required and only 7 were provided. You will be seeking a variance of 4 parking spaces. Additionally, 3 of the 7 spaces provided are located in the required rear buffer zone.

Village Ordinance §210-180. Plots abutting residential districts.

C. Shrubbery. The five-foot area adjacent to the fence in the lesser restricted district shall be planted with slow-growing evergreen shrubs spaced not more than 10 feet apart and grass or adequate ground cover as recommended or approved by the Superintendent of Buildings. There is no required shrubbery shown on the plan. According to the drawings three parking spaces are located at the required 5' area along the rear property line.

Please be further advised that if you intend to appeal this decision you must file a Zoning Board of Appeals application within sixty (60) days of the date of this letter. For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-2202 to make an appointment to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's office. Only after this initial appointment should the additional copies be made

In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Zoning Board of Appeals Application only, please call the VILLAGE CLERK'S OFFICE at 377-2202.

Very truly yours,

Sergio A. Mauras

Sergio A. Mauras
Superintendent of Buildings
Daniela Hernandez, Plans Examiner
cc: Village Clerk

SITE PLAN APPROVAL NEEDED: YES

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VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

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X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

 The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project: Building Permit App. BP-25-77

Location: 186 Atlantic Ave, Freeport NY 11520

Applicant: Eric Weinstein

Description: Proposed 1631 SF one story addition

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) _____

B) Possible environment effects identified:
(only if positive determination)

Dated: November 24, 2025

Sergio A. Mauras
Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

617.20
Appendix B
Short Environmental Assessment Form

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Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
PFG OF NY LLC			
Name of Action or Project: DENTAL OFFICE			
Project Location (describe, and attach a location map): 186 ATLANTIC AVE FREEPORT, NY 11520			
Brief Description of Proposed Action: PROPOSED ONE STORY ADDITION TO AN EXISTING DENTAL OFFICE			
Name of Applicant or Sponsor: DAVID GONZALES		Telephone: 833-616-7676	
		E-Mail: INFO@76ARC.COM	
Address: 67 ROLLING ST			
City/PO: LYNBROOK		State: NY	Zip Code: 11563
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO <input type="checkbox"/>
BZA APPROVAL			YES <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		0.234	acres
b. Total acreage to be physically disturbed?		0.037	acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		0	acres
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			

	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Are public transportation service(s) available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: <u>LED LIGHTING & HIGH EFFICIENCY HVAC</u>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing potable water: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Is the proposed action located in an archeological sensitive area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100 year flood plain?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>

I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

Applicant/sponsor name: DAVID GONZALES Date: 10/10/2025

Signature: 

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies?	<input type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

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<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

Building Permit Application

BUIL-25-77

Your Submission

Attachments

Guests (1)

- ✔ Commercial Permit Fee
- ✔ Initial Completeness Review
- ✔ Building Inspector Plan Review
- ✔ Referral to Zoning Board of Appeals
- Ⓜ Zoning Decision

Referral to Site Plan Board

Site Plan Letter & Negative Declaration

Site Plan Decision - Affidavit of Compliance

Provide Workers Comp, Disability, and Liability Insurance

Provide Signed Contract with Detailed Cost

Contract Review.

Commercial Permit Fee

Attach a Plumbing Permit

Attach an Electric Permit

Attach a Mechanical / HVAC Permit

Final Review of All Required Documents

Forward Assessment Form to County

Building Inspector Assignment

Permit Card Issued

Custom Inspection

Final Inspection

Certificate of Completion

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VILLAGE OF FELDORA, NY

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Your submission

Submitted Oct 10, 2025 at 6:36pm

Contact Information

David Gonzales

Email address

info@76arc.com

Phone Number

833-616-7676

Mailing Address

67 Rolling Street , Lynbrook, New York 11563

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Locations

1 location total

PRIMARY LOCATION



186 ATLANTIC AVE
FREEPORT, NY 11520

Instructions

I hereby certify that I have read and accept the above conditions *



Residential or Commercial

Residential Property

--

Commercial Property



Applicant Information

Applicant is *

Architect

Applicant Contact Number *

833-616-7676

Phone Number *

516-343-7474

Applicant Email Address

DAVID@76ARC.COM

Mailing Address *

67 ROLLING STREET

City *

LYNBROOK

State *

NY

Zip Code *

11563

Property Ownership Details

Ownership Details *

Corporation or LLC

First Name of Contact Person *

ERIC

Last Name of Contact Person *

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VILLAGE OF FREDRICKTOWN

WEINSTEIN

Property Owners Contact Number *

516-680-8149

Property Owners Secondary Contact Number *

516-680-8149

Email Address of Owner *

NYDENTIST@HOTMAIL.COM

Mailing Address *

186 ATLANTIC AVENUE

City *

FREEPORT

State *

NY

Zip Code *

11520

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Contractor Information

Have You Selected a Contractor Yet *

No

Type of Improvement

Type of Improvement * ?

Addition

Is the Property in a Floodzone? *

No

Is This Waterfront Property *

No

Detailed Description of Proposed or Maintain Work * ?

PROPOSED ONE STORY ADDITION TO AN EXISTING DENTAL OFFICE

Is This Filing For Zoning Approval Only? * ?

Yes

Work Proposed

Proposed or Maintain? * ?

Proposed Commercial

Who will be completing the work? *

Contractor

Name of Contact for Company * ?

TBD

Describe Proposed Work in Detail * ?

PROPOSED ONE STORY ADDITION TO AN EXISTING DENTAL OFFICE

Type of Building *

Non-Residential

Existing Use *

Office / Bank / Professional Building

Proposed Use *

Office, bank or professional building

Will there be any plumbing work? * ?

Yes

Will there be any electrical work? * ?

Yes

Will there be any Mechanical Work * ?

Yes

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Is there an engineer associated with this work? *

No

Cost

Cost of Improvement *

480,000

Electrical ?

--

Plumbing ?

--

Heating, Air Conditioning ?

--

Other (elevator, etc) ?

0

Total Cost of Improvement

480,000

Principal Type

Existing Construction Type *

IIIA ORDINARY CONSTRUCTION

Proposed Construction Type *

IIIA ORDINARY CONSTRUCTION

Principal Type of Heating Fuel *

Gas

Mechanical Type

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Will there be central air conditioning? *

Yes

Will the building have sprinklers?

No

Dimensions of Lot

Number of Stories *

1.5

Total square feet of all floors based on exterior dimensions (excludes basement or cellar) *

3,485

TOTAL LAND AREA (SQUARE FEET) *

10,228

Number of Off Street Parking Spaces

Enclosed *

0

Outdoors *

7

Required Forms and Information

You have indicated there will be plumbing work accompanying this building permit; please apply for Plumbing Permit Application here

(<https://freeportny.portal.opengov.com/categories/1081/record-types/6428>)

You have indicated there will be electrical work accompanying this building permit; please apply for Electrical Permit Application here

(<https://freeportny.portal.opengov.com/categories/1081/record-types/6431>)

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Signature

I confirm that the property owner hereby authorizes me as the applicant to apply for and act on the property owner's behalf, in all matters relative to work authorized by this building's permit applications. *

DAVID C. GONZALES
Oct 10, 2025

The owner of this building and the undersigned agree to conform to all applicable laws of the Village of Freeport NY *

DAVID C. GONZALES
Oct 10, 2025

I do hereby attest under the pains and penalties of perjury that all of the information contained in this application is true and accurate to the best of my knowledge and understanding. *

DAVID C. GONZALES
Oct 10, 2025

I do hereby attest that I understand that any and all associated permit fees are non-refundable *

DAVID C. GONZALES
Oct 10, 2025

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Village of Freeport

Your Profile

Your Records (</dashboard/records>)

Resources

Claim a Record (</claimRecord>)

Employee Login (<https://freeportny.workflow.opengov.com>)

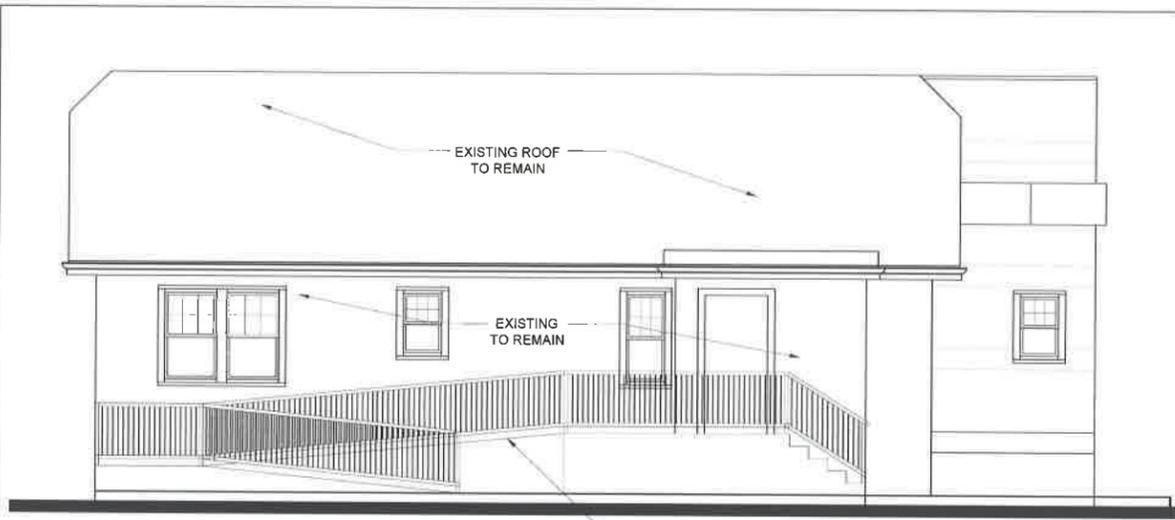
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186 Atlantic Ave., Freeport NY
Proposed One Story Addition
to Existing Dental Office



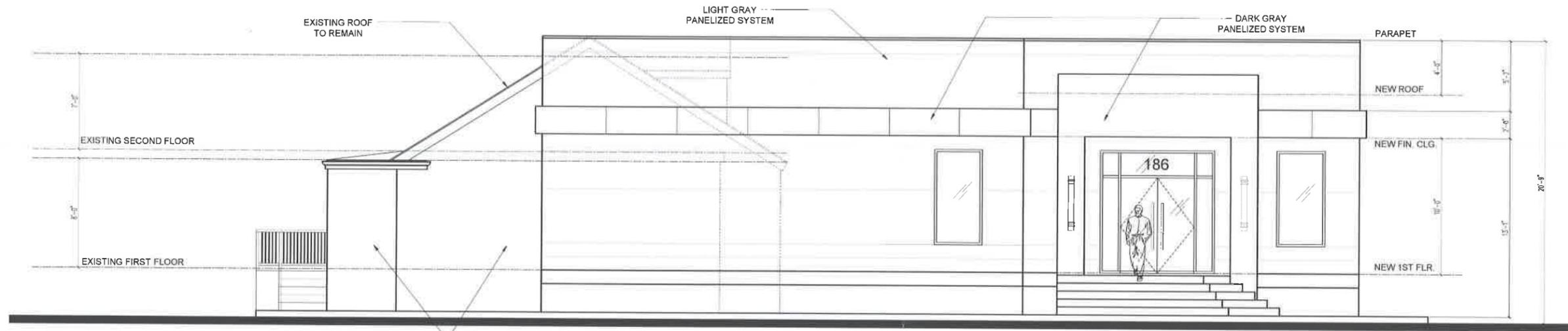
2 REAR ELEVATION

SCALE: 1/4" = 1'-0"



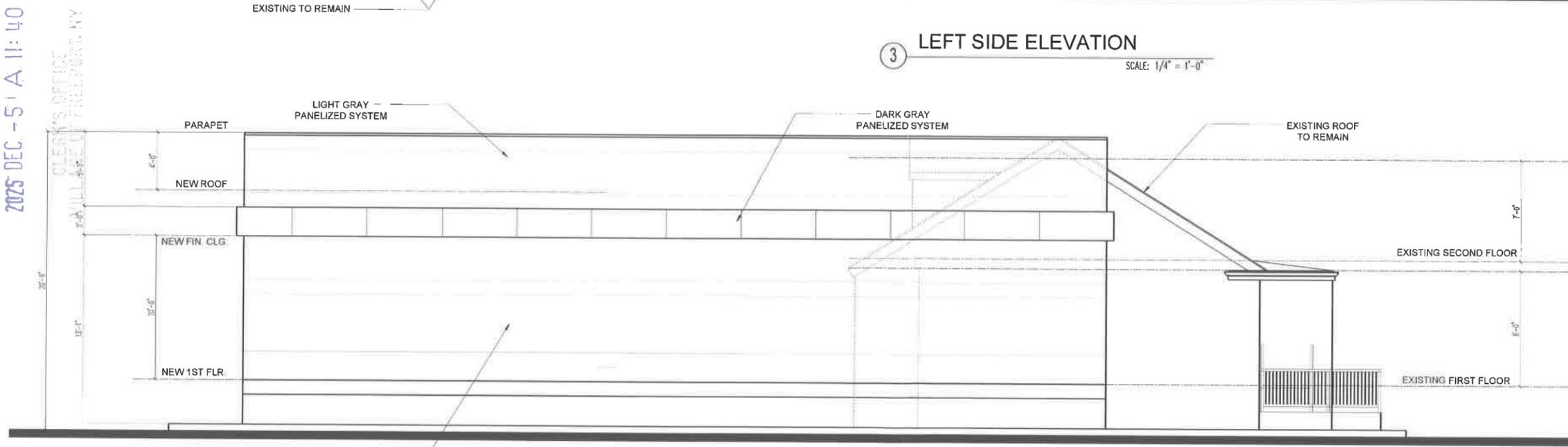
1 FRONT ELEVATION

SCALE: 1/4" = 1'-0"



3 LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



4 RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



67 Rolling Street
Lynbrook, NY 11563
Main: (833) 616-7676
Email: info@76arc.com

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No.	REVISIONS	DATE

PROJECT NAME:
PROJECT NO.:

PFG of NY LLC
186 ATLANTIC AVE.
FREEPORT, NY

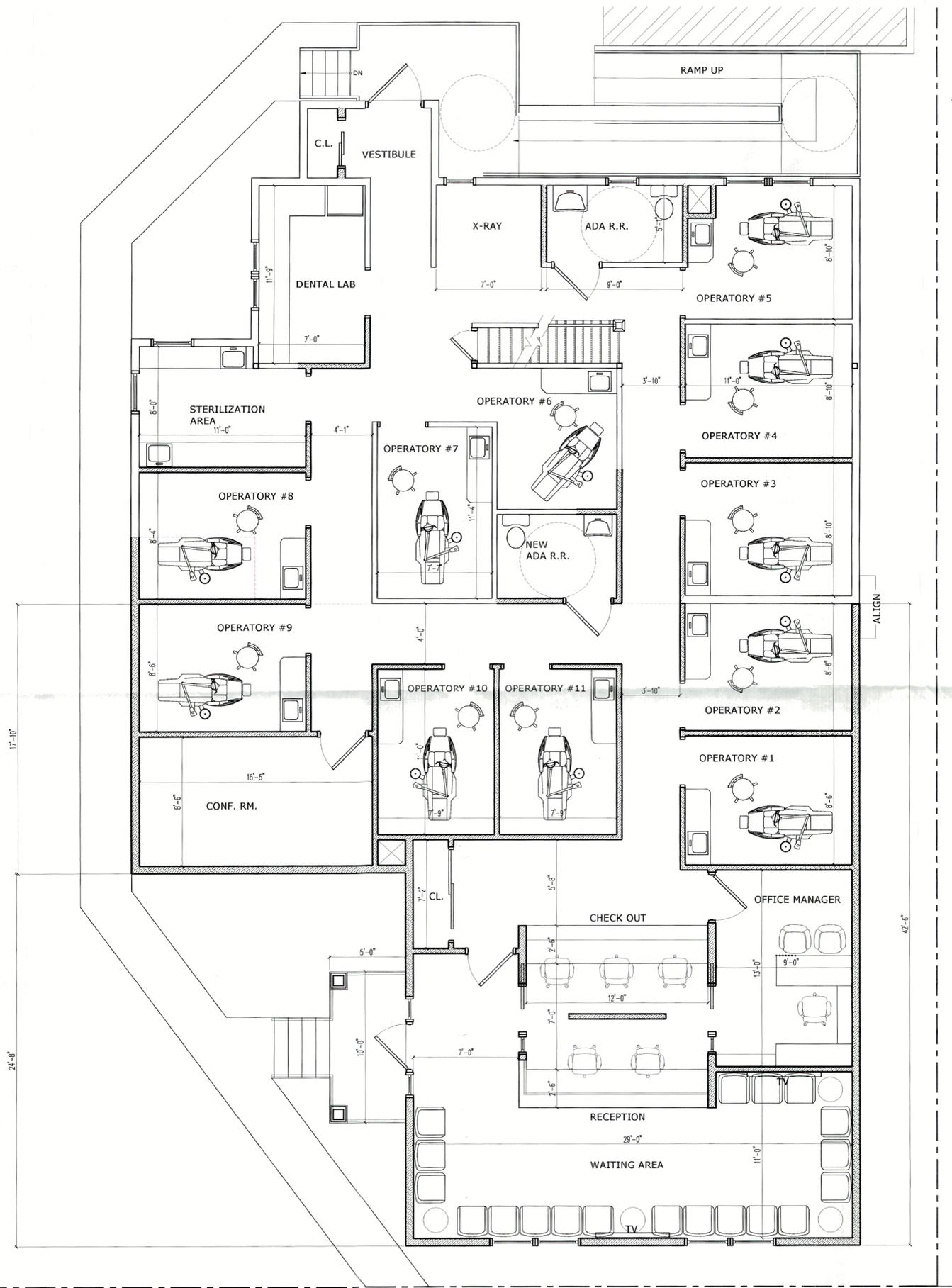
PROPOSED ONE STORY
ADDITION TO AN EXISTING
DENTAL OFFICE



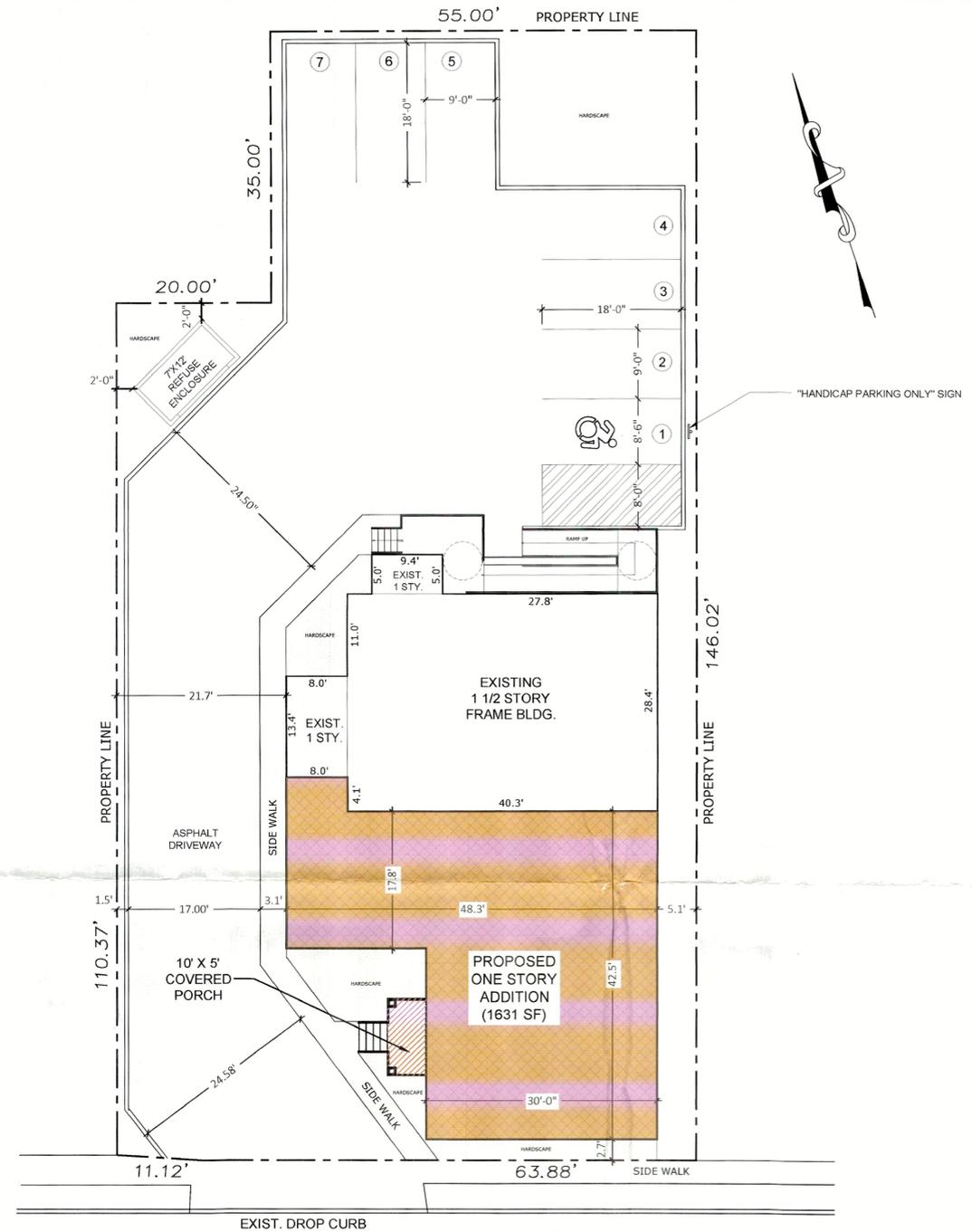
PROJECT NUMBER:
ELEVATIONS

PROJECT NO.	DATE
25-0138	10-08-2025
AS NOTED	DG

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 CLEAN'S OFFICE
 186 ATLANTIC AVE. FREEPORT, NY



1 FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 PLOT PLAN
SCALE: 1" = 10'

ZONING REGULATION FOR DENTAL OFFICE IN BUSINESS DISTRICTS				
ZONING DATA:		EXISTING BUILDING INFO:		FILED UNDER SEPARATE APPLICATION IF APPLICABLE
SEC-BLK-LOT:	62 - 113 - 216	FIRST FLR AREA:	1278 S.F.	(A) ELECTRICAL
ZONE:	RESIDENTIAL AA	SECOND FLR AREA:	576 S.F.	(B) FIRE ALARM SYSTEM
LOT AREA:	10,228 S.F.	EXISTING BUILDING HEIGHT:	1 1/2 STORY	(C) PLUMBING
REGULATIONS	ZONING SECTION	REQUIRED	EXISTING	PROPOSED
ZONING REGULATIONS: APARTMENT & BUSINESS DISTRICT				
PERMITTED USES	210-29	RESIDENTIAL	DENTAL OFFICE	NO CHANGE
MAXIMUM HEIGHT	210-31	35 FEET; 3 STORIES	15 FEET; 1 1/2 STORIES	ONE STORY
LOT AREA; STREET FRONTAGE; LOT WIDTH	210-32	7,500 SF; 75'; 75'	10,228 SF; 75'; 75'	NO CHANGE
LOT COVERAGE; FLOOR AREA RATIO	210-33	LOT COVERAGE: 25%; FAR: 40%	15% (1589 SF); 18% (1854 SF)	28.93% (2959 SF)*; 34.07% (3485 SF)
MINIMUM FLOOR AREA	210-34	1000 SF MIN FA; FIRST FLOOR 800 SF	1854 SF FLR AREA; 1278 FF	3485 SF FLR AREA; 2909 SF (1ST FL)
REQUIRED YARDS	210-35			
1. FRONT YARD		1. FRONT YARD 20'	1. 45.19'	1. 2.75'*
2. REAR YARD		2. REAR YARD 20' OR 20% OF LOT DEPTH WHICH EVER IS GREATER	2. 66' (20% OF DEPTH = 29.2')	2. NO CHANGE
3. SIDE YARDS		3. SIDE YARDS 10 FEET; SUM OF THE WIDTH OF TWO SIDE YARDS SHALL AT A MIN. EQUAL 25% OF THE LOT WIDTH	3. 5.08' (26.79 COMBINED) 18.75 (25% OF 75')	3. 5.08' & 21.7'
PARKING	210-72 (12)	ALL NONRESIDENTIAL BUILDINGS: 1 PARKING SPACE PER 400 S.F. OF FLOOR AREA OF BUILDINGS PLUS 2	1854 / 400 = 5 PLUS 2 = 7	3485 / 400 = 8.71 PLUS 2 = 10.71 11 SPACES REQUIRED 7 SPACES PROVIDED*

* REQUIRES VARIANCE



67 Rolling Street
Lynbrook, NY 11563
Main: (833) 616-7676
Email: info@76arc.com

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No.	REVISIONS	DATE

OFFICIAL USE:

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VALLEY ENGINEERING ARCHITECTURE INC.

CLIENT NAME:

PFG of NY LLC
186 ATLANTIC AVE.
FREEPORT, NY

PROJECT TITLE:

PROPOSED ONE STORY ADDITION TO AN EXISTING DENTAL OFFICE



DRAWING NAME:

PLOT PLAN ZONING ANALYSIS FLOOR PLAN

PROJECT No.: 25-0138 DATE: 10-08-2025

SCALE: AS NOTED BY: DG

DRAWING No.: A-1

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SEC. 62 BLK. 113 LOT. 216

CLERK'S OFFICE
VILLAGE OF FREEPORT, NY
BOARD OF APPEALS OF THE VILLAGE OF FREEPORT

In the Matter
Of
the Application of

To The Board of Appeals of the Village of Freeport, New York

Index No.

COMPLY WITH
ORIGINAL NOTES

The application of Eric Weinstein

respectfully states and alleges:

Strike out
inapplicable
phrase

1. That the applicant (resides at) (has its principal office for the conducting of its business at)
186 Atlantic Ave, Freeport NY 11520

State whether
applicant is owner,
lessee, or has option
or contract. If other
than owner, state
briefly terms of
agreement.

2. That the premises affected by this application is located at 186 Atlantic Ave, Freeport NY 11520 Land Map of Nassau County
Sec. 62 Blk. 113 Lot(s) 216

and that the interest which the applicant has in the property concerned is that of property and business owner

3. That (the applicant) (the applicant's duly authorized David Gonzales) on or about the
10 day of October 2025, filed in the office of the Department of Buildings of the Village of
Freeport, New York, an application for a Building Permit. Documents filed with said application were
as follows:
Architectural Plans, Survey, Short Environmental Assessment, Owner Fee Affidavit, NC Assessment

Obtain reason for
denial from
Department of
Buildings.

4. That on or about the 13th day of November, 2025, the Department of Buildings denied said
application; upon information and belief that the reason for said denial was as follows: Village
Ordinance S210-6A Conformity Required; S210-3 Lot Coverage, S210-86 Required Yards; S210-87
Plots abutting more restricted districts; S210-72 Required Parking Spaces; S210-180 Plots abutting Residential
Districts

Describe by
construction and
number of stories. If
none, so state.

5. ~~That the nature of the improvements now upon said premises is as follows:~~ Proposed 1631 SF one story addition

State nature of use of
property. If a
business, give brief
description.

6. That said premises are now being used as follows: Dental Office

Describe fully and
clearly the use
desired.

7. That the applicant seeks authority to make use of said premises as follows: Dental Office

Strike out whichever
word is not
applicable. Follow
language in
ordinance.

8. Upon information and belief that a ~~(permit)~~ (variance) for such use may be granted by this Board by
virtue of the following sections of the said Zoning Code of The Village of Freeport or statutes of the
State of New York S210-6A; S210-3; S210-86; S210-87; S210-172; S210-180

Refer where possible
to paragraphs and
section by numbers.

9. That the following is a statement of other factual information deemed pertinent by the applicant. If the
application involves a subdivision of property, describe the existing property: N/A

If more space is needed annex statement on separate sheet and refer to it here with following words: "See annexed statement which is made a part hereof." Save opinions for the hearing.

If non-conforming use is claimed, set forth uses made of premises and dates thereof in chronological order.

10. That the grounds for this application are as follows: Requesting Board approval for a Proposed One story addition to existing Dental Office

11. That any deed restrictions running with the land prohibiting the desired use are as follows: N/A

12. That (the applicant has made no previous application to this Board for the authority sought herein) (upon information and belief a previous application was made for the same or similar authority sought herein and denied by this Board, but that this application contains facts not alleged or shown in any previous preceding before this Board).

WHEREFORE, the applicant respectfully prays that the authority sought herein be granted.

Dated: November 13, 2025

BY: April Madigan - 8 West Merrick Road
ITS: Expeditior Ste / Freeport, NY 11520
219

If this verification is made by an officer of a corporation or an Association or by a legal representative of an estate, his name and office should be designated on the first line.

State of New York)
County of Nassau) ss:

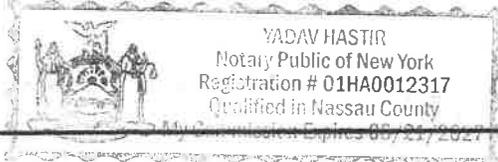
The applicant Eric Weinstein named in the foregoing application, being duly sworn, depose and say that he read the foregoing application subscribed by April Madigan and know the contents thereof; and that the same is true to his own knowledge except as to the matters therein stated to be alleged on information and belief, and that as to those matters he believe all to be true.

Sworn to before me this 13 day
of November, 2025

Notary Public [Signature]

X

Signature of Applicant



Notice

Conflict of Interest

I have read Section 809 of the General Municipal Law concerning disclosure of and conflict of interest and hereby certify that there are no conflicts in respect to this application requiring disclosure.

11/13, 2025
Date Year

X

Signature

Affidavit of Owner

To be completed only if the owner is not the applicant.

State of New York)
County of Nassau) ss:

I, Eric Weinstein being duly sworn, depose and say:

That he/she (the owner of 186 Atlantic Ave. Freeport) (is the _____ of

_____ the property concerned is correct to the best of the knowledge of deponent _____)

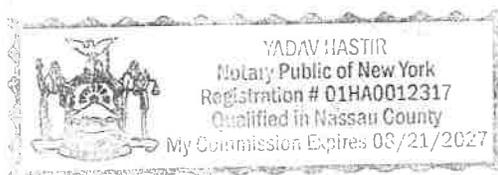
That the owner Eric Weinstein consents to the granting of the authority sought in the above application.

Sworn to before me this 13 day
of November, 2025

Notary Public [Signature]

X

Signature





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CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

ROBERT T. KENNEDY
MAYOR

SERGIO A MAURAS
SUPERINTENDENT OF BUILDINGS

LETTER OF DENIAL

November 24, 2025

Eric Weinstein
186 Atlantic Ave
Freeport NY 11520

RE: 186 Atlantic Ave, Freeport, NY

Zoning District – Residence AA (western 11 feet) / Business B (eastern 64 feet) Sec. 62 Blk. 113 Lot 216

Building Permit Application BP – 25-77

Description: Proposed 1631 SF one story addition.

Dear Sir/Madam:

Please be advised that the above captioned Building Permit Application must be denied for the following reason(s):

Village Ordinance §210-6A. Conformity Required. No building or land shall hereafter be used or occupied and no building or part thereof shall be erected, moved or altered unless in conformity with the regulations herein specified for the district in which it is located.

Village Ordinance §210-3. Parking Space. As defined, required parking spaces to be an accessible area of not less than 9' wide and 20' long. The parking spaces provided indicate their dimensions to be 9' wide by 18' long. You will be seeking a variance for undersize parking spaces.

Village Ordinance §210-86. Required Yards.

A. Front yards. Every building shall have a minimum front yard depth of five feet, except along streets where greater setbacks have been established. According to the drawings the front yard is 2.75'. You will be seeking a variance of 2.25'.

Village Ordinance §210-87. Plots abutting more restricted districts.

For all nonresidential uses of plots that abut directly on a Residence Apartment District or more highly restricted district, there shall be provided a yard of at least 10 feet in depth along the line where it abuts on such more highly restricted district. Such yard shall not be used for vehicular access, vehicle storage or parking and shall remain open, unobstructed and unencumbered. According to the drawings there is a 17' wide side yard on the west side used as a driveway for vehicular access. There is no rear or side yard proposed. 10' of yard along western side and rear is required as per code and prior zoning decision in 1996.

Village Ordinance §210-172. Required parking spaces.

A. The following number of parking spaces shall be provided and satisfactorily maintained for each building, lot or combination thereof which is hereafter lawfully erected, enlarged, altered, maintained and/or used for any of the following purposes:

(12) All nonresidential buildings in any zoning district except as otherwise required in this section: at least one parking space for each 400 square feet of the floor area of the building or structure plus parking space for two cars for each individual store, shop or business in the building or structure. According to the plans submitted the total sf is $3485/400=9 + 2 = 11$ parking spaces are required and only 7 were provided. You will be seeking a variance of 4 parking spaces. Additionally, 3 of the 7 spaces provided are located in the required rear buffer zone.

Village Ordinance §210-180. Plots abutting residential districts.

C. Shrubbery. The five-foot area adjacent to the fence in the lesser restricted district shall be planted with slow-growing evergreen shrubs spaced not more than 10 feet apart and grass or adequate ground cover as recommended or approved by the Superintendent of Buildings. There is no required shrubbery shown on the plan. According to the drawings three parking spaces are located at the required 5' area along the rear property line.

Please be further advised that if you intend to appeal this decision you must file a Zoning Board of Appeals application within sixty (60) days of the date of this letter. For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the Village Clerk's Office at 516-377-2202 to make an appointment to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's office. Only after this initial appointment should the additional copies be made

In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Zoning Board of Appeals Application only, please call the VILLAGE CLERK'S OFFICE at 377-2202.

Very truly yours,

Sergio A. Mauras

Sergio A. Mauras
Superintendent of Buildings
Daniela Hernandez, Plans Examiner
cc: Village Clerk

SITE PLAN APPROVAL NEEDED: YES

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VILLAGE OF FREEBORO, NY

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

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OFFICE OF THE SUPERINTENDENT OF BUILDINGS

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

 The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project: Building Permit App. BP-25-77

Location: 186 Atlantic Ave, Freeport NY 11520

Applicant: Eric Weinstein

Description: Proposed 1631 SF one story addition

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) _____

B) Possible environment effects identified:
(only if positive determination)

Dated: November 24, 2025

Sergio A. Mauras
Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

617.20
Appendix B
Short Environmental Assessment Form

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Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
PFG OF NY LLC			
Name of Action or Project: DENTAL OFFICE			
Project Location (describe, and attach a location map): 186 ATLANTIC AVE FREEPORT, NY 11520			
Brief Description of Proposed Action: PROPOSED ONE STORY ADDITION TO AN EXISTING DENTAL OFFICE			
Name of Applicant or Sponsor: DAVID GONZALES		Telephone: 833-616-7676	
		E-Mail: INFO@76ARC.COM	
Address: 67 ROLLING ST			
City/PO: LYNBROOK		State: NY	Zip Code: 11563
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO <input type="checkbox"/>
BZA APPROVAL			YES <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		0.234	acres
b. Total acreage to be physically disturbed?		0.037	acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		0	acres
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			

		NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?		<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Are public transportation service(s) available at or near the site of the proposed action?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: <u>LED LIGHTING & HIGH EFFICIENCY HVAC</u>		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES [If Yes, does the existing system have capacity to provide service?] If No, describe method for providing potable water: _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES [If Yes, does the existing system have capacity to provide service?] If No, describe method for providing wastewater treatment: _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Is the proposed action located in an archeological sensitive area?		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:				
<input type="checkbox"/> Shoreline	<input type="checkbox"/> Forest	<input type="checkbox"/> Agricultural/grasslands	<input type="checkbox"/> Early mid-successional	
<input type="checkbox"/> Wetland	<input type="checkbox"/> Urban	<input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100 year flood plain?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES				

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>

I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

Applicant/sponsor name: DAVID GONZALES Date: 10/10/2025

Signature: 

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:	<input type="checkbox"/>	<input type="checkbox"/>
a. public / private water supplies?	<input type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

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 VILLAGE OF FREEBORO, NY

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

Building Permit Application

BUIL-25-77

Your Submission

Attachments

Guests (1)

- ✔ Commercial Permit Fee
- ✔ Initial Completeness Review
- ✔ Building Inspector Plan Review
- ✔ Referral to Zoning Board of Appeals
- Ⓜ Zoning Decision

Referral to Site Plan Board

Site Plan Letter & Negative Declaration

Site Plan Decision - Affidavit of Compliance

Provide Workers Comp, Disability, and Liability Insurance

Provide Signed Contract with Detailed Cost

Contract Review.

Commercial Permit Fee

Attach a Plumbing Permit

Attach an Electric Permit

Attach a Mechanical / HVAC Permit

Final Review of All Required Documents

Forward Assessment Form to County

Building Inspector Assignment

Permit Card Issued

Custom Inspection

Final Inspection

Certificate of Completion

CLERK'S OFFICE
VILLAGE OF FELDORA, NY

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Your submission

Submitted Oct 10, 2025 at 6:36pm

Contact Information

David Gonzales

Email address

info@76arc.com

Phone Number

833-616-7676

Mailing Address

67 Rolling Street , Lynbrook, New York 11563

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CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

Locations

1 location total

PRIMARY LOCATION



186 ATLANTIC AVE
FREEPORT, NY 11520

Instructions

I hereby certify that I have read and accept the above conditions *



Residential or Commercial

Residential Property

--

Commercial Property



Applicant Information

Applicant is *

Architect

Applicant Contact Number *

833-616-7676

Phone Number *

516-343-7474

Applicant Email Address

DAVID@76ARC.COM

Mailing Address *

67 ROLLING STREET

City *

LYNBROOK

State *

NY

Zip Code *

11563

Property Ownership Details

Ownership Details *

Corporation or LLC

First Name of Contact Person *

ERIC

Last Name of Contact Person *

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VILLAGE OF FREDRICKTOWN

WEINSTEIN

Property Owners Contact Number *

516-680-8149

Property Owners Secondary Contact Number *

516-680-8149

Email Address of Owner *

NYDENTIST@HOTMAIL.COM

Mailing Address *

186 ATLANTIC AVENUE

City *

FREEPORT

State *

NY

Zip Code *

11520

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VILLAGE OF FREEPORT, NY

Contractor Information

Have You Selected a Contractor Yet *

No

Type of Improvement

Type of Improvement * ?

Addition

Is the Property in a Floodzone? *

No

Is This Waterfront Property *

No

Detailed Description of Proposed or Maintain Work * ?

PROPOSED ONE STORY ADDITION TO AN EXISTING DENTAL OFFICE

Is This Filing For Zoning Approval Only? * ?

Yes

Work Proposed

Proposed or Maintain? * ?

Proposed Commercial

Who will be completing the work? *

Contractor

Name of Contact for Company * ?

TBD

Describe Proposed Work in Detail * ?

PROPOSED ONE STORY ADDITION TO AN EXISTING DENTAL OFFICE

Type of Building *

Non-Residential

Existing Use *

Office / Bank / Professional Building

Proposed Use *

Office, bank or professional building

Will there be any plumbing work? * ?

Yes

Will there be any electrical work? * ?

Yes

Will there be any Mechanical Work * ?

Yes

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VILLAGE OF FREEDOM, NY

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Is there an engineer associated with this work? *

No

Cost

Cost of Improvement *

480,000

Electrical ?

--

Plumbing ?

--

Heating, Air Conditioning ?

--

Other (elevator, etc) ?

0

Total Cost of Improvement

480,000

Principal Type

Existing Construction Type *

IIIA ORDINARY CONSTRUCTION

Proposed Construction Type *

IIIA ORDINARY CONSTRUCTION

Principal Type of Heating Fuel *

Gas

Mechanical Type

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Will there be central air conditioning? *

Yes

Will the building have sprinklers?

No

Dimensions of Lot

Number of Stories *

1.5

Total square feet of all floors based on exterior dimensions (excludes basement or cellar) *

3,485

TOTAL LAND AREA (SQUARE FEET) *

10,228

Number of Off Street Parking Spaces

Enclosed *

0

Outdoors *

7

Required Forms and Information

You have indicated there will be plumbing work accompanying this building permit; please apply for Plumbing Permit Application here

(<https://freeportny.portal.opengov.com/categories/1081/record-types/6428>)

You have indicated there will be electrical work accompanying this building permit; please apply for Electrical Permit Application here

(<https://freeportny.portal.opengov.com/categories/1081/record-types/6431>)

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VILLAGE OF FREEPORT, NY

Signature

I confirm that the property owner hereby authorizes me as the applicant to apply for and act on the property owner's behalf, in all matters relative to work authorized by this building's permit applications. *

DAVID C. GONZALES
Oct 10, 2025

The owner of this building and the undersigned agree to conform to all applicable laws of the Village of Freeport NY *

DAVID C. GONZALES
Oct 10, 2025

I do hereby attest under the pains and penalties of perjury that all of the information contained in this application is true and accurate to the best of my knowledge and understanding. *

DAVID C. GONZALES
Oct 10, 2025

I do hereby attest that I understand that any and all associated permit fees are non-refundable *

DAVID C. GONZALES
Oct 10, 2025

Notice

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VILLAGE OF FREEPORT, NY

Village of Freeport

Your Profile

Your Records (</dashboard/records>)

Resources

Claim a Record (</claimRecord>)

Employee Login (<https://freeportny.workflow.opengov.com>)

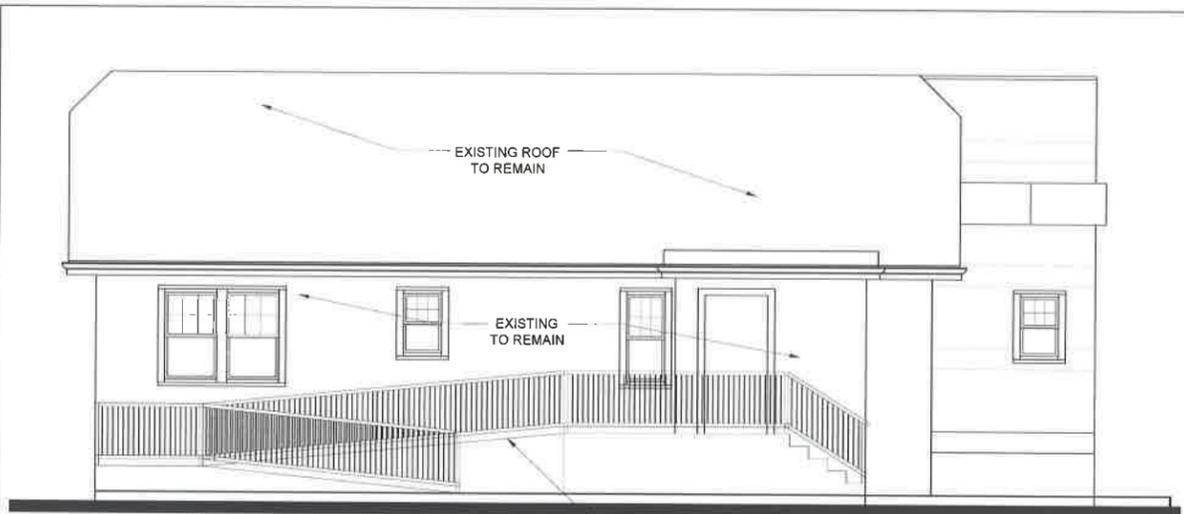
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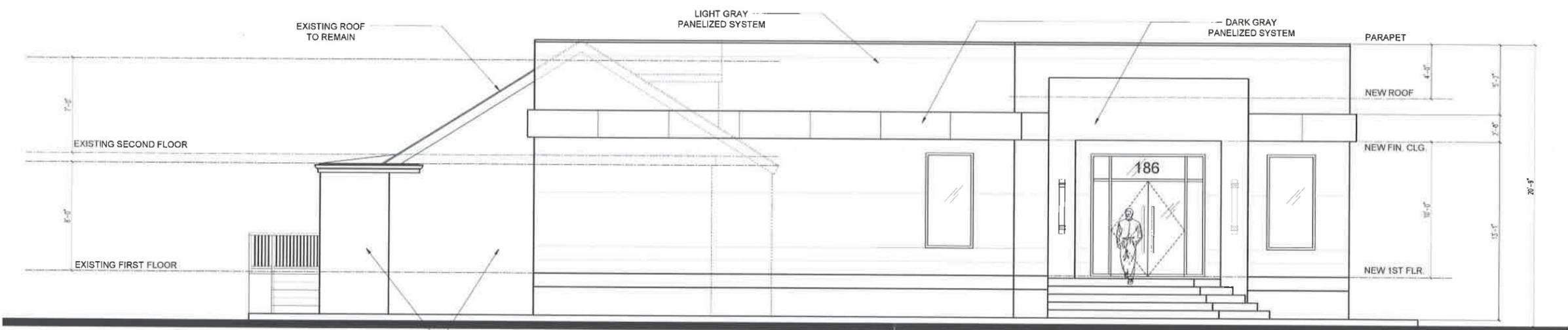
186 Atlantic Ave., Freeport NY
Proposed One Story Addition
to Existing Dental Office



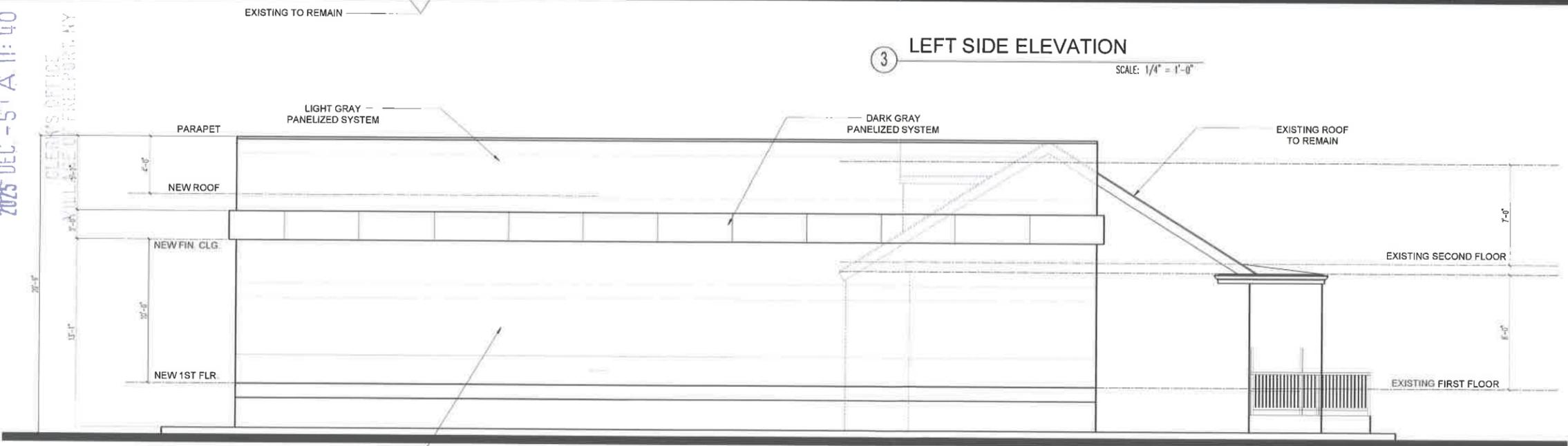
2 REAR ELEVATION
SCALE: 1/4" = 1'-0"



1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



3 LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



4 RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



67 Rolling Street
Lynbrook, NY 11563
Main: (833) 616-7676
Email: info@76arc.com

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No.	REVISIONS	DATE

PROJECT NAME:
PROJECT NO.:

PFG of NY LLC
186 ATLANTIC AVE.
FREEPORT, NY

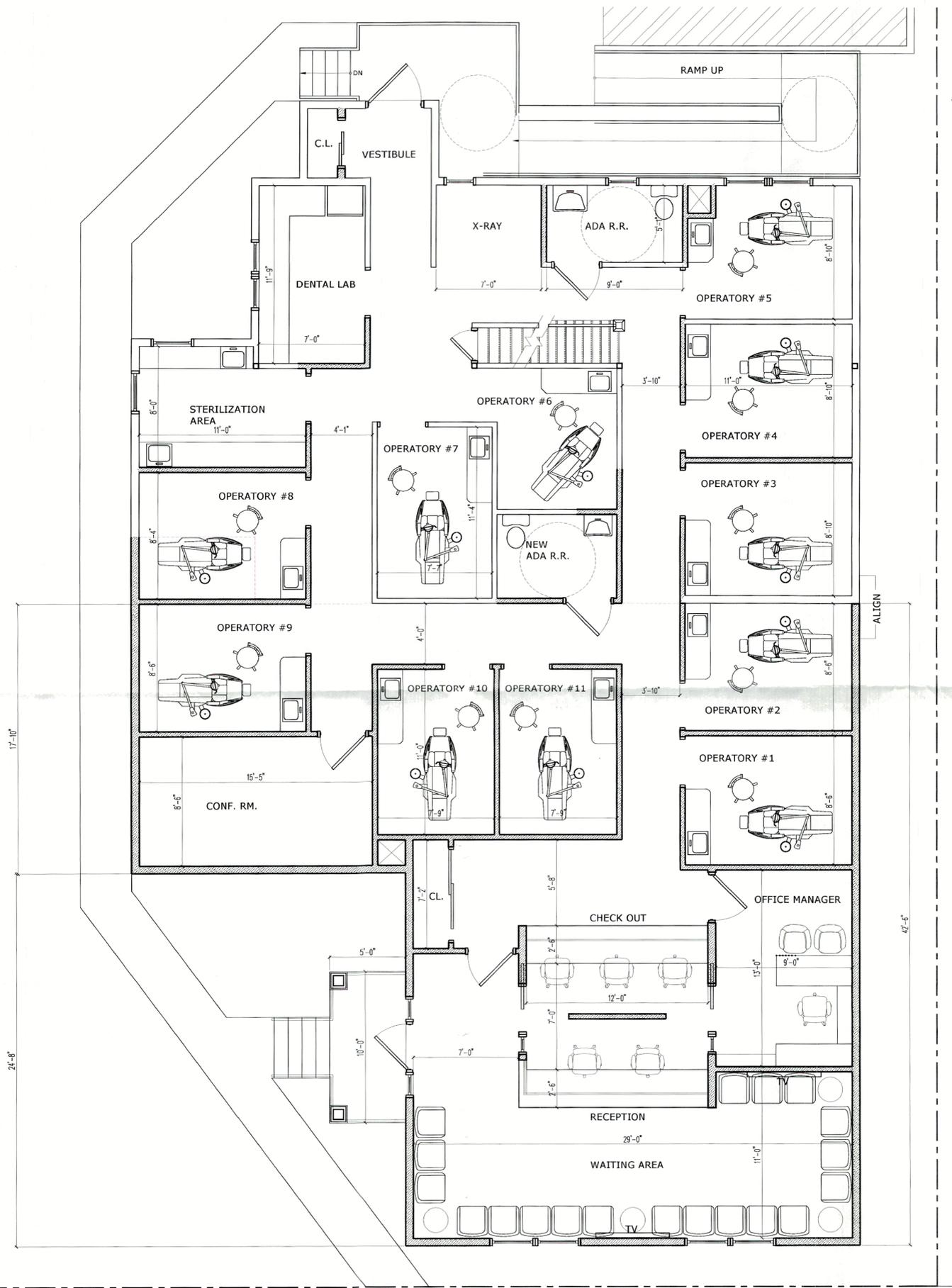
PROPOSED ONE STORY
ADDITION TO AN EXISTING
DENTAL OFFICE



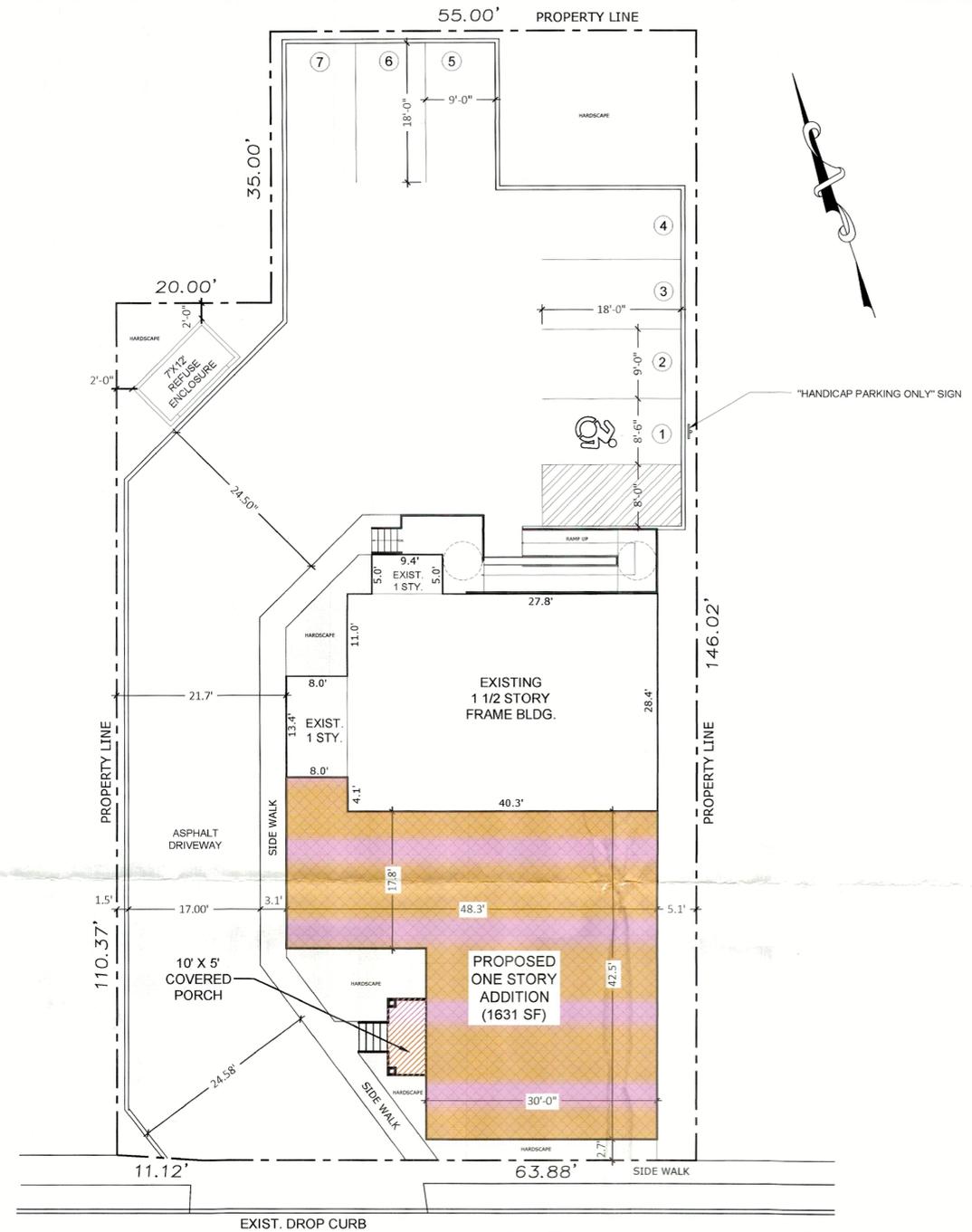
PROPOSED WORK:
ELEVATIONS

PROJECT No.	DATE
25-0138	10-08-2025
BY AS NOTED	BY DG

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 186 ATLANTIC AVE
 FREEPORT, NY



1 FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 PLOT PLAN
SCALE: 1" = 10'

ZONING REGULATION FOR DENTAL OFFICE IN BUSINESS DISTRICTS				
ZONING DATA:		EXISTING BUILDING INFO:		FILED UNDER SEPARATE APPLICATION IF APPLICABLE
SEC-BLK-LOT:	62 - 113 - 216	FIRST FLR AREA:	1278 S.F.	(A) ELECTRICAL
ZONE:	RESIDENTIAL AA	SECOND FLR AREA:	576 S.F.	(B) FIRE ALARM SYSTEM
LOT AREA:	10,228 S.F.	EXISTING BUILDING HEIGHT:	1 1/2 STORY	(C) PLUMBING
REGULATIONS	ZONING SECTION	REQUIRED	EXISTING	PROPOSED
ZONING REGULATIONS: APARTMENT & BUSINESS DISTRICT				
PERMITTED USES	210-29	RESIDENTIAL	DENTAL OFFICE	NO CHANGE
MAXIMUM HEIGHT	210-31	35 FEET; 3 STORIES	15 FEET; 1 1/2 STORIES	ONE STORY
LOT AREA; STREET FRONTAGE; LOT WIDTH	210-32	7,500 SF; 75'; 75'	10,228 SF; 75'; 75'	NO CHANGE
LOT COVERAGE; FLOOR AREA RATIO	210-33	LOT COVERAGE: 25%; FAR: 40%	15% (1589 SF); 18% (1854 SF)	28.93% (2959 SF)*; 34.07% (3485 SF)
MINIMUM FLOOR AREA	210-34	1000 SF MIN FA; FIRST FLOOR 800 SF	1854 SF FLR AREA; 1278 FF	3485 SF FLR AREA; 2909 SF (1ST FL)
REQUIRED YARDS	210-35			
1. FRONT YARD		1. FRONT YARD 20'	1. 45.19'	1. 2.75'*
2. REAR YARD		2. REAR YARD 20' OR 20% OF LOT DEPTH WHICH EVER IS GREATER	2. 66' (20% OF DEPTH = 29.2')	2. NO CHANGE
3. SIDE YARDS		3. SIDE YARDS 10 FEET; SUM OF THE WIDTH OF TWO SIDE YARDS SHALL AT A MIN. EQUAL 25% OF THE LOT WIDTH	3. 5.08' (26.79 COMBINED) 18.75 (25% OF 75')	3. 5.08' & 21.7'
PARKING	210-72 (12)	ALL NONRESIDENTIAL BUILDINGS: 1 PARKING SPACE PER 400 S.F. OF FLOOR AREA OF BUILDINGS PLUS 2	1854 / 400 = 5 PLUS 2 = 7	3485 / 400 = 8.71 PLUS 2 = 10.71 11 SPACES REQUIRED 7 SPACES PROVIDED*

* REQUIRES VARIANCE



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NO.	REVISIONS	DATE

OFFICIAL USE:

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VALERIE GONZALEZ ARCHITECTURE, INC.

CLIENT NAME:

PFG of NY LLC
186 ATLANTIC AVE.
FREEPORT, NY

PROJECT TITLE:

PROPOSED ONE STORY ADDITION TO AN EXISTING DENTAL OFFICE



DRAWING NAME:

PLOT PLAN ZONING ANALYSIS FLOOR PLAN

PROJECT No.: 25-0138 DATE: 10-08-2025

SCALE: AS NOTED BY: DG

DRAWING No.: A-1



SEC. 62 BLK. 177 LOT. 339
526

BOARD OF APPEALS OF THE VILLAGE OF FREEPORT

541
542
548

In the Matter
Of
the Application of
NBD Holding LLC

To The Board of Appeals of the Village of Freeport, New York

Index No.

COMPLY WITH ORIGINAL NOTES

The application of NBD Holding LLC

respectfully states and alleges:

Strike out inapplicable phrase

1. That the applicant ~~resides at~~ (has its principal office for the conducting of its business at) 333 Jericho Turnpike, Suite 126, Jericho, New York 11753
Contact: Kathleen Deegan Dickson or Taylor Gonzalez of Forchelli Deegan Terrana LLP, Kdickson@forchellilaw.com or Tgonzalez@forchellilaw.com, (516) 812-6223

State whether applicant is owner, lessee, or has option or contract. If other than owner, state briefly terms of agreement.

2. That the premises affected by this application is located at Land Map of Nassau County
435 Woodcleft Avenue, Freeport, New York Sec. 62 Blk. 177 Lot(s) 339, 526, 541, 542, 548
and that the interest which the applicant has in the property concerned is that of Property Owner

Obtain reason for denial from Department of Buildings.

3. That (the applicant) (~~the applicant's duly authorized~~) on or about the 10 day of April, 202020, filed in the office of the Department of Buildings of the Village of Freeport, New York, an application for a Building Permit. Documents filed with said application were as follows:
Site Plan, Construction Plans, Elevations Plans

Describe by construction and number of stories. If none, so state.

4. That on or about the 3 day of November, 2025, the Department of Buildings denied said application; upon information and belief that the reason for said denial was as follows: Non conformity with the code, building height, number of stories, insufficient parking spaces and undersized parking spaces.

State nature of use of property. If a business, give brief description.

5. That the nature of the improvements now upon said premises is as follows: construct a hotel with a banquet hall, restaurant and accessory parking

Describe fully and clearly the use desired.

6. That said premises are now being used as follows: vacant lot

Strike out whichever word is not applicable. Follow language in ordinance.

7. That the applicant seeks authority to make use of said premises as follows: a 138 room 6-story new construction hotel, with a banquet hall, restaurant and accessory parking offsite at Section 62 Block 233 Lots 2&3

Refer where possible to paragraphs and section by numbers.

8. Upon information and belief that a (~~variance~~) (variance) for such use may be granted by this Board by virtue of the following sections of the said Zoning Code of The Village of Freeport or statutes of the State of New York Sections 210-6A, 210-239, 210-3 and 210-172(6)

9. That the following is a statement of other factual information deemed pertinent by the applicant. If the application involves a subdivision of property, describe the existing property: This application is a modification of a prior approval grant on August 20, 2020, first modified on June 16, 2022 and later modified on September 21, 2023 (prior approvals attached herein)

If more space is needed annex statement on separate sheet and refer to it here with following words: "See annexed statement which is made a part hereof." Save opinions for the hearing

If non-conforming use is claimed, set forth uses made of premises and dates thereof in chronological order

If this verification is made by an officer of a corporation or an Association or by a legal representative of an estate, his name and office should be designated on the first line

10. That the grounds for this application are as follows: to promote commerce and economic vitality to its immediate surroundings year round.

11. That any deed restrictions running with the land prohibiting the desired use are as follows: See attached Drainage Easement.

12. That (the applicant has made no previous application to this Board for the authority sought herein) ~~xxxxxx information and belief a previous application was made for the same or similar authority sought herein and denied by this Board on the following date: xxxxxxxx~~

WHEREFORE, the applicant respectfully prays that the authority sought herein be granted.

Dated: November 18, 2025

NBD Holding LLC
[Signature]

TAYLOR LYNN GONZALEZ
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 02GO0009599
Qualified in Suffolk County
Commission Expires June 14, 2027

BY: Rohitkumar Sakaria
OFF: Managing Member

State of New York)
County of Nassau) ss:
The applicant Rohitkumar Sakaria named in the foregoing application, being duly sworn, depose and say that he read the foregoing application subscribed by NBD Holding LLC and know the contents thereof; and that the same is true to his own knowledge except as to the matters therein stated to be alleged on information and belief, and that as to those matters believe to be true.

Sworn to before me this 18 day
of November, 2025
Notary Public [Signature]

[Signature]
Signature of Applicant

TAYLOR LYNN GONZALEZ
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 02GO0009599
Qualified in Suffolk County
Commission Expires June 14, 2027

**Notice
Conflict of Interest**

I have read Section 809 of the General Municipal Law concerning disclosure of and conflict of interest and hereby certify that there are no conflicts in respect to this application requiring disclosure.

November 18th, 2025
Date Year

NBD Holdings LLC
[Signature]
Signature
Rohitkumar Sakaria, Managing Member

Affidavit of Owner

To be completed only if the owner is not the applicant.

State of New York)
County of Nassau) ss:
Rohitkumar Sakaria being duly sworn, depose and say:

That he/she is the owner ~~xxxxxx~~ (is the Managing Member) of NBD Holding LLC the property concerned is correct to the best of the knowledge of Rohitkumar Sakaria (deponent)

That the owner NBD Holding LLC consents to the granting of the authority sought in the above application.

Sworn to before me this 18th day
of November, 2025
Notary Public [Signature]

NBD Holding LLC
[Signature]
Signature
Rohitkumar Sakaria, Managing Member

TAYLOR LYNN GONZALEZ
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 02GO0009599
Qualified in Suffolk County
Commission Expires June 14, 2027

[Handwritten initials]
11/18/25

**INCORPORATED VILLAGE OF FREEPORT
ZONING BOARD OF APPEALS DECISION**

DATE: August 20, 2020

APPROVAL

Building Department Permit Application# 20201438

Chairman, regarding Application #2020-09 for the premises located at 435 Woodcleft Avenue. The Applicant comes before this Board seeking a variance from Village Ordinances §210-6A, 210-239, and 210-172(A)3, 4, and 5 seeking approval for a proposed new 100 room hotel with onsite 100 occupant load bar/restaurant, 300 occupant load multi-use public assembly space and utilize section 62 block 233 lots 2 & 3 and section 62 block 183 lot 410 for additional accessory use off-site parking.

I, Ben Jackson, move that this Board make the following findings of fact:

A public hearing was held on August 13, 2020, whereon applicant NBD Holding Inc. was represented by attorney Kathleen Deegan Dickson. She explained the project being proposed: a Hilton-branded hotel with 100 rooms, 300 seat banquet hall, and a 100 seat restaurant. She explained that the biggest challenge was to provide enough parking. She explained that 259 spaces are required, and they are providing all of them. She explained a plan to revitalize the dead end street. All of the uses are permitted. All code requirements are met except some parking is off-site and a small part of the building is taller than the maximum permitted height.

Willy Zambrano, the architect, presented the plan for the building. It is a 3 story building, elevated 15 feet from grade, to prevent flood conditions and accommodate emergency vehicles. He introduced a colleague, Daniel Barrenechea, who worked with him on this design who explained that the building was designed to be an extension of the Nautical Mile. Mr. Zambrano explained the traffic flow pattern under the building and on the pedestrian area at the end of the mile. He explained that only box trucks will be used to make deliveries. He explained the flood elevation and the design flood elevation on the drawings.

Ms. Deegan Dickson explained that they have worked hard to provide all of the parking required. 84 spaces will be under the building, with a combination of self parking and valet parking. Immediately across Woodcleft Avenue is a parking lot with 88 parking spaces which is owned by the applicant as well. There are also 21 spaces on Miller Avenue which will be rented from the condominium, where the condominium swimming pool used to be. The Village also committed to creating 41 parking spaces just south of the existing spaces south of Richmond to rent out to the hotel. Additionally, there will be an agreement with the Village for the rental of 25 parking spaces for employees at the Freeport Recreation Center. No municipal parking is required. They expect some guests to arrive by boat, as the site has some boat slips as well. They also anticipate crossover, as in hotel guests will attend a function and eat in the restaurant, such that they expect excess parking capacity.

Wayne Muller, the traffic engineer, also presented. The Board was provided with a parking and traffic analysis dated June of 2020. The Nassau County Planning Commission issued a local determination for this project. A large portion of the analysis was related to parking. The parking spaces on Miller Ave. will be for long term parking. As explained later in response to a question, long term means an overnight or weekend hotel guest, as opposed to a guest eating at the restaurant or attending a function. A traffic impact analysis was also conducted. Observations were performed in and around the subject property in August of 2019. The report indicated there would be no change in service at the intersections by the introduction of the traffic generated by the project.

Ms. Deegan Dickson spoke about the height variance being requested, explaining that the code permits a building height of 40 feet and 3 stories. She explained that Mr. Zambrano measured the height of the building from the floodplain, so all of the habitable spaces are above the floodplain. She explained that part of the penthouse goes above 40 feet in building height, but it is setback from the rest of the building, so it is not visible from the street. Mr. Zambrano reminded the public that the first floor is at 15 feet elevation and the ceiling of the banquet hall on the first floor is also 15 feet. Mr. Barrenechea also explained that a lesser height could have been achieved by using a flat roof. However, they chose to make a more visually appealing building and more respectful to the architecture of the area. To conceal the infrastructure of the building and to create roofs more similar to those in the area.

Ms. Deegan Dickson explained the balancing test for area variances of the benefit to the applicant versus the cost to the surrounding neighborhood. She explained that the variances are minor in nature and scope. The parking is all provided for, but some is located off-site. The height variance is also minor and for a small portion of the building, and by virtue of the rooflines and design of the building will be almost undetectable at street view. The design was meant to keep the building feeling low and local. She explained that Hilton allowed them to design a building that would be uniquely Freeport as opposed to a more generic design.

The applicant responded to numerous questions from the Board. Members of the public also had the ability to ask questions. The majority of the questions from the public however were not related to the zoning issues at hand. The Village was not in a position to conduct its own parking and traffic analysis as recommended by the Nassau County Planning Commission due to the current Covid pandemic. Therefore, the parking study and traffic analysis conducted by applicant in August of 2019 is much more reflective of the impact of this project than anything the Village would be able to do at this time. Other questions regarding the owners of the property, police activity on the Nautical Mile, additional streets of traffic, impact on electric utility and sewer system, all of these issues are outside the scope of the Zoning Board. Questions regarding the Department of Environmental Conservation and the Army Corp of Engineers will be addressed during the permitting process. Again, these are not issues under the jurisdiction of the zoning board.

Thus, after many questions from the Board and the public, the Board finds with respect to the height variance:

1. On balance, the benefit to the applicant by the granting of this variance is not outweighed by the detriment to the health, safety and welfare of the neighborhood or community if such variance were to be granted. The Board has determined:
 - a. that an undesirable change will not be produced in the character of the neighborhood and a detriment to nearby properties will not be created by the granting of the area variance. Applicant has gone to great lengths to minimize the impact of the height of the building.
 - b. that the benefit sought by the applicant cannot be achieved by some method, feasible for the applicant to pursue, other than an area variance. In order to bring a Hilton-branded hotel to the Village, a project of a certain size and scope is required.
 - c. that the requested area variance is insubstantial.
 - d. that the proposed variance will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district; and
 - e. that the alleged difficulty was not self-created.

As to the requested parking variance:

Under § 210-12K, the Board has the power to permit the parking spaces provided for by this chapter for nonresidential use to be located elsewhere than as required, provided that such other location is no more than 500 feet distant from the location as set forth in the chapter. This power specifically applies to the request to use the lot adjacent to the subject property and to the parking spaces located along Seabreeze Park. As such, the Board is required to make the following findings of fact when approving the use of these spaces:

2. This Application as conditioned will not substantially depreciate the value of other properties.
3. This Application as conditioned will not appreciably alter the essential character of the neighborhood.
4. This Application as conditioned will not because of noise, noxious odors or other undesirable attributes, create a nuisance.
5. This Application as conditioned will secure public safety and welfare and assure substantial justice.
6. This Application as conditioned will not create or tend to create a fire hazard or endanger the structure or premises wherein or whereon such use is sought.
7. This Application as conditioned will fully comply with §§ 87-20 and 87-21 of Chapter 87, Flood Damage Prevention, of this Code.

The lots located at the Freeport Recreation Center and on Miller Avenue are not within a 500 foot radius, however, in its general power to grant variances, the Board grants a variance for these required spaces, subject to the conditions of continually requiring leases be in effect for these spaces. So as to the requested parking variance:

8. On balance, the benefit to the applicant by the granting of this variance is not outweighed by the detriment to the health, safety and welfare of the neighborhood or community if such variance were to be granted. The Board has determined:
 - a. that an undesirable change will not be produced in the character of the neighborhood and a detriment to nearby properties will not be created by the granting of the area variance. Applicant has gone to great lengths to provide for all of the parking required under the code.
 - b. that the benefit sought by the applicant cannot be achieved by some method, feasible for the applicant to pursue, other than an area variance. Because all of the parking is not located on site, applicant is required to get permission under § 210-172 (B) for the 88+41 spaces within 500 feet and a variance for the remaining 25+21 spaces outside of the 500 foot radius. All of these spaces however will use valet parking.
 - c. that the requested area variance is insubstantial. No additional burden is being placed on the surrounding neighborhood to provide these spaces, so as such this is an insubstantial variance
 - d. that the proposed variance will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district; and
 - e. that the alleged difficulty was not self-created.

Additionally, the Board adopts the following SEQRA determination:

9. The Board, as lead agency, has determined that this action is an unlisted action under SEQRA. A short environmental assessment form has been completed by the applicant and this Board. The Board finds no environmental impact under SEQRA, issues a negative declaration, and no further review is required.

I further move that this application be granted subject to the following conditions:

1. Applicant/Owner must comply with all the Rules and Regulations of the Village of Freeport.
2. Applicant must obtain the required permits from the Building Department and any other local, state or federal agencies.

3. Applicant/Owner must execute an Affidavit of Compliance and return same to the Office of the Village Clerk within thirty (30) days of this approval as a prerequisite for issuance of any permit.
4. Applicant must, within 90 days of receiving its building permit, provide the Building Department and Village Attorney's office with copies of signed leases or licenses for use of the parking lot on Miller (SBL 62/183/410) to provide 21 spaces, for the use of space adjacent to Seabreeze Park for the parking of 41 spaces, and for the use of 25 parking spaces at the Freeport Recreation Center.
5. Applicant must maintain these leases year-round. To ensure that the lease is continuously valid during the height of the season when parking is at its most difficult, no later than May 1 of each year, applicant must provide a signed year-long lease or longer to the Building Department. The Zoning Board strongly recommends that the applicant sign multi-year leases/licenses because should ever fail to provide the full amount of parking required, applicant must return to the Board for further review.
6. Signage designating the parking lots and spaces as in use by the hotel are recommended, subject to approval by the condominium and Village.
7. Valet parking to be required at all times for all off-site parking spaces and those on-site spaces designated as valet parking in the plans.
8. As parking on the Nautical Mile is a challenge on the best of days, this permission to use 88+41 off-site spaces within 500 feet and the variance to provide another 25+21 spaces further off-site is conditioned on continuously providing these spaces for parking. Should applicant fail to lease spaces, continue to lease spaces, or sell the adjacent parcel, this parking space variance is automatically revoked. As such, all operations must then cease immediately, until the impact of the loss of spaces can be considered by the building department in terms of overall capacity to continue operations. If needed, the applicant will have to return to the Zoning Board for further review.
9. Should the type of usage of this business/property ever change, these variances are revoked and applicant/owner would have to return to this Board for further review.
10. All deliveries must be made before 10AM to minimize disruption on the mile.
11. Applicant to meet with fire department to discuss any safety concerns of the fire department as part of the site plan process.

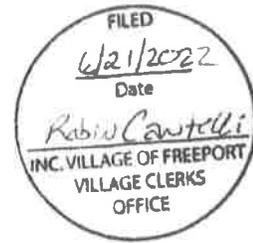
Second by: Charles Hawkins

The Clerk polled the Board:

Deputy Chairperson Carey	In Favor
Member Jackson	In Favor
Member Hawkins	In Favor
Alternate Scopelitis	In Favor
Chairperson Rhoden	In Favor



INCORPORATED VILLAGE OF FREEPORT
ZONING BOARD OF APPEALS DECISION



DATE: June 16, 2022

CONDITIONAL APPROVAL

Building Department Permit Application #20201438

Chairman, regarding Application #2022-27 for the premises located at 435 Woodcleft Avenue, Freeport, the Applicant comes before this Board seeking a variance from Village Ordinances §210-6A, 210-239 seeking approval for a proposed new 100-room hotel with amendment for a total height of 52' 5.5" above the floodplain.

I, Charles Hawkins, move that this Board make the following findings of fact:

The Board notes that this application was previously heard on August 20, 2020, wherein the Board granted multiple requests for variances, including a previous height variance request for a building height of 47' 9.5" above the floodplain.

A public hearing was held on June 16, 2022 wherein the applicant was represented by attorney Kathleen Dickson of the law firm Forchelli Deegan Terrana.

1. On balance, the benefit to the applicant by the granting of this variance is not outweighed by the detriment to the health, safety and welfare of the neighborhood or community if such variance were to be granted. The Board has determined:
 - a. that an undesirable change will not be produced in the character of the neighborhood and a detriment to nearby properties will not be created by the granting of the area variance;
 - b. that the benefit sought by the applicant cannot be achieved by some method, feasible for the applicant to pursue, other than an area variance;
 - c. that the requested area variance is insubstantial;
 - d. that the proposed variance will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district; and
 - e. that the alleged difficulty was not self-created.
2. The Board, as lead agency, has determined that this action is an unlisted action under SEQRA. A short environmental assessment form has been completed by the applicant and this Board. The Board finds no environmental impact under SEQRA, issues a negative declaration, and no further review is required.

I further move that this application be granted subject to the following conditions:

1. Applicant/Owner must comply with all the Rules and Regulations of the Village of Freeport.
2. Applicant must obtain the required permits from the Building Department.
3. All of the conditions contained in the August 20, 2020 decision are still in full force and effect, and applicant is still bound by the affidavit of compliance dated September 30, 2020.
4. The Board takes notice that the Nassau County Planning Commission has not yet issued a recommendation for this project, and thus issues this conditional approval. However, the Board reserves the right to re-open this hearing solely for the purpose to adopt the findings of the Nassau County Planning Commission if received within 30 days from submission and modify this resolution to comply with said determination if necessary. If said Nassau County Planning Commission is not received within 30 days from submission, this decision is final.

Second by: Diego Pinzon

The Clerk polled the Board:

Deputy Carey	Excused	Member Hawkins	In Favor
Member Mineo	Excused	Alternate Pinzon	In Favor
Member Jackson	Excused	Alternate Scopelitis	In Favor
		Chair Rhoden	In Favor

**INCORPORATED VILLAGE OF FREEPORT
ZONING BOARD OF APPEALS DECISION**

DATE: September 21, 2023

APPROVAL

Building Department Permit Application#20201438

Chairman, regarding Application #2023-16 for the premises located at 435 Woodcleft Avenue, Freeport, the Applicant comes before this Board seeking a variance from Village Ordinances §210-6A, 210-239, 210-3, 210-172(6) seeking approval for a proposed new 145 room hotel, 100 occupant restaurant, and 175 occupant banquet room and to utilize section 62 block 233, lots 2 & 3 and section 62 block 183 lot 410 for additional accessory use offsite parking

I, Ben Jackson, move that this Board make the following findings of fact:

A public hearing was held on August 17, 2023 wherein applicant was represented by attorney Kathleen Dickson. She explained that she was previously before the Board in August of 2020 where the variances were granted for a new 100 room hotel with a banquet hall, restaurant, and parking. Since that time, costs have increased, and the project, as approved, is no longer economically viable. The applicant is before the Board seeking an additional height variance to add an additional floor to the hotel (for a total of five floors, with parking at ground level and four floors of building above), adding an additional 45 hotel rooms, while reducing the capacity of the banquet hall from 300 to 175. They are seeking a variance for providing offsite parking. Parking demand has increased by three parking spaces with the reconfiguration of the project. The applicant has entered into an agreement with the Village for 41 parking spaces along Sea Breeze Park. The Village has also agreed to allow parking either at the Recreation Center or the Front Street Substation, which may be renovated into a new parking lot.

Ms. Dickson requested that the prior public hearing records be incorporated into this application, as it is an amendment to the previous application, rather than a brand new application. Overall, 262 parking spaces will be provided, all valet, but for 12 handicapped spaces under the building. The hotel is a Hilton hotel, and is one of few waterfront hotels on the south shore of Long Island. The property has 31 boat slips, not for rental, but for the use of hotel guests and guests of the banquet hall. The applicant is willing to accept a condition that the boat slips not be rented out.

Wayne Muller, the traffic engineer also spoke. He explained that in comparing the parking and traffic studies from the original and amended application, the expected parking was similar. When accounting for the synergy between the hotel rooms and the ballroom, the expected weekday parking is 160 vehicles, and 184 on weekends. There will be a shuttle for employees from the Recreation Center to the hotel.

Willy Zambrano spoke. He explained there will be a drop off area for the valet. He explained that the design flood elevation is 10 feet 7 inches. This allows fire trucks to go under the building if necessary. Mr. Zambrano agreed to meet with the fire department again to confirm that the building will be accessible for fire trucks. The height is 75 feet, the highest point of which is the cigar bar and lounge taking up 12% of the rooftop.

Ms. Dickson said that parking availability would always be maintained. They have a license agreement, and understand that it has to be maintained. Based on the plans provided and the testimony, 262 spaces are required (145 for hotel rooms, 33 for the restaurant, 25 for employees, and 59 for the banquet hall). 225 spaces are provided (79 onsite, 105 from the lots on Woodcleft and Miller, 41 at Seabreeze Park), leaving a deficit of 37 spaces which will need to be accounted for in any parking agreement with the Village for parking at the Recreation Center or at the Front Street sub-station.

In the previous application, 259 spaces were required and the plan was to provide all of them. With the new application, 262 are required, and again, the plan is to provide all of them, with some off-site spaces. The building height will be 75 feet ½ inches, to allow for a 4th floor of rooms in this elevated building.

All findings made by the Board in the previous decision from August 2020 are incorporated by reference.

As for the parking space size and height variances:

1. On balance, the benefit to the applicant by the granting of this variance is not outweighed by the detriment to the health, safety and welfare of the neighborhood or community if such variance were to be granted. The Board has determined:
 - a. that an undesirable change will not be produced in the character of the neighborhood and a detriment to nearby properties will not be created by the granting of the area variance;
 - b. that the benefit sought by the applicant cannot be achieved by some method, feasible for the applicant to pursue, other than an area variance;
 - c. that the requested area variance is insubstantial;
 - d. that the proposed variance will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district; and that the alleged difficulty was not self-created.

Under §210-12K, the Board has the power to permit the parking spaces provided for by this chapter for nonresidential use to be located elsewhere than as required, provided that such other location is no more than 500 feet distant from the location as set forth in the chapter. This power specifically applies to the request to use the lot adjacent to the subject property and to the parking spaces located along Seabreeze Park. As such, the Board is required to make the following findings of fact when approving the use of these spaces:

2. This Application as conditioned will not substantially depreciate the value of other properties.
3. This Application as conditioned will not appreciably alter the essential character of the neighborhood.
4. This Application as conditioned will not because of noise, noxious odors or other undesirable attributes, create a nuisance.
5. This Application as conditioned will secure public safety and welfare and assure substantial justice.

6. This Application as conditioned will not create or tend to create a fire hazard or endanger the structure or premises wherein or whereon such use is sought.
7. This Application as conditioned will fully comply with §87-20 and §87-21 of Chapter 87, Flood Damage Prevention, of this Code.

The lots located at the Freeport Recreation Center or the Front Street Substation and on Miller Avenue are not within a 500 foot radius, however, in its general power to grant variances, the Board grants a variance for these required spaces, subject to the conditions of continually requiring leases be in effect for these spaces. So as to the requested parking variance:

8. On balance, the benefit to the applicant by the granting of this variance is not outweighed by the detriment to the health, safety and welfare of the neighborhood or community if such variance were to be granted. The Board has determined:
 - a. that an undesirable change will not be produced in the character of the neighborhood and a detriment to nearby properties will not be created by the granting of the area variance. Applicant has gone to great lengths to provide for all of the parking required under the code.
 - b. that the benefit sought by the applicant cannot be achieved by some method, feasible for the applicant to pursue, other than an area variance. Because all of the parking is not located on site, applicant is required to get permission under §210-12K for the Woodcleft and Seabreeze spaces within 500 feet and a variance for the remaining Miller Avenue and Recreation Center or Front Street Substation spaces outside of the 500 foot radius. All of these spaces offsite however will use valet parking.
 - c. that the requested area variance is insubstantial. No additional burden is being placed on the surrounding neighborhood to provide these spaces, so as such this is an insubstantial variance
 - d. that the proposed variance will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district; and
 - e. that the alleged difficulty was not self-created.
9. The Board, as lead agency, previously determined that this action is an unlisted action under SEQRA, found no environmental impact under SEQRA, and issued a negative declaration. Nothing is changed under SEQRA by this amendment.

I further move that this application be granted subject to the following conditions from both the previous hearing and this hearing:

1. Applicant/Owner must comply with all the Rules and Regulations of the Village of Freeport.
2. Applicant must obtain the required permits from the Building Department and any other local, state or federal agencies.
3. Applicant/Owner must execute an Affidavit of Compliance and return same to the Office of the Village Clerk within ninety (90) days of this approval as a prerequisite for issuance of any permit.
4. Applicant must, within 90 days of receiving its building permit, to the extent not previously provided, provide the Building Department and Village Attorney's office

AFFIDAVIT OF COMPLIANCE
Zoning Board

In the Application of **NBD Holding Inc.**
333 Jericho Turnpike, Suite 126
Jericho, New York 11753

Application #16-2023 **Application for a proposed new 145 room hotel, with onsite 100 occupant load bar/restaurant, 175 occupant load banquet room and utilize lots 2 & 3 on block 233, section 62 for additional off-site parking. Utilize lot 410 on block 183, section 62 for additional accessory off-site parking**

Premises: **435 Woodcleft Avenue, Freeport, NY 11520**

Zoning Board Approval Date: **September 21, 2023**
before the Incorporated Village of Freeport Zoning Board of Appeals

STATE OF NEW YORK)
COUNTY OF NASSAU) ss.:

_____ the applicant/owner of NBD Holding Inc. being duly sworn deposes and says that:

Pursuant to the approval granted on September 21, 2023 for the Application for a proposed new 145 room hotel, with onsite 100 occupant load bar/restaurant, 175 occupant load banquet room and utilize lots 2 & 3 on block 233, section 62 for additional off-site parking. Utilize lot 410 on block 183, section 62 for additional accessory off-site parking:

I/We agree as follows:

1. Applicant/Owner must comply with all the Rules and Regulations of the Village of Freeport.
2. Applicant must obtain the required permits from the Building Department and any other local, state or federal agencies.
3. Applicant must, within 90 days of receiving its building permit, to the extent not previously provided, provide the Building Department and Village Attorney's office with copies of signed leases or licenses for use of the parking lot on Miller (SBL 62/183/410), for the use of space adjacent to Seabreeze Park for the parking of 41 spaces, and for the use of roughly 37 parking spaces at the Freeport Recreation Center or Front Street Substation, that when combined with the 79 onsite spaces and parking spaces on Woodcleft, will equal the 262 required parking spaces.
4. Applicant must maintain these leases year-round. To ensure that the lease is continuously valid during the height of the season when parking is at its most difficult, no later than May 1 of each year, applicant must provide a signed year-long lease or longer to the Building Department. The Zoning Board strongly recommends that the applicant sign multi-year leases/licenses because should ever fail to provide the full amount of parking required, applicant must return to the Board for further review.
5. Signage designating the parking lots and spaces as in use by the hotel are recommended, subject to approval by the condominium and Village.

6. Valet parking to be required at all times for all off-site parking spaces and those on-site spaces designated as valet parking in the plans.
7. As parking on the Nautical Mile is a challenge on the best of days, this permission to use off-site spaces within 500 feet and the variance to provide another additional spaces further off-site is conditioned on continuously providing these spaces for parking. Should applicant fail to lease spaces, continue to lease spaces, or sell the adjacent parcel, this parking space variance is automatically revoked. As such, all operations must then cease immediately, until the impact of the loss of spaces can be considered by the Building Department in terms of overall capacity to continue operations. If needed, the applicant will have to return to the Zoning Board for further review.
8. Should the type of usage of this business/property ever change, these variances are revoked and applicant/owner would have to return to this Board for further review.
9. All deliveries must be made before 10AM to minimize disruption on the mile.
10. Applicant must meet with Fire Department to discuss any safety concerns of the Fire Department as part of the Site Plan process and ensure access to the building by fire apparatus.
11. Any boat slips on the property are not to be rented out. Those slips are to be reserved solely for guests of the hotel, restaurant or banquet hall.
12. A shuttle must be provided for transportation between parking spaces at the Recreation Center or the Front Street Substation and the hotel, regardless of whether those spaces are used for employees or guests.

(Signature of Applicant)

Sworn to before me this _____ day
of _____ 2023.

Notary Public

Drainage

L-757
P-123

WOMANLY
CONSIDERATION

SHELTER POINT, INC.; a domestic corporation with offices at 417 Woodcleft Avenue, Freeport, New York, the party of the first part, in consideration of the sum of ONE (\$1.00) DOLLAR and other valuable consideration, the receipt of which is hereby acknowledged does hereby grant to the INCORPORATED VILLAGE OF FREEPORT with offices at 46 North Ocean Avenue, Freeport, New York, party of the second part, a permanent easement for the installation and maintenance of a drain pipe through premises owned by SHELTER POINT, INC. A copy of the survey prepared by Baldwin and Cornelius Company, Village Engineers, Freeport, New York entitled, "Map Showing Permanent Easement for Drainage Purposes thru Descriptive Parcel at Freeport, N.Y.", surveyed Oct. 23, 1968 Baldwin & Cornelius Co. Civil Engineers & Surveyors, Freeport, L.I., N.Y., is annexed hereto and made a part hereof, said premises being more particularly described as follows:

BEGINNING at a point on the easterly line of Woodcleft Avenue, which said point would be intersected by the easterly extension of the southerly line of Richmond Street; thence northerly and along the easterly line of Woodcleft Avenue, 25.00 feet; thence easterly and at right angles to the easterly line of Woodcleft Avenue, a distance of 130.00 feet; thence northerly along a line parallel to Woodcleft Avenue, a distance of 11.00 feet to the point or place of beginning of the property intended to be described herein; thence northerly along a line parallel to Woodcleft Avenue, a distance of 14.00 feet; thence easterly and at right angles to the easterly line of Woodcleft Avenue,

Letting by Per. of 62 Floor 1970 p. 339

757-123

a distance of 12.00 feet; thence southerly and along a line parallel to the easterly line of Woodcleft Avenue, a distance of 14.00 feet; thence westerly and at right angles to the easterly line of Woodcleft Avenue, a distance of 12.00 feet to the point or place of beginning of the property intended to be described herein.

The party of the second part hereby covenants with the party of the first part that it will save harmless the party of the first part from and on account of all claims, liabilities or damages resulting from the use and occupancy of the permanent easement premises, except for acts of negligence by the party of the first part, its agents or employees.

IT IS FURTHER ACKNOWLEDGED and understood that this instrument shall be recorded in the office of the Clerk of the County of Nassau.

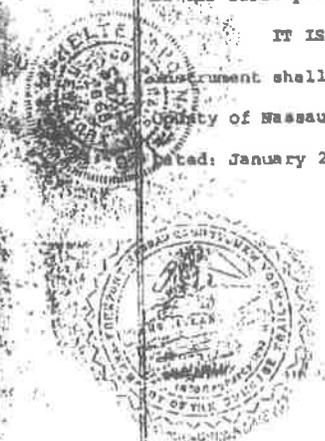
Dated: January 21, 1969.

SHELTER POINT, INC.

By *Edward J. ...*

WILLIAM OF ...

By *Robert J. ...*
Robert J. ...



STATE OF NEW YORK)
COUNTY OF MASSAU) ss.:

On the 31st day of January, 1969, before me personally came Edmund J. Kalbfleisch to me known, who, being by me duly sworn, did depose and say that he resides at 1066 Scott Drive, Valley Stream, N.Y., that he is the President of SHELTER POINT, INC., the corporation described in and which executed the foregoing instrument; that he knows the seal of said corporation; that the seal affixed to said instrument is such corporate seal; that it was so affixed by order of the Board of Directors and that he signed his name thereto by like order.

William H. DeSilva
Notary Public

WILLIAM H. DESILVA
Notary Public, State of New York
No. 20-05850-01 Not in Nassau County SASSAU COUNTY
Term Expires March 20, 1971

STATE OF NEW YORK)
COUNTY OF MASSAU) ss.:

On the 25 day of January, 1969, before me personally came Robert J. Sweeney to me known, who, being by me duly sworn, did depose and say that he resides at 224 East Seaman Avenue, Freeport, New York, that he is the Mayor of the Village of Freeport, the corporation described in and which executed the foregoing instrument; that he knows the seal of said corporation; that the seal affixed to said instrument is such corporate seal; that it was so affixed by order of the Board of Trustees and that he signed his name thereto by like order.

John J. MacDonald
Notary Public

JOHN J. MACDONALD
NOTARY PUBLIC, State of New York
No. 20-05850-01
Qualified in Nassau County
Commission Expires: March 20, 1970

MASSAU COUNTY
017034
REAL ESTATE TRANSFER TAX STATE OF NEW YORK
Dept. of Education & Finance MAR 12 1969 \$0.00
NO. 18722

007952-11745

DATE	NO.	BY	REV.
10-1-66	1	C.F.W.	



MAP SHOWING
PERMANENT EASEMENT
FOR DRAINAGE PURPOSES
THRU

DESCRIPTIVE PARCEL
AT FREEPORT, N.Y.

SURVEYED OCT. 23, 1966

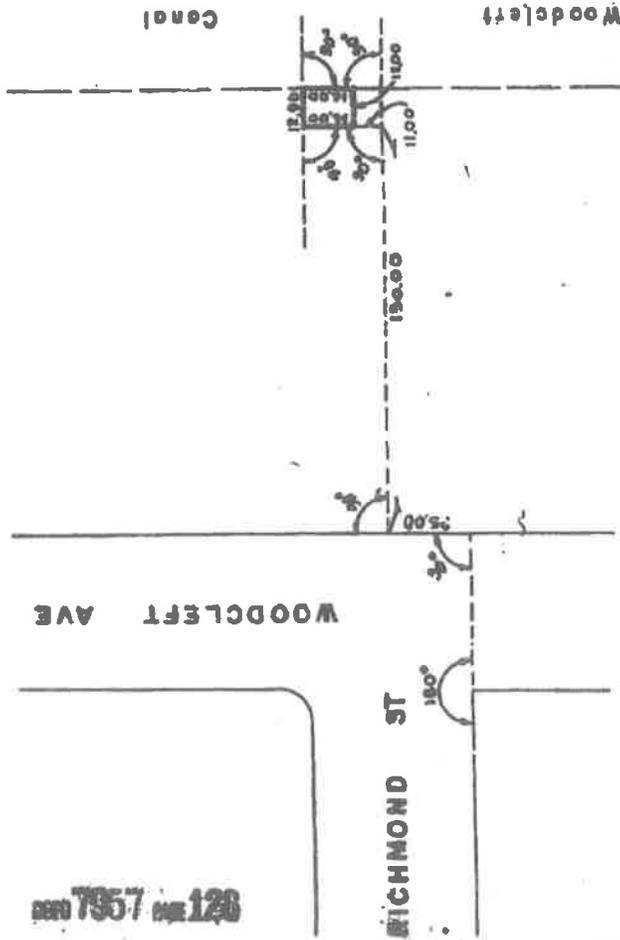
BALDWIN & CORNELIUS CO

CIVIL ENGINEERS & SURVEYORS

115 NASSAU ST. NEW YORK, N.Y. 10038

FREEPORT, L.I., N.Y.

STATE 12-98



REV 7357 MAR 126

12-98

50/17
DRAINAGE EASEMENT
SHELTER POINT, INC.

TO

INCORPORATED VILLAGE OF FREEPORT

Sec. 62
Block 177
Lot No. *3*

RECORD AND RETURN TO

OAKLEY GENTRY, JR., Esq.
46 North Ocean Avenue
Freeport, New York 11520

5979

65
PX 217

RECORDED

MAR 13 11 05 AM '69
MARCO W. PATRICKSON
COUNTY CLERK
NASSAU COUNTY

DEED 7957 PAGE 127



INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

ROBERT T. KENNEDY
MAYOR

E-MAIL: BUILDINGDEPT@FREEPORTNY.GOV

SERGIO A MAURAS
SUPERINTENDENT OF BUILDINGS

November 3, 2025
AMENDED LETTER OF DENIAL

NBD Holding Inc.
333 Jericho Tpke, Suite 126
Jericho, NY 11753-1105

RE: 435 Woodcleft Avenue, Freeport, NY

Zoning District: Marine Commerce Sec. 62 Blk. 177 Lots 339, 526, 541, 542, 548.

Building Permit Application: #20201438

Description: Construct a new 6-story, 138-room hotel with a total occupant load of 839 persons in the public assembly areas and utilize section 62 block 233 lots 2 & 3 for additional accessory use of offsite parking.

Dear Sir/Madam:

Please be advised that the above captioned Building Permit Application must be denied for the following reason(s):

Village Ordinance §210-6A. Conformity required: No building or land shall hereafter be used or occupied and no building or part thereof shall be erected, moved or altered unless in conformity with the regulations herein specified for the district in which it is located. The proposed plan that you have submitted indicates that the property will not be in conformity.

Village Ordinance §210-239. Building Height: No building or structure shall exceed 40 feet in height or have more than three stories, except that such height restrictions shall not apply to a flagpole, a water tank, an elevator or stair bulkhead, an antenna for radio or television purposes or a crane or derrick used for marine purposes. Height shall be measured from the average level of the street curb grade to the highest point of the building. A prior variance was approved on 09/21/2023 for the construction of a new commercial hotel with a total height of 75'. The applicant has submitted an amendment for a total height of 82' from average grade plane to the top of the structure.

Village Ordinance §210-239. Number of Stories: A prior variance was approved on 09/21/2023 for the number of stories. You will be seeking a variance for quantity of stories as you are proposing 6 stories. The first story being the parking area under the structure, and 5 stories above the at-grade parking level.

Village Ordinance §210-3. Parking space: As defined, parking spaces are required to be an accessible area of not less than 9' wide and 20' long. The parking spaces provided indicate their dimensions to be 9' wide by 18' long. You will be seeking a variance for undersized parking spaces.

Village Ordinance §210-172(6). Required parking spaces: Hotels, motels and boatels: at least one parking space per rentable room plus one parking space for each two employees. The proposed indicates 138 rentable rooms requiring 1 parking space per rentable room. 138 parking spaces are required. The occupant load of the public assembly areas totals 839 occupants which requires 1 parking space per every 3 occupants. 280 parking spaces are required for the public assembly areas. It is proposed that there will be 50 employees which requires 1 parking space for every 2 employees, therefore 25 parking spaces will be required for the employees. The total parking spaces required is 443. The proposed is providing 57 spaces at grade level underneath the structure. The proposed is providing 87 spaces at the adjoining parking lot. Your parking tabulation also indicates that 41 parking spaces at Seabreeze Park and 37 additional parking spaces to be leased from the Village of Freeport. Total parking spaces will be 222. You will be seeking a variance for an additional 221 required parking spaces.

Breakdown of Occupant Load for Public Assembly Areas:

- Event Space: 255 Persons
- Ceremony Area: 128 Persons
- Restaurant: 155 Persons
- Outdoor Dining: 47 Persons
- Flex Room: 55 Persons
- Observatory: 119 Persons
- Speakeasy: 60 Persons
- Terrace: 20 Persons

Please be further advised that if you intend to appeal this decision you must file an application within sixty (60) days of the date of this letter. For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the **Village Clerk's Office at 516-377-2202** to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's office. **Only after this initial appointment should the additional copies be made.**

In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Zoning Board of Appeals Application, please call the **VILLAGE CLERK'S OFFICE** at 377-2202

Very truly yours,



Sergio A. Mauras
Superintendent of Buildings
Daniela Hernandez
cc: Village Clerk

SITE PLAN APPROVAL NEEDED: YES

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project :

Building Permit App. 20201438

Location: 435 Woodcleft Ave

Applicant: NBD Holding Inc.

Description: Construct a new 6-story, 138-room hotel with a total occupant load of 839 persons in the public assembly areas and utilize section 62 block 233 lots 2 & 3 for additional accessory use of offsite parking.

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) _____

B) Possible environment effects identified:
(only if positive determination)

Dated: November 3, 2025

Sergio A Mauras

Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

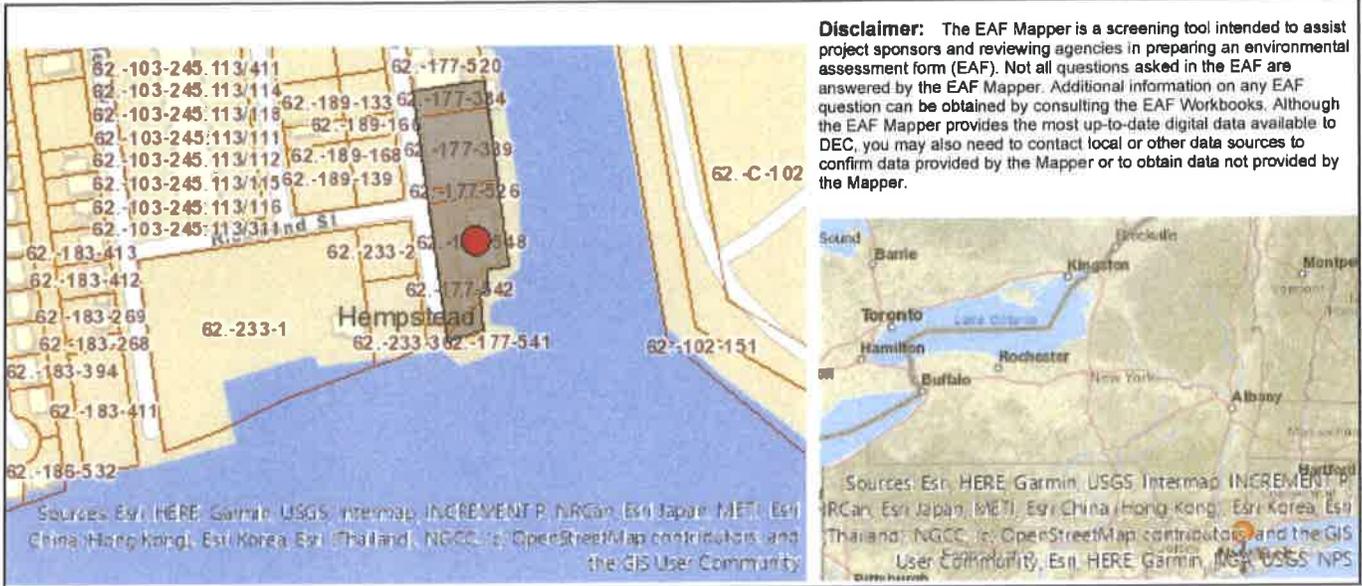
Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: Faring Point Hilton Tapestry Hotel			
Project Location (describe, and attach a location map): 435 Woodcleft Avenue, Freeport, NY 11520 (S-B-L: 62-177-339, 526,541, 542, 548)			
Brief Description of Proposed Action: Construct a new 6-story, 138- room hotel with a total occupant load of 839 persons in the public assembly areas and utilize section 62 block 233 lots 2 & 3 for additional accessory use of offsite parking.			
Name of Applicant or Sponsor: NBD Holding LLC		Telephone: 917-952-8432	
		E-Mail: Sakariangroup@gmail.com	
Address: 333 Jericho Turnpike			
City/PO: Jericho		State: NY	Zip Code: 11753
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		_____ 1.081 acres	
b. Total acreage to be physically disturbed?		_____ 1.081 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ 1.081 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ Woodcleft Canal _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

EAF Mapper Summary Report

Tuesday, October 28, 2025 11:17 AM



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local, New York State, and federal wetlands and waterbodies is known to be incomplete. Refer to the EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	Yes
Part 1 / Question 20 [Remediation Site]	No

Project:

Date:

**Short Environmental Assessment Form
Part 2 - Impact Assessment**

Part 2 is to be completed by the Lead Agency.

Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:	<input type="checkbox"/>	<input type="checkbox"/>
a. public / private water supplies?	<input type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

DEPARTMENT OF BUILDINGS

OF THE VILLAGE OF FREEPORT, N.Y.

APPLICATION NO. _____

Filing Date _____

Application for Erection of Buildings or Alterations

IMPORTANT - Applicant to complete all items in sections: I, II, III, IV, V

I. LOCATION OF BUILDING	AT LOCATION (No.)	435 Woodcleft Avenue (Street)	ZONING DISTRICT	Marine Commerce					
	BETWEEN	Woodcleft Avenue (Cross Street)	AND Richmond Street (Cross Street)						
	SECTION	62	BLOCK	177	LOT	542, 548	APPROX. LOT SIZE	415 X 130	LOT AREA

II. TYPE AND COST OF BUILDING - All applicants complete Parts A - D.

<p>A. TYPE OF IMPROVEMENT</p> <p>1 <input checked="" type="checkbox"/> New building</p> <p>2 <input type="checkbox"/> Addition-Alteration (If residential, enter number of new housing units added. If non-residential, none)</p> <p>3 <input type="checkbox"/> Swimming Pool</p> <p>4 <input type="checkbox"/> Repair (replacement)</p> <p>5 <input type="checkbox"/> Bulkhead (New, Repair)</p> <p>6 <input type="checkbox"/> Fence</p> <p>7 <input type="checkbox"/> Moving (relocation)</p>	<p>B. PROPOSED OR EXISTING USE</p> <table style="width: 100%;"> <tr> <td style="width: 50%;">RESIDENTIAL</td> <td style="width: 50%;">NON RESIDENTIAL - Complete Part "E"</td> </tr> <tr> <td>11 <input type="checkbox"/> One Family</td> <td>17 <input type="checkbox"/> Industrial</td> </tr> <tr> <td>12 <input type="checkbox"/> Two families</td> <td>18 <input type="checkbox"/> Office, bank, professional</td> </tr> <tr> <td>13 <input type="checkbox"/> Apartment - Enter No. of Units _____</td> <td>19 <input type="checkbox"/> Store, mercantile</td> </tr> <tr> <td>14 <input checked="" type="checkbox"/> Transient hotel, motel, or dormitory - Enter No. of Units 138</td> <td>20 <input type="checkbox"/> Church, other religious</td> </tr> <tr> <td>15 <input type="checkbox"/> Garage or Accessory Structure</td> <td>21 <input type="checkbox"/> Hospital, institutional</td> </tr> <tr> <td>16 <input type="checkbox"/> Other - Specify _____</td> <td>22 <input type="checkbox"/> Other - Specify _____</td> </tr> </table>	RESIDENTIAL	NON RESIDENTIAL - Complete Part "E"	11 <input type="checkbox"/> One Family	17 <input type="checkbox"/> Industrial	12 <input type="checkbox"/> Two families	18 <input type="checkbox"/> Office, bank, professional	13 <input type="checkbox"/> Apartment - Enter No. of Units _____	19 <input type="checkbox"/> Store, mercantile	14 <input checked="" type="checkbox"/> Transient hotel, motel, or dormitory - Enter No. of Units 138	20 <input type="checkbox"/> Church, other religious	15 <input type="checkbox"/> Garage or Accessory Structure	21 <input type="checkbox"/> Hospital, institutional	16 <input type="checkbox"/> Other - Specify _____	22 <input type="checkbox"/> Other - Specify _____
RESIDENTIAL	NON RESIDENTIAL - Complete Part "E"														
11 <input type="checkbox"/> One Family	17 <input type="checkbox"/> Industrial														
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15 <input type="checkbox"/> Garage or Accessory Structure	21 <input type="checkbox"/> Hospital, institutional														
16 <input type="checkbox"/> Other - Specify _____	22 <input type="checkbox"/> Other - Specify _____														
<p>C. COST</p> <p>10 TOTAL COST OF IMPROVEMENT \$ <u>21,008 M</u></p>	<p>D. DESCRIPTION OF PROJECT</p> <p>THIS PROJECT IS A NEW CONSTRUCTION 6 STORY HOTEL BUILDING WITH 138 GUESTROOMS. THE HOTEL CONSISTS OF A LOBBY, BAR, RESTAURANT, PREFUNCTION, BALLROOM, CEREMONY SPACE, MEETING SPACE, FITNESS CENTER, SPEAKEASY AND PENTHOUSE EVENT SPACE. The total occupant load of 839 persons in the public assembly area and utilize section 62 block 233 lots 2&3 for additional accessory use of off site parking</p>														

III. IDENTIFICATION - To be completed by all applicants

	NAME	MAILING ADDRESS - Number, street, city and state, Zip	TEL. NO.
1. Owner or XXXXX	NBD Holdings, LLC	333 Jericho Turnpike Jericho, NY 11753	978-397-4453
2. Contractor	ARC Building Partners	100 E Elmwood Suite 100 Buffalo, NY 14205	978-397-4453
3. Architect or Engineer	Terri Callaway, AIA, RID Principal	Three James Center, 1051 E. Cary Street Suite 200 Richmond, VA 23219	804.728.3075

<p>IV. OWNER - CONTRACTOR STATEMENT</p> <p>Building permit is issued subject to the provisions of Section 67 of the Workmen's Compensation Law.</p> <p>Workmen's Compensation Certificate No. _____ Company _____ Exp. Date _____</p> <p>Contractor or Owner <u>NBD Holdings, LLC</u> (Print)</p> <p>Address <u>333 Jericho Turnpike Jericho, NY</u></p> <p>Phone <u>978-397-4453</u></p> <p>State of New York</p> <p>County of Nassau</p> <p>_____ being duly sworn, says that _____ is the contractor or owner of the above mentioned building. That the items of the above application and the estimated cost of said building or alteration, is correct to the best of _____ knowledge and belief and agrees to conform to all applicable laws of this jurisdiction.</p> <p>Swears to before me this _____ day of _____, 20____</p> <p style="text-align: right;">_____ (Applicant Signature)</p> <p style="text-align: left;">_____ Notary Public, County, N.Y.</p>	<p>V. FLOOD ZONE</p> <p>IS PROJECT LOCATED WITHIN A DESIGNATED FLOOD HAZARD ZONE? YES <input checked="" type="checkbox"/> NO _____</p> <p>IF YES, WHICH ZONE? VE11, AE9, AE10</p> <p>IS PROJECT TO REPAIR FLOOD DAMAGE? YES _____ NO <input checked="" type="checkbox"/></p> <p>PROJECT DESCRIPTION</p> <p>Total/First Flr Square Feet 4396</p> <p>Upper Flr Square Feet 107,417</p> <p># of Fixtures 450</p> <p># of Floors 6</p> <p>Occup. Type R-1,A-2,A-3,B</p>
---	---

VI. VALIDATION (Official Use Only)

Building Permit Number _____ Building Permit Issued _____ Building Permit Fee \$ _____	Approved by: _____ Superintendent of Buildings
--	---

Incorporated Village of Freeport

FLOODPLAIN DEVELOPMENT PERMIT

(IF YOU RESIDE IN A FLOOD ZONE - THIS PAGE MUST BE FILLED IN)

Date: 11/21/2025 Application Number: #20201438

Property S/B/L: 62/177/339, 526, 541, 542, 548 Permit Number: _____

Address of Property: 435 Woodcleft Avenue Freeport, NY 11520

Type of Development: (Check all that apply):

- Excavation Fill Grading Residential Addition Residential Alteration Pool Bulkhead Deck
- Utility Install or Replacement Sewer Road Construction Commercial Addition Commercial Alteration
- Shed / Storage Facility (Must be Anchored) Roof Fence Oil Tank (Must be Anchored) Driveway

Other (Specify):

THIS PROJECT IS A NEW CONSTRUCTION 6 STORY HOTEL BUILDING WITH 134 GUESTROOMS. THE HOTEL CONSISTS OF A LOBBY, BAR, RESTAURANT, PREFUNCTION, BALLROOM, CEREMONY SPACE, MEETING SPACE, FITNESS CENTER, SPEAKEASY AND PENTHOUSE EVENT SPACE. TOTAL OCCUPANCY LOAD BASED ON LIFE SAFETY STANDARDS TO 65 PERSONS UTILIZE SECTION OF CODE 2015-10757-B-1

OFFICE USE ONLY:

FIRM Data: Flood Zone: AE VE Map Panel #0238G 0239G Map Panel Date: 09-11-2009

Base Flood Elevation (NAVD) = 8 9 10 11

Development Standards Data:

- Required elevation of utilities to be installed including but not limited to, air conditioning, electrical equipment, hot water heaters, boilers = Base Flood Elevation (BFE) + 4 feet of Freeboard = 15 (NAVD) or Not Applicable
- Will garage be used for any purpose besides parking of vehicles, storage, or building access? Yes or No
(If "Yes", then the garage must be used in determining the lowest floor elevation)
- If an elevation project, what is the proposed method for elevating the structure?
Fill and Foundation No Fill and Foundation Pilings Extend Existing Foundation Not Applicable

New Foundation must have required Flood Vent openings installed and quantity of vents must be provided at time of application on submitted Architectural Drawings. **Engineered flood vents must be certified by a Licensed Design Professional and noted on final Elevation Certificate.**

Total square footage of first floor = 4396 Sq ft
Total Area of Perimeter Flood Vent openings = _____ Sq In.
(Non - Engineered = 1" per square foot or the use of Engineered vents)

The bottom of the openings shall not be greater than one foot above either interior or exterior grade at the perimeter of the foundation wall.

- Commercial floodproofing requires submission of Certified Floodproofing Certificate. (Not permitted in V Zones)
- AE Zone - Lowest Floor to be at or above Base Flood Elevation (BFE) + 4 feet : Measurement = 15 (NAVD)
- V-Zone - Measurement of lowest supporting horizontal member must be at or above Base Flood Elevation (BFE) + 4 feet : Measurement = 15 (NAVD)
- Regulatory Flood Elevation at development site = Base Flood Elevation (BFE) + 4 feet of Freeboard (NAVD)

Applicant acknowledgment: I the undersigned understand that the issuance of a floodplain development permit is contingent upon the above information being correct and that the plans and supporting data have been or shall be provided as required. I also understand that prior to occupancy of the structure being permitted, an elevation and/or floodproofing certificate signed by a professional engineer or registered land surveyor must be on file with the Village of Freeport Building Department indicating the "as built" elevations in relation to the North American Vertical Datum of 1988 (NAVD)

Print Name of Applicant: NBD Holdings, LLC Signature of Applicant: Rohit K Salaria

Parking Schedule Hilton Tapestry	Approved Zoning Approval 9/21/2023 Occupancy Load	Current Design Occupancy Load	Variance	Village Of Freeport Review Occupancy Load
Hotel Rooms	145	137	-8	138
Event Venue	175	175	0	383
Restaurant Seating	100	100	0	202
Flex Room	0	0	0	55
Observatory	0	0	0	119
Speakeasy	0	0	0	60
Staff	25	25	0	25
Occupancy Load	445	437	-8	982
Parking Required				
Hotel Rooms	145	137	-8	138
Restaurant	33	33	0	72
Amenity Roof Top Spaces	0	0	0	80
Event Venue	59	59	0	128
Employee	25	25	0	25
Parking Required	262	254	-8	443
Parking Provided				
Onsite	79	61	-18	148
Woodcleft Lot	87	87	0	
Seabreeze Park	41	41	0	41
Village Leased	37	37	0	37
Front Street Substation	0	0	0	
Recreation Area Parking				
Parking Provided No Lifts	244	226	-18	226
Net Difference Parking Required vs Provided	-18	-28		0

Parking Adjustment Lifts	18	44	44
Parking With Lifts	262	270	270
Variance with Lift Use	0	16	-173

Notes

1-Room Owner Part of Staff

Seating in space only allows 168 Guests without dance floor with dance floor 140 Guests

Seating in Restaurant is 100 due to space and layout constraints

This space is for Hotel Guests Only - Not for Public

This space is for Hotel Guests Only - Not for Public

This space is for Hotel Guests Only - Not for Public

AUTOSTACKER™

ALL OPTIONS

Rev. 10/19



1.888.977.8225 | www.autostacker.com

AUTOSTACKER™

OPTION 1

Standard Console w/ Power Unit

SKU	MODEL	DESCRIPTION
5260591	A6S-OPT1	6,000 lb. Capacity Parking Lift / STANDARD / 208-240V, 50/60HZ, 1-Phase
5260298	A6S-OPT1-G	6,000 lb. Capacity Parking Lift / STANDARD / Galvanized / 208-240V, 50/60HZ, 1-Phase
5260592	A6W-OPT1	6,000 lb. Capacity Parking Lift / WIDE / 208-240V, 50/60HZ, 1-Phase
5260299	A6W-OPT1-G	6,000 lb. Capacity Parking Lift / WIDE / Galvanized / 208-240V, 50/60HZ, 1-Phase



AUTOSTACKER™

OPTION 2

Fore Control Kit / Requires Master Power Unit (MPU)

SKU	MODEL	DESCRIPTION
5260304	A6S-OPT2	6,000 lb. Capacity Parking Lift / STANDARD / REQUIRES MPU
5260310	A6S-OPT2-G	6,000 lb. Capacity Parking Lift / STANDARD / <i>Galvanized</i> / REQUIRES MPU
5260319	A6W-OPT2	6,000 lb. Capacity Parking Lift / WIDE / REQUIRES MPU
5260354	A6W-OPT2-G	6,000 lb. Capacity Parking Lift / WIDE / <i>Galvanized</i> / REQUIRES MPU



AUTOSTACKER™

OPTION 3

Aft Control Kit / Requires Master Power Unit (MPU)

SKU	MODEL	DESCRIPTION
5260595	A6S-OPT3	6,000 lb. Capacity Parking Lift / STANDARD / REQUIRES MPU
5260296	A6S-OPT3-G	6,000 lb. Capacity Parking Lift / STANDARD / <i>Galvanized</i> / REQUIRES MPU
5260596	A6W-OPT3	6,000 lb. Capacity Parking Lift / WIDE / REQUIRES MPU
5260297	A6W-OPT3-G	6,000 lb. Capacity Parking Lift / WIDE / <i>Galvanized</i> / REQUIRES MPU



AUTOSTACKER™

STANDARD ACCESSORIES / PARTS

SKU	PART	DESCRIPTION
5585007	MPU	Master Power Unit / Operates Up to 12 Lifts / 5HP, 208-240V, 50/60HZ, 1-Phase
5585507	MPU (High Speed)	Master Power Unit / Operates Up to 12 Lifts / 10HP, 208-230/460V, 50/60HZ, 3-Phase
5215835	MPU Shed	Stainless Steel MPU Housing Unit / Fits Both 5585007 and 5585507
5210195	Access Panel	PL-6SR Removable Access Panel / One Assembly / Replaces Three Galvanized Ramp Sections
5210198	Access Panel (Wide)	PL-6SRX Removable Access Panel / One Assembly / Replaces Three Galvanized Ramp Sections



MPU Shed

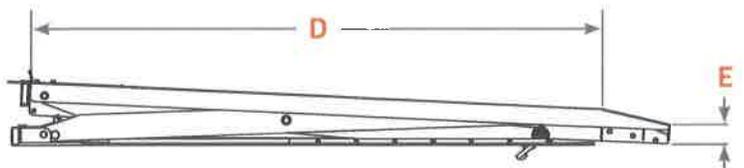
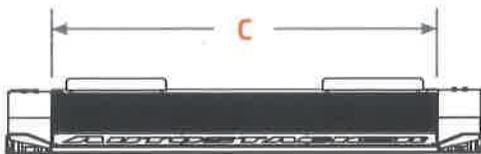
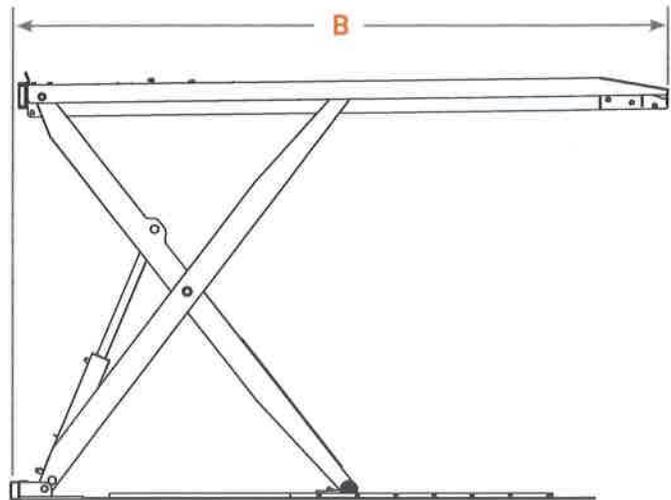
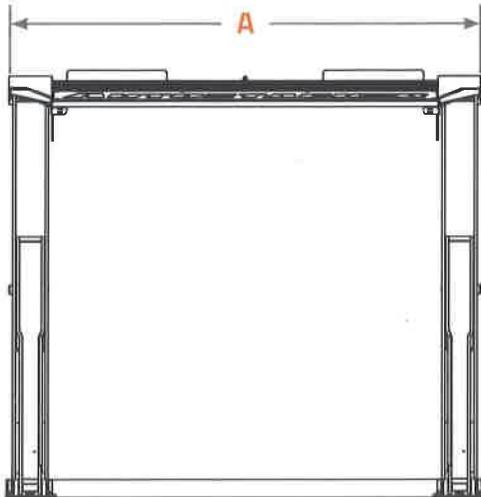


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ELEVATION DRAWINGS

Specifications

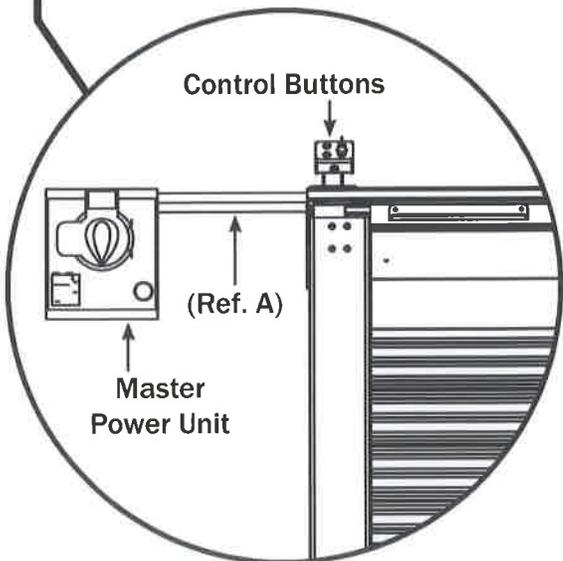
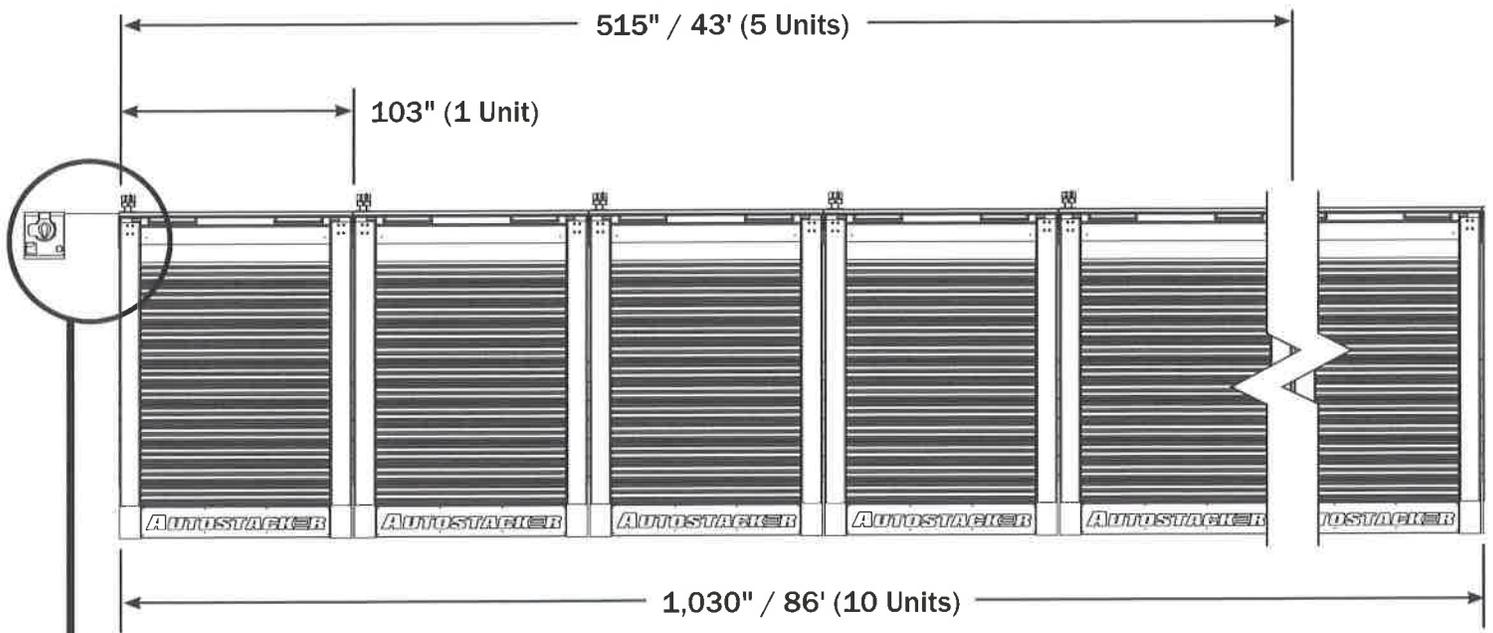
MODEL	A6S	A6W
Style	Standard	Wide
A - Overall Width	103" (2,616 mm)	111" (2,815 mm)
B - Overall Length	144" (3,658 mm)	144" (3,658 mm)
C - Platform Width	83.75" (2,127 mm)	91.75" (2,331 mm)
D - Platform Length	124" (3,150 mm)	124" (3,150 mm)
E - Ramp Height	2" (51 mm)	2" (51 mm)



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MULTI-UNIT CONFIGURATION

STANDARD WIDTH MODELS



(Ref. A) Customer Supplied

Qty.	Description	Notes
2	1/4" Hydraulic Hose w/ crimped straight fittings, -04 JIC female	No longer than 20 ft. from first lift in gang.
1	14-AWG, 4-wire, SOOW jacket	

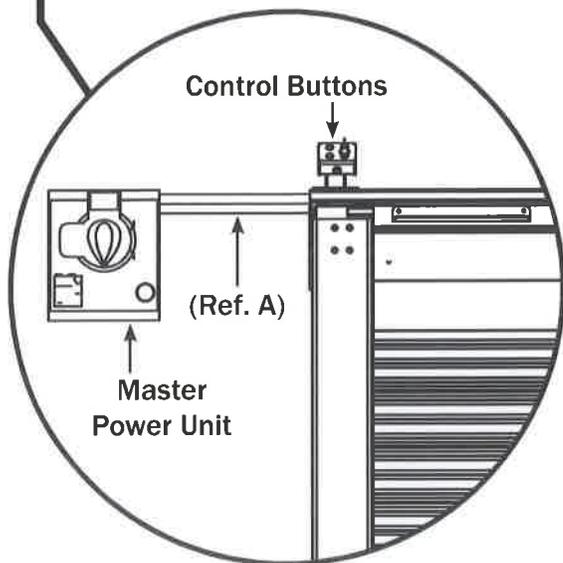
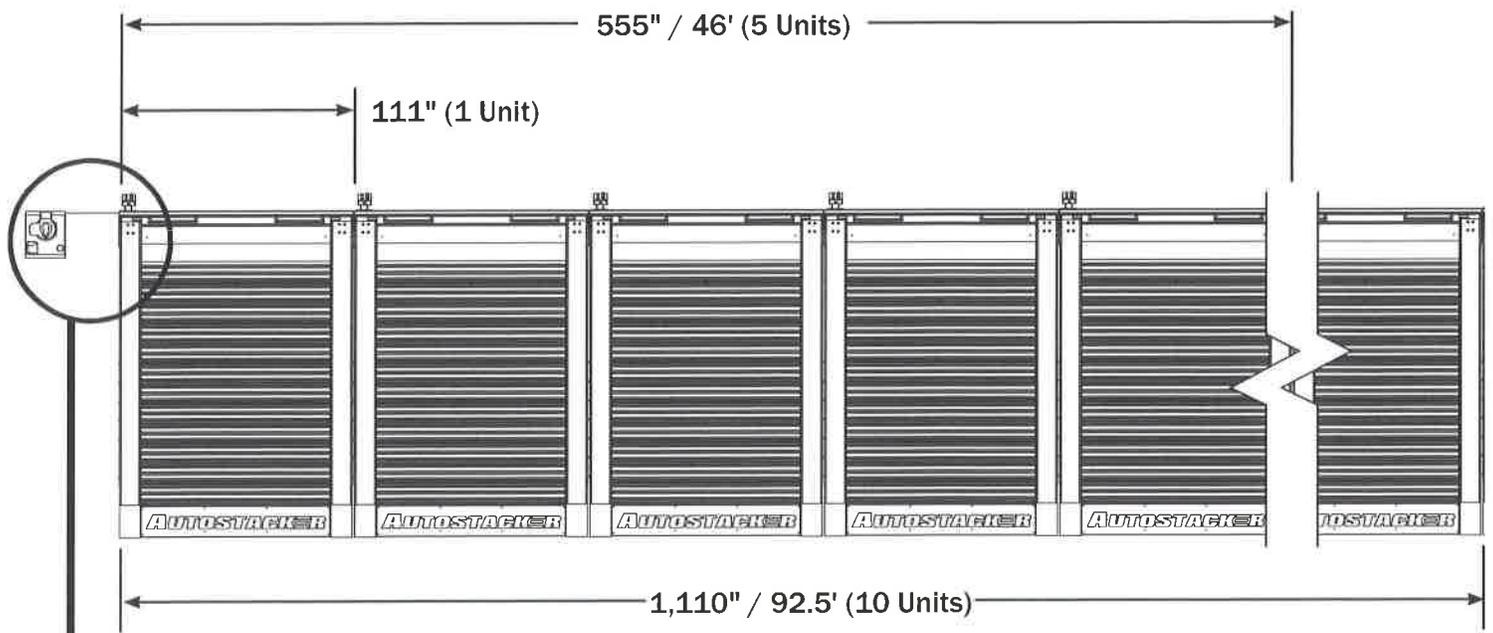
Motor Voltage: 230VAC, 60Hz / 1Ph, 3450 RPM
(Optional 5 HP or 10 HP)

DETAIL

AUTOSTACKER™

MULTI-UNIT CONFIGURATION

WIDE MODELS



DETAIL

(Ref. A) Customer Supplied

Qty.	Description	Notes
2	1/4" Hydraulic Hose w/ crimped straight fittings, -04 JIC female	No longer than 20 ft. from first lift in gang.
1	14-AWG, 4-wire, SOOW jacket	

Motor Voltage: 230VAC, 60Hz / 1Ph, 3450 RPM
(Optional 5 HP or 10 HP)



**FORCHELLI
DEEGAN
TERRANA**

**KATHLEEN DEEGAN DICKSON
PARTNER
KDICKSON@FORCHELLILAW.COM
(516) 248-1700**

November 26, 2025

VIA HAND DELIVERY

Zoning Board of Appeals
Village of Freeport
46 N Ocean Avenue
Freeport, NY 11520

**RE: Application of NBD Holding LLC
435 Woodcleft Avenue, Freeport
S-B-L: 62-177-339, 541, 542, 548**

Dear Gina,

526 548

In connection with the above-referenced premises, enclosed please find one (1) original and eleven (11) copies of the following:

1. Board of Appeals of the Village of Freeport Application;
2. Amended Letter of Denial;
3. Negative Declaration Notice;
4. Short Environmental Assessment Form;
5. Erection of Building or Alterations;
6. Parking Schedule;
7. Autostacker Car Life Information Packet;
8. Elevation Comparison;
9. Car Life Elevation prepared by Baskervill;
10. Elevation Plans prepared by Baskervill, dated July 11, 2025, including the following:
 - a. Title Sheet- T001;
 - b. General Notes, Building & Code Summary- G001;
 - c. Life Safety Plans- Ground Level- G002
 - d. Life Safety Plans- 1st Floor- G003
 - e. Life Safety Plans- 2nd Floor- G004
 - f. Life Safety Plans- 3rd Floor- G005
 - g. Life Safety Plans- 4rd Floor- G006
 - h. Life Safety Plans- Penthouse- G007
 - i. Occupancy Calculations- G101
 - j. Exterior Elevations BW- North & South- A201;
 - k. Exterior Elevations BW- West & Est- A202;
 - l. Parking Map; and
 - m. BZA Site Plan.

Reply to:

The Omni • 333 Earle Ovington Blvd., Suite 1010 • Uniondale, NY 11553 • 516.248.1700 • forchellilaw.com
101 Motor Parkway • Suite 115 • Hauppauge, NY 11788 • 631.284.1700

NOVEMBER 26, 2025
PAGE 2

In addition to the above reference application materials, enclosed please find one (1) check in the amount of \$1,860.00 made out to the "Village of Freeport" representing the application fee.

Please advise if any additional information is required. Thank you for your courtesies in this matter.

Very truly yours,
FORCHELLI DEEGAN TERRANA LLP

A handwritten signature in cursive script, appearing to read "Kathleen Deegan", is written over a horizontal line.

By: KATHLEEN DEEGAN DICKSON

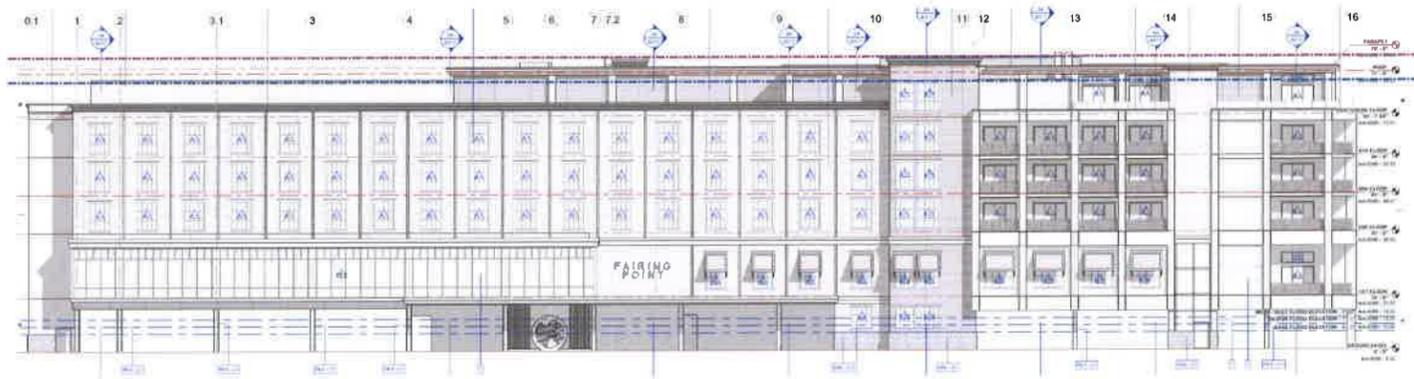




CURRENT DESIGN



PREVIOUSLY APPROVED DESIGN



CURRENT DESIGN



PREVIOUSLY APPROVED DESIGN

NBD HOLDING LLC TAPESTRY FREEPORT

435 WOODCLEFT AVE, FREEPORT, N.Y. 11520

OWNER / CLIENT

NBD HOLDING LLC
333 JERICO TURNPIKE
JERICO, NY 11753
CONTACT: GEOFF EVANCIC

ARCHITECTURE / INTERIORS

BASKERVILL
1051 E CARY ST., SUITE 200 (23219)
RICHMOND, VA 23218-0400
+1 804 343 1010
WWW.BASKERVILL.COM
CONTACT: MICHAEL HARPER

CIVIL / MEP

H2M ARCHITECTS & ENGINEERS
538 BROAD HOLLOW ROAD, 4TH
FLOOR
EAST MELVILLE, NY 11747
631.756.000
CONTACT: ANTHONY KIM

BRANDING

BRAND VERVE
301-204-7279
WWW.BRANDVERVE.NET
CONTACT: LAURA BATES

STRUCTURAL

STRUCTURAL WORKSHOP
115 ROUTE 46, SUITE C23
MOUNTAIN LAKES, NJ 07046
973.771.6970



VICINITY MAP



PROJECT SITE

DESCRIPTION OF WORK

THIS PROJECT IS A NEW CONSTRUCTION 6 STORY HOTEL BUILDING WITH 137 GUESTROOMS. THE HOTEL CONSISTS OF A LOBBY, BAR, RESTAURANT, PREFUNCTION, BALLROOM, CEREMONY SPACE, MEETING SPACE, FITNESS CENTER, SPEAKEASY AND PENTHOUSE EVENT SPACE.

RECEIVED
2025 NOV 26 1 P 3:58
CLERK'S OFFICE
VILLAGE OF FREEPORT, NY

BASKERVILL, P.O. BOX 400, RICHMOND, VA 23218-0400



COPYRIGHT 2025 BASKERVILL. USE OF THIS WORK IN WHOLE OR IN PART IS FORBIDDEN WITHOUT EXPRESS WRITTEN CONSENT.

PROJECT NUMBER
2.240561.0

**TAPESTRY
FREEPORT**

435 WOODCLEFT AVE, FREEPORT, N.Y. 11520

ISSUE
**07/11/2025 -
DESIGN DEVELOPMENT**

TITLE SHEET
T001

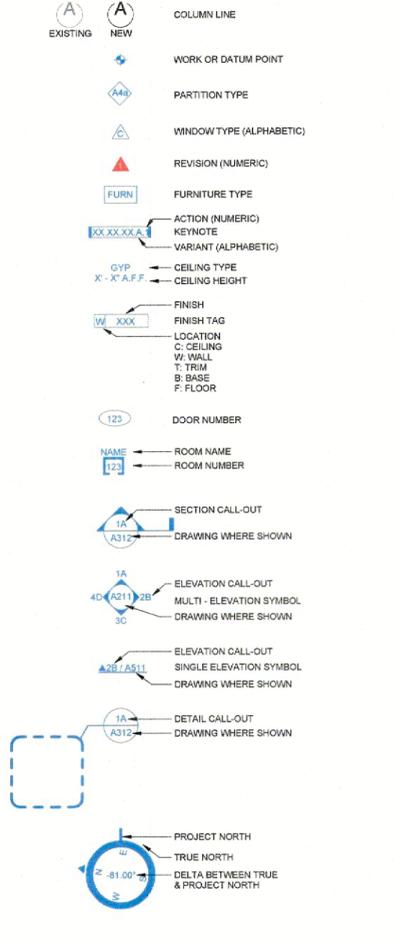
ABBREVIATIONS

ABBRV	FULL WORD
AB	ANCHOR BOLT
AC	AIR CONDITIONING
AC	ACOUSTICAL
ACP	ACOUSTICAL CEILING PANEL
AD	ACCESS DOOR
ADJ	ADJACENT, ADJUSTABLE
AF	ABOVE FINISHED FLOOR
AL	ALUMINUM
ALT	ALTERNATE
AP	ARMOR PLATE
APPROX	APPROXIMATE
ARCH	ARCHITECTURAL
AVC	ACOUSTICAL WALL COVERING
BC	BRICK COURSE(S)
BLDG	BUILDING
BLK	BLOCK
BLKG	BLOCKING
BM	BENCH MARK, BEAM
BTM	BOTTOM
BRG	BEARING
BRK	BRICK
BSMT	BASEMENT
BUR	BUILT UP ROOFING
CB	CATCH BASIN
CF	CUBIC FOOT (FEET)
CFCI	CONTRACTOR OR FURNISHED CONTRACTOR INSTALLED
CFM	CUBIC FOOT PER MINUTE
CG	CORNER GUARD
CH-AN	CH-ANEL
CHR	CHAIR RAIL
CI	CAST IRON
CIP	CAST IN PLACE
CJ	CONTR. JOINT
CLB	CEILING
CLO	CLOSET
CLR	CLEAR
CM	CENTIMETER
CMU	CONCRETE MASONRY UNIT
CO	CLEAN OUT
COL	COLUMN
COMP	COMPOSITION COMPOSITE
CONC	CONCRETE
CONT	CONTINUOUS
CORR	CORRIDOR
CP	CLEAR PLASTIC
CPT	CARPET
CR	CRASH RAIL
CRBG	CRASH RAIL / BUMPER GUARD
CT	CERAMIC TILE
CTR	CENTER
CV	CHECK VALVE
CV	CLEAR VIEW GLASS
CY	CUBIC YARD
CYL	CYLINDER
CL	CENTERLINE
D	DEPTH
DBL	DOUBLE
DEG	DEGREE
DEM	DEMOLITION
DET	DETAIL
DF	DRINKING FOUNTAIN
DA	DIAMETER
DAG	DIAGONAL
DIFF	DIFFUSER
DM	DIMENSION
DSP	DISPENSER
DV	DIVISION
DN	DOWN
DP	DAMP-PROOFING
DR	DRAIN
DS	DOWNSPOUT
DWG	DRAWING
DWGS	DRAWINGS
EA	EACH
EB	EXPANSION BOLT
EFS	EXTERIOR INSULATION AND FINISH SYSTEM
EJ	EXPANSION JOINT
ELEC	ELECTRICAL
ELEV	ELEVATOR, ELEVATION
EMER	EMERGENCY
ENGR	ENGINEERING
EPDM	ETHYLENE PROPYLENE DIENE MONOMER (ROOF MEMBRANE)
EQ	EQUAL
EQUIP	EQUIPMENT
ETR	EXISTING TO REMAIN
EWC	ELECTRIC WATER COOLER
EXIST	EXISTING
EXPA	EXPANSION ANCHOR
EXT	EXTERIOR
F	FAHRENHEIT
FA	FIRE ALARM
FE	FIRE EXTINGUISHER
REC	FIRE EXTINGUISHER CABINET
FF	FINISH FLOOR
FHC	FIRE HOSE CABINET
FN	FINISHED
FO	FINISHED OPENING
FOF	FACE OF FINISH
FOS	FACE OF STUD
FRTW	FIRE RETARDANT TREATED WOOD
FV	FIELD VERIFIED
PWC	FABRIC WALL COVERING
GA	GAGE
GALV	GALVANIZED
GB	GRAB BAR
GC	GENERAL CONTRACTOR
GEN	GENERAL
GL	GLASS, GLAZING
GND	GROUND
GNY	GOOSE NECK VENTILATOR
GR	GROUT
GYP	GYPSPUM
GYP BO	GYPSPUM BOARD
H	HIGH
HB	HOSE BIBB
HC	HOLLOW CORE
HD	HEAVY DUTY
HDW	HARDWARE
HGT	HEIGHT
HM	HOLLOW METAL
HORIZ	HORIZONTAL
HR	HOUR
HRL	HANDRAIL
HVAC	HEATING VENTILATING & AIR CONDITIONING
HAWOOD	HARDWOOD
I	INCH
INCH	INCH DIAMETER
INSUL	INSULATION
INT	INTERIOR
IPT	INTERIOR PAINT
JAN	JANITOR
JCT	JUNCTION
JST	JOIST
JT	JOINT
JTB	JOINT BACKER
KB	KEYBOARD
KITCH	KITCHEN
KO	KNOCKOUT
KP	KICK PLATE
KS	KNEE SPACE
L	LENGTH
LAM	LAMINATE, LAMINATED
LAM GL	LAMINATED GLASS
LAV	LAVATORY
LB	POUND
LSF	POUNDS-FORCE
LH	LEFT HAND
LIN	LINEAR
LLV	LONG LEG VERTICAL
LVR	LOUVER
MAS	MASONRY
MATL	MATERIAL
MAX	MAXIMUM
MECH	MECHANICAL
MEMB	MEMBRANE
MEZZ	MEZZANINE
MFR	MANUFACTURER
MIN	MINIMUM
MIR	MIRROR
MISC	MISCELLANEOUS
MOLD	MOLDING
mm	MILLIMETER
MO	MASONRY OPENING
MT	METAL THRESHOLD
MTL	METAL
MULL	MULLION
MWK	MILLWORK
N	NORTH
NIC	NOT IN CONTRACT
NO	NUMBER
NOM	NOMINAL
NTS	NOT TO SCALE
OC	ON CENTER
OD	OUTSIDE DIAMETER
OCFI	OWNER FURNISHED CONTRACTOR INSTALLED
OFF	OFFICE
OCFI	OWNER FURNISHED OWNER INSTALLED
OPN	OPENING
OPP	OPPOSITE
OPPH	OPPOSITE HAND
OVFL	OVERFLOW
PLBS	POUNDS
PAR	PARALLEL
PART	PARTIAL
PARTN	PARTITION
PERM	PERMETER
PERP	PERPENDICULAR
PL	PLATE
PLAM	PLASTIC LAMINATE
PLAS	PLASTER, PLASTIC
PLBG	PLUMBING
PLWD	PLYWOOD
PNL	PANEL
PNT	PAINT
PP	PITCH-POCKET
PR	PAIR
PRV	POWERED ROOF VENTILATOR
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
PT	PRESSURE TREATED PORCELAIN TILE
PWC	PLASTIC WALL COVERING
QT	QUARRY TILE
QTY	QUANTITY
QUAL	QUALITY
R	RISER
RA	RETURN AIR
RAD	RADIUS
RB	RUBBER, RUBBER BASE
RD	ROOF DRAIN
REBAR	REINFORCING BAR
RECP	RECEPTACLE, RECEPTION
REF	REFERENCE
REFL	REFLECTED
REFR	REFRIGERATOR
REG	REGULAR
REIN	REINFORCED
REP	REPAIR
REQ	REQUIRED, REQUIRED
RESL	RESILIENT
REV	REVISION
RFG	ROOFING
RH	RIGHT HAND
RL	RAN LEADER
RM	ROOM
RO	ROUGH OPENING
RT	RIGHT
S	SOUTH
SC	SOLID CORE
SCHED	SCHEDULE
SCUP	SCUPPER
SD	SOAP DISPENSER
SECT	SECTION
SHT	SHEET
SHWR	SHOWER
SM	SIMILAR
SND	SANITARY NAPKIN DISPENSER
SNT	SANITARY NAPKIN RECEPTACLE
SP	STAND PIPE
SPEC	SPECIFICATION
SPEC	SINGLE PLY MEMBRANE
SS	SERVICE SINK, STAINLESS STEEL
SSM	SOLID SURFACE MATERIAL
ST	STAINLESS
STL	STEEL
STN	STONE
STOR	STORAGE
STRUCT	STRUCTURAL
SUSP	SUSPENDED
SV	SHEET VINYL
T	TREAD
TGL	TEMPERED GLASS
T&G	TONGUE & GROOVE
TB	TOWEL BAR
TD	TRENCH DRAIN
TBL	TELEPHONE
TEMP	TEMPERED, TEMPORARY
TERR	TERRAZZO
THK	THICK
TLT	TOILET
TOC	TOP OF CURB, TOP OF CONCRETE
TOM	TOP OF MASONRY
TOS	TOP OF STEEL
TOSL	TOP OF SLAB
TTD	TOILET TISSUE DISPENSER
TWS	THRU-WALL SCUPPER
TYP	TYPICAL
UC	UNDERCOUNTER, UNDERCUT
UNFIN	UNFINISHED
UNO	UNLESS NOTED OTHERWISE
VB	VAPOR BARRIER, VINYL BASE
VC	VALVE CABINET
VCT	VINYL COMPOSITION TILE
VERT	VERTICAL
VEST	VESTIBULE
VIF	VERIFY IN FIELD
VIN	VINYL
VIT	VITREOUS CHINA
VNR	VENEER
VP	VENT PIPE, VAPOR PROOF
VTR	VENT THRU ROOF
VWC	VINYL WALL COVERING
W	WIDTH
W	WITH
WO	WITHOUT
WANS	WAINSCOT
WB	WOOD BASE
WC	WALL COVERING, WATER CLOSET
WC	WATER CLOSET
WO	WOOD
WG	WIRE GLASS
WH	WATER HEATER
WIN	WINDOW
WPR	WATERPROOFING
WPT	WORK POINT
WR	WATER RESISTANT, WASTE RECEPTACLE
WT	WEIGHT
WVF	WELDED WIRE FABRIC

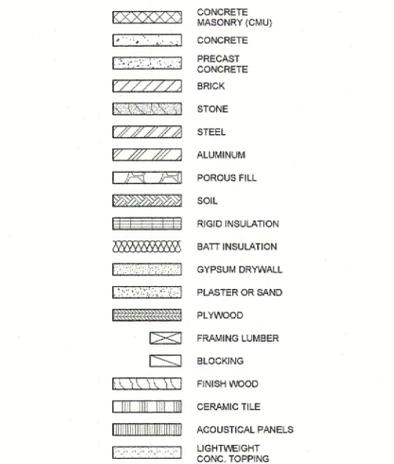
ABBREVIATIONS

ABBRV	FULL WORD
LLV	LONG LEG VERTICAL
LVR	LOUVER
MAS	MASONRY
MATL	MATERIAL
MAX	MAXIMUM
MECH	MECHANICAL
MEMB	MEMBRANE
MEZZ	MEZZANINE
MFR	MANUFACTURER
MIN	MINIMUM
MIR	MIRROR
MISC	MISCELLANEOUS
MOLD	MOLDING
mm	MILLIMETER
MO	MASONRY OPENING
MT	METAL THRESHOLD
MTL	METAL
MULL	MULLION
MWK	MILLWORK
N	NORTH
NIC	NOT IN CONTRACT
NO	NUMBER
NOM	NOMINAL
NTS	NOT TO SCALE
OC	ON CENTER
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OPPH	OPPOSITE HAND
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REIN	REINFORCED
REP	REPAIR
REQ	REQUIRED, REQUIRED
RESL	RESILIENT
REV	REVISION
RFG	ROOFING
RH	RIGHT HAND
RL	RAN LEADER
RM	ROOM
RO	ROUGH OPENING
RT	RIGHT
S	SOUTH
SC	SOLID CORE
SCHED	SCHEDULE
SCUP	SCUPPER
SD	SOAP DISPENSER
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SPEC	SINGLE PLY MEMBRANE
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VIN	VINYL
VIT	VITREOUS CHINA
VNR	VENEER
VP	VENT PIPE, VAPOR PROOF
VTR	VENT THRU ROOF
VWC	VINYL WALL COVERING
W	WIDTH
W	WITH
WO	WITHOUT
WANS	WAINSCOT
WB	WOOD BASE
WC	WALL COVERING, WATER CLOSET
WC	WATER CLOSET
WO	WOOD
WG	WIRE GLASS
WH	WATER HEATER
WIN	WINDOW
WPR	WATERPROOFING
WPT	WORK POINT
WR	WATER RESISTANT, WASTE RECEPTACLE
WT	WEIGHT
WVF	WELDED WIRE FABRIC

GENERAL SYMBOLS



MATERIAL GRAPHICS



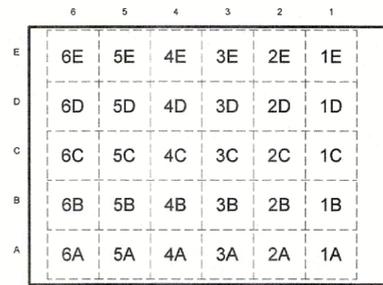
TOBACCO FREE WORKZONE NOTES

USE OF TOBACCO PRODUCTS IS NOT PERMITTED ANYWHERE ON OWNER'S PROPERTY. PROHIBIT USE OF ALL TOBACCO PRODUCTS, INCLUDING BUT NOT LIMITED TO CIGARETTES, CIGARS, PIPES, CHEWING TOBACCO, SNUFF, DIP, SNUGS AND ELECTRONIC CIGARETTES BY ALL PERSONNEL COVERED BY THIS CONTRACT WHILE ON OWNER'S PROPERTY. THIS PROHIBITION APPLIES TO OCCUPANTS OF JOBSITE OFFICES, STORAGE OR WORK SHEDS, WORK AREAS ASSIGNED EXCLUSIVELY TO THE CONTRACTOR, AND VEHICLES WHILE THE VEHICLE IS ON OWNER'S PROPERTY. ENFORCE REQUIREMENTS STRICTLY.

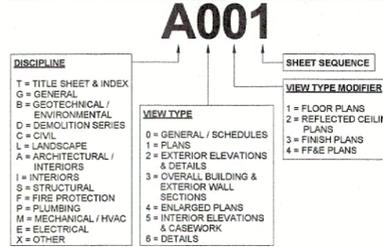
FIREPROOFING NOTES

1. ALL FIREPROOFING DESIGNS SHOULD BE CONSIDERED THERMALLY UNRESTRAINED.
 2. SPRAYED FIREPROOFING FOR STRUCTURAL MEMBERS WITH W/D OR R/P RATIOS OTHER THAN THE SPECIFIED U/L DESIGN, WILL BE ADJUSTED IN ACCORDANCE WITH THE ADJUSTMENT OF SPRAYED PROTECTION MATERIAL THICKNESS FOR UNRESTRAINED RATIOS FOR VARIOUS BEAM AND COLUMN SIZES AS FOUND IN THE MOST CURRENT EDITION OF THE UL FIRE RESISTANCE DIRECTORY.
 3. ALL BEAMS AND COLUMNS SHALL BE ADJUSTED USING W/D OR R/P RATIOS TO DETERMINE THE CORRECT FIREPROOFING THICKNESS.

SHEET LAYOUT



DRAWING NUMBERS



GENERAL NOTES

- VERIFY ALL EXISTING CONDITIONS.
- CONTRACTOR TO MAINTAIN EGRESS ROUTES FROM EXISTING BUILDING THROUGHOUT THE COURSE OF CONSTRUCTION.
- VERTICAL DIMENSIONS ARE FROM "FLOOR LINE" UNLESS OTHERWISE NOTED. REFER TO ELEVATIONS FOR "FLOOR LINE" DATUMS.
- HORIZONTAL DIMENSIONS FOR NEW CONSTRUCTION ARE FROM FACE OF FINISH UNLESS OTHERWISE NOTED. HORIZONTAL DIMENSIONS FOR EXISTING CONSTRUCTION ARE FROM FACE OF EXISTING FINISHED SURFACE.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT WITH THE DESIGN PROFESSIONAL TO OBTAIN CLARIFICATION BEFORE CONTINUING WITH CONSTRUCTION.
- HOLES CUT THROUGH EXISTING OR NEW FIRE RATED CONSTRUCTION FOR INSTALLATION OF PIPING, DUCTWORK, OR OTHER PENETRATIONS SHALL BE KEPT TO A MINIMUM NUMBER AND HELD TO A MINIMUM SIZE. FILL VOIDS BETWEEN PIPES, DUCTS, OTHER PENETRATING ITEMS AND RATED CONSTRUCTION WITH FIRE RETARDANT SEALANT SYSTEM LISTED IN THE UL FIRE RESISTANCE DIRECTORY WITH FIRE (P) AND TEMPERATURE (T) RATINGS EQUAL TO OR GREATER THAN THE FIRE RESISTANCE RATING OF THE ASSEMBLY BEING SEALED.
- ALIGN NEW FLOOR FINISHES WITH EXISTING ADJACENT FLOOR FINISHES UNLESS OTHERWISE INDICATED. WHERE NEW AND EXISTING FINISHED SURFACES ARE INDICATED TO BE ALIGNED, INSTALL SO FINISHED SURFACES ARE FLUSH (FEATHER MAXIMUM 1/8" PER FOUR FEET).
- IT IS UNDERSTOOD AND AGREED THAT DRAWING REFINEMENTS, ADDITIONAL DETAILING AND CLARIFICATIONS WILL BE ISSUED DURING THE CONSTRUCTION SCHEDULE AND NO ADJUSTMENT WILL BE MADE IN THE CONTRACTORS' OR SUB-CONTRACTORS' PRICE UNLESS SUCH REFINEMENT, DETAILING OR CLARIFICATIONS RESULT IN CHANGES TO THE SCOPE, QUALITY, FUNCTION AND OR INTENT OF THE DRAWINGS AND THE PROJECT MANUAL NOT REASONABLY INFERRABLE BY A CONTRACTOR OR SUB-CONTRACTOR EXPERIENCED IN THIS TYPE OF WORK.
- ALL CONTRACTORS AND SUB-CONTRACTORS MUST QUOTE ON COMPLETED, FULLY OPERABLE SYSTEMS BASED ON THE DESIGN INTENT OF THE CONTRACT DOCUMENTS, AND ALL MATERIAL AND LABOR IMPLIED THEREFROM.
- UNLESS OTHERWISE REQUIRED BY THE OWNER, CONSTRUCTION ADMINISTRATION SERVICES WILL BE COMPLETED USING NEW YORK PROJECT CENTER REFERENCE DIVISION 1 OF THE SPECIFICATIONS FOR THE PROCEDURES FOR REQUESTS FOR INFORMATION AND SUBMITTALS.

DESIGN RESPONSIBILITY NOTES

- THESE DRAWINGS AND ASSOCIATED SPECIFICATIONS ARE LIMITED TO THE DESIGN SERVICES CONVEYED WITHIN THE CONTRACT DOCUMENTS. THESE DESIGN SERVICES ARE LIMITED TO:
 - ARCHITECTURAL DESIGN
 - INTERIOR DESIGN
 - MECHANICAL ENGINEERING DESIGN
 - ELECTRICAL ENGINEERING DESIGN
 - PLUMBING ENGINEERING DESIGN
 - STRUCTURAL ENGINEERING DESIGN
- EXCLUDED SERVICES ARE, BUT NOT LIMITED TO, THE FOLLOWING:
 - GEOTECHNICAL ENGINEERING
 - CIVIL ENGINEERING
 - LANDSCAPE DESIGN
 - FIRE PROTECTION ENGINEERING
 - COST ESTIMATION

REFERENCE THE OWNER ARCHITECT AGREEMENT FOR ALL EXCLUDED SERVICES.

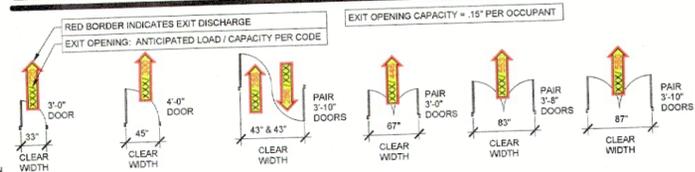
- THE PROJECT SPECIFICATIONS INDICATE SEVERAL AREAS OF DELEGATED DESIGN WHERE A QUALIFIED PROFESSIONAL MUST BE ENGAGED BY THE CONTRACTOR AND/OR SUBCONTRACTOR TO PROVIDE DESIGN SERVICES AND/OR SHOP DRAWINGS. THESE MAY INCLUDE, BUT ARE NOT LIMITED TO:
 - COLD-FORMED METAL FRAMING
 - METAL FABRICATIONS
 - STAIRS AND RAILINGS
 - WOOD OR LIGHT GAUGE METAL TRUSSES
 - ALUMINUM FRAMED ENTRANCES AND STOREFRONTS
 - GLAZING
 - LOUVERS
 - SUSPENDED CEILING SYSTEMS
 - SIGNAGE
 - FIRE SUPPRESSION & FIRE SPRINKLER SYSTEMS
 - PIPE HANGERS & EQUIPMENT SUPPORTS
 - LIGHTING POLES & SPECIALTY LIGHTING DESIGN
 - FIRE ALARM SYSTEMS
 - IRRIGATION SYSTEMS.

REFERENCE SPECIFICATIONS FOR ALL REQUIREMENTS RELATED TO DELEGATED DESIGN ALONG WITH PERFORMANCE REQUIREMENTS AND DESIGN CRITERIA.

CODE DATA (NEW BUILDING)

PROJECT & ZONING INFORMATION	CHAPTER 9: FIRE PROTECTION SYSTEMS:
PROJECT NAME: TAPESTRY FREEPORT	AUTOMATIC SPRINKLER SYSTEMS(903) YES - NFPA 13
ADDRESS: 435 WOODCLEFT AVE, FREEPORT, N.Y. 11520	STANDPIPE SYSTEM (905) YES
SECTION /BLOCK /LOTS: SECTION 62 / BLOCK: 177 / LOTS: 339, 526, 541, 542, 548	PORTABLE FIRE EXTINGUISHERS (906) YES
SECTION 62 / BLOCK: 233 / LOTS: 2 AND 3	FIRE ALARM AND DETECTION SYSTEMS (907) YES
SECTION 62 / BLOCK: 183 / LOTS: 410	EMERGENCY ALARM SYSTEMS (908) YES
LOT AREA: LOTS ON BLOCK 177 = 47,088 SF	CHAPTER 10: MEANS OF EGRESS:
LOTS ON BLOCK 233 = 23,156 SF	GENERAL MEANS OF EGRESS (1003) REFERENCE LIFE SAFETY PLANS ON G002, G003, G004, G005 FOR GENERAL EGRESS PATHS.
LOTS ON BLOCK 183 = 12,500 SF	OCCUPANT LOAD (1004) SEE CHART. OCCUPANCY LOAD (1004.1.2)
ZONING DISTRICT: MARINE COMMERCE	STARWAYS (1011) 4 EGRESS STAIRS ARE PROVIDED AND COMPLY WITH THIS SECTION.
ZONING CLASSIFICATION: CHAPTER 210 ZONING ARTICLE XXIV - MARINE COMMERCE DISTRICT ARTICLE XX - HOTELS, MOTELS, BOATELS	TRAVEL DISTANCES: COMMON PATH OF TRAVEL DISTANCE (1006.2.1) WITH SPRINKLER SYSTEM 75'-0" (A, R-1)
OCCUPANCY GROUPS: R-1 & RESIDENTIAL (HOTEL) A-2 ASSEMBLY (RESTAURANT AND BANQUET HALL) S-2 STORAGE (OPEN PARKING)	EXIT ACCESS TRAVEL DISTANCE (1017.2): 250'-0" (A, R-1)
USES: HOTEL, RESTAURANT AND ASSEMBLY HALL 36059C239G	DI DEAD END CORRIDOR (1020.4) 20'-0" (A) 50'-0" (B, R-1)
FLOOD ZONES: VE (ELEVATION 11) AND AE (ELEVATION 9 & 10)	CHAPTER 11:

EXIT DISCHARGE CAPACITY (SPRINKLERED)



FIRE PROTECTION & ALARM DEVICES (906 -908)



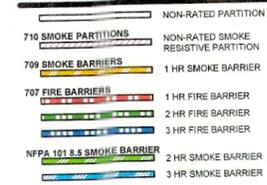
EXIT / EGRESS SYMBOLS



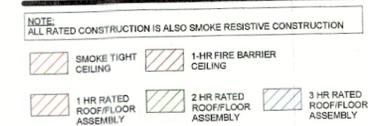
TRAVEL DISTANCE LIMITATIONS (NYS BC 2020)



PARTITION DESIGNATIONS (705-710)



HORIZONTAL ASSEMBLIES (711)



LIFE SAFETY GENERAL NOTES

- FIRE EXTINGUISHER CABINETS SHALL BE LOCATED SO THAT THE MAXIMUM TRAVEL DISTANCE SHALL NOT EXCEED 75'-0" (906.3).
- MINIMUM EGRESS WIDTH PER OCCUPANT AT STAIRS = 0.3' PER OCCUPANT (1005.3.1). MINIMUM EGRESS WIDTH PER OCCUPANT AT OTHER EGRESS COMPONENTS = 0.2' PER OCCUPANT. (1005.3.2)
- A FIRE RATED ASSEMBLY AND SMOKE BARRIER ASSEMBLY SHALL BE STENCILED WITH THE RELEVANT DESIGNATION AS FOLLOWS (703.7):
 - 3-INCH TALL LETTERS IN RED INK OR PAINT
 - APPLIED AT ALL CONCEALED LOCATIONS (EG. ABOVE CEILING AND INSIDE ELEVATOR SHAFTS) @ 6'-0" OC MAX.

LIFE SAFETY PROJECT NOTES

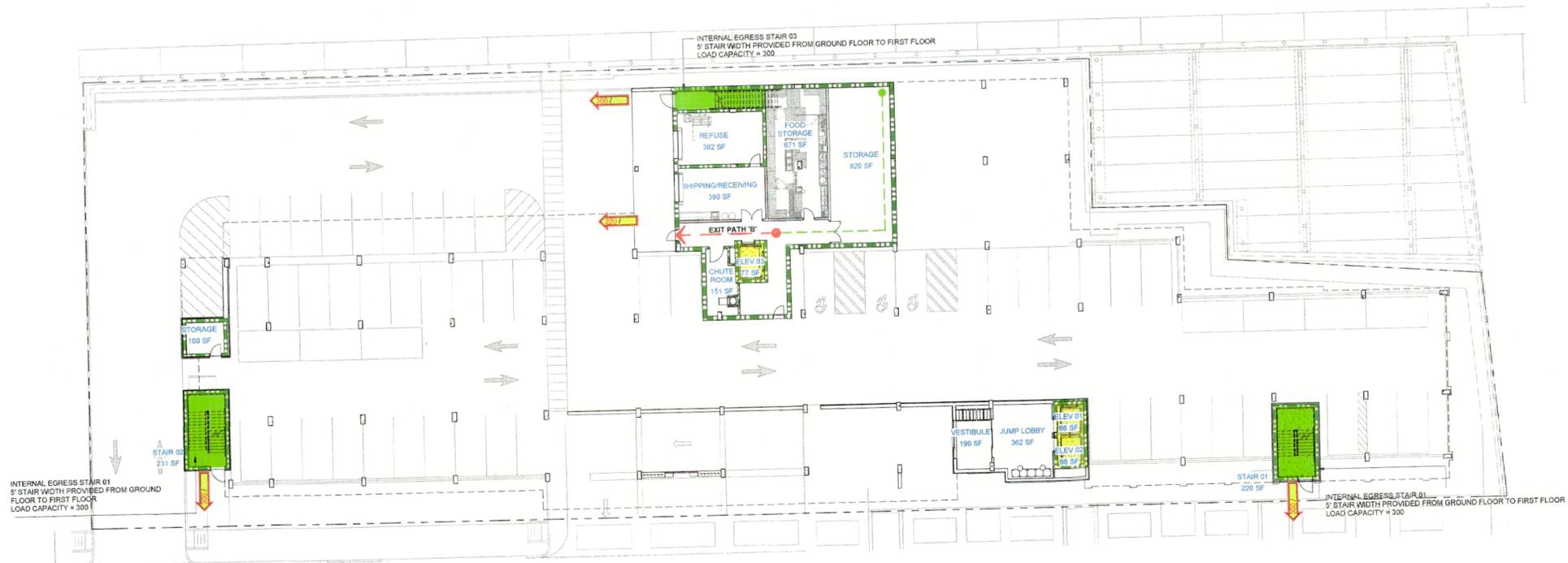
- WALL RATINGS SHOWN ARE BASED ON CONSTRUCTION DESIGN. DOOR RATINGS ARE NOT REQUIRED UNLESS SPECIFICALLY NOTED. REF TO DOOR SCHEDULE

EGRESS PATH DISTANCES

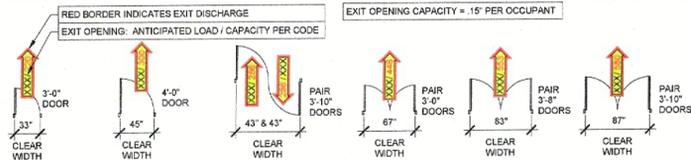
Path Designation	TYPE	PATH OF EGRESS
EXIT PATH 'A'		72'-1"
EXIT PATH 'B'	COMMON PATH OF EGRESS TRAVEL	28'-5"
EXIT PATH 'B'	EXIT ACCESS TRAVEL DISTANCE	100'-7"

NYS BC 2020 - DESIGN OCCUPANT LOAD (1004.1)

NAME	OCCUPANCY	FUNCTION OF SPACE (TABLE 1004.5)	PROPOSED OCCUPANCY				PRIOR APPROVED 9-10-23 VILLAGE OF FREEPORT ZONING				VARIANCE	NOTES	
			AREA	OCC LOAD FACTOR	GROSS / NET	OCCUPANTS	AREA	OCC LOAD FACTOR	GROSS / NET	OCCUPANTS			
GROUND LEVEL													
N/A	N/A	CIRCULATION	534 SF	0	N/A	0	1,112 SF	0	N/A	0	0	0	Public Space
CORRIDOR	N/A	CIRCULATION	589 SF	0	N/A	0	650 SF	0	N/A	0	0	0	Public Space
JUMP LOBBY	N/A	CIRCULATION	378 SF	0	N/A	0	1,762 SF	0	N/A	0	0	0	Public Space
STAIR	N/A	CIRCULATION	1,721 SF	0	N/A	0							
9-2 (LOW HAZARD)													
LINEWORK RECEIVING	9-2 (LOW HAZARD)	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	782 SF	300	SF GROSS	1	237 SF	300	SF GROSS	1	0	0	Head Staff Only
REFUSE	9-2 (LOW HAZARD)	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	414 SF	300	SF GROSS	2	627 SF	300	SF GROSS	3	-1	-1	Head Staff Only
STORAGE	9-2 (LOW HAZARD)	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	415 SF	300	SF GROSS	2	614 SF	300	SF GROSS	2	0	0	Head Staff Only
STORAGE	9-2 (LOW HAZARD)	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	671 SF	350	SF GROSS	4	914 SF	300	SF GROSS	2	1	1	Head Staff Only
STORAGE	9-2 (LOW HAZARD)	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	714 SF	200	SF GROSS	3	574 SF	300	SF GROSS	2	1	1	Head Staff Only
FOOD STORAGE	9-2 (LOW HAZARD)	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	714 SF	200	SF GROSS	12	2,365 SF			12	2	2	
			2,976 SF					VARIANCE SF				VARIANCE OCC	
GROUND LEVEL TOTALS			4,397 SF			12	4,797 SF	-360 SF		18	2		



EXIT DISCHARGE CAPACITY (SPRINKLERED)



FIRE PROTECTION & ALARM DEVICES (906 -908)



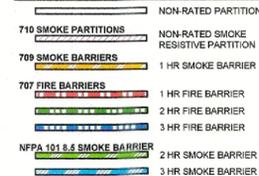
EXIT / EGRESS SYMBOLS



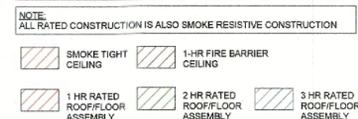
TRAVEL DISTANCE LIMITATIONS (NYS BC 2020)



PARTITION DESIGNATIONS (705-710)



HORIZONTAL ASSEMBLIES (711)



LIFE SAFETY GENERAL NOTES

- FIRE EXTINGUISHER CABINETS SHALL BE LOCATED SO THAT THE MAXIMUM TRAVEL DISTANCE SHALL NOT EXCEED 75'-0" (906.3).
- MINIMUM EGRESS WIDTH PER OCCUPANT AT STAIRS = 0.3' PER OCCUPANT (1005.3.1). MINIMUM EGRESS WIDTH PER OCCUPANT AT OTHER EGRESS COMPONENTS = 0.2' PER OCCUPANT (1005.3.2)
- A FIRE RATED ASSEMBLY AND SMOKE BARRIER ASSEMBLY SHALL BE STENCILED WITH THE RELEVANT DESIGNATION AS FOLLOWS (703.7):
 - 3-INCH TALL LETTERS IN RED INK OR PAINT
 - APPLIED AT ALL CONCEALED LOCATIONS (EG. ABOVE CEILING AND INSIDE ELEVATOR SHAFTS) @ 8'-0" OC MAX.

LIFE SAFETY PROJECT NOTES

- WALL RATINGS SHOWN ARE BASED ON CONSTRUCTION DESIGN. DOOR RATINGS ARE NOT REQUIRED UNLESS SPECIFICALLY NOTED. REF TO DOOR SCHEDULE

EGRESS PATH DISTANCES

Path Designation	TYPE	PATH OF EGRESS
EXIT PATH D1'		41'-3"
EXIT PATH D1' COMMON PATH OF EGRESS TRAVEL		171'-4"
EXIT PATH D1' EXIT ACCESS TRAVEL DISTANCE		212'-7"
EXIT PATH D2'		41'-3"
EXIT PATH D2' COMMON PATH OF EGRESS TRAVEL		168'-9"
EXIT PATH D2' EXIT ACCESS TRAVEL DISTANCE		210'-0"

NYS BC 2020 - DESIGN OCCUPANT LOAD (1004.1)

NAME	OCCUPANCY	FUNCTION OF SPACE (TABLE 1004.5)	PROPOSED OCCUPANCY			FROM APPROVED 9-22-21 VILLAGE OF FREEPORT ZONING			OCCUPANTS	VARIANCE	NOTES
			AREA	OCC LOAD FACTOR	GROSS / NET	OCC LOAD FACTOR	GROSS / NET				
2ND FLOOR											
N/A	N/A	REGULATION	2,536 SF	0	N/A	0	1,531 SF	0	N/A	0	Public Space
CORRIDOR	N/A	REGULATION	318 SF	0	N/A	0	261 SF	0	N/A	0	Public Space
ELEVATOR LOBBY	N/A	REGULATION	500 SF	0	N/A	0	500 SF	0	N/A	0	Public Space
STAIR	N/A	REGULATION	3,358 SF	0	N/A	0	2,312 SF	0	N/A	0	Public Space
R-1											
QUESTROOMS	R-1	RESIDENTIAL	18,200 SF	200	SF GROSS	92	20,220 SF	200	SF GROSS	101	Hotel Guest Only
LINEN	R-1	ACCESSORY STORAGE AREAS, MECHANICAL, EQUIPMENT ROOM	241 SF	300	SF GROSS	1	211 SF	300	SF GROSS	1	Hotel Staff Only
			16,507 SF			93	20,431 SF			102	
S-2 (LOW HAZARD)											
STORAGE	S-2 (LOW HAZARD)	ACCESSORY STORAGE AREAS, MECHANICAL, EQUIPMENT ROOM	194 SF	300	SF GROSS	1	580 SF	300	SF GROSS	2	Hotel Staff Only
			194 SF			1	580 SF			2	
2ND FLOOR TOTALS			22,959 SF			94	23,223 SF	-264		104	-10



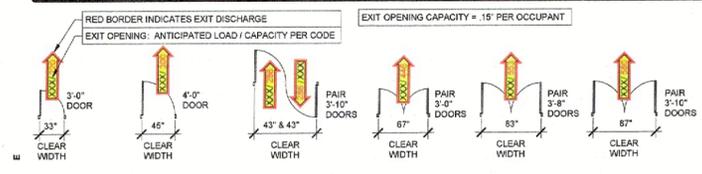
56" STAIR WIDTH PROVIDED AT EACH RUN
INTERNAL EGRESS STAIR 01
ANTICIPATED LOAD = 52 OCCUPANTS

56" STAIR WIDTH PROVIDED AT EACH RUN
INTERNAL EGRESS STAIR 01
ANTICIPATED LOAD = 52 OCCUPANTS



11/10/2025

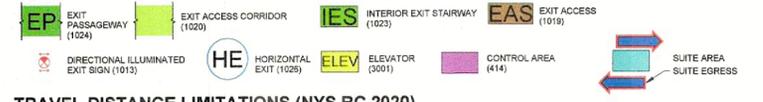
EXIT DISCHARGE CAPACITY (SPRINKLERED)



FIRE PROTECTION & ALARM DEVICES (906 -908)



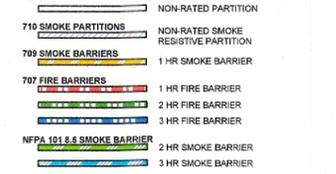
EXIT / EGRESS SYMBOLS



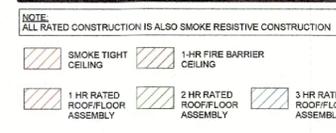
TRAVEL DISTANCE LIMITATIONS (NYS BC 2020)



PARTITION DESIGNATIONS (705-710)



HORIZONTAL ASSEMBLIES (711)



LIFE SAFETY GENERAL NOTES

- FIRE EXTINGUISHER CABINETS SHALL BE LOCATED SO THAT THE MAXIMUM TRAVEL DISTANCE SHALL NOT EXCEED 75'-0" (806.3).
- MINIMUM EGRESS WIDTH PER OCCUPANT AT STAIRS = 0.3' PER OCCUPANT (1003.2.1). MINIMUM EGRESS WIDTH PER OCCUPANT AT OTHER EGRESS COMPONENTS = 0.2' PER OCCUPANT. (1005.3.2)
- A FIRE RATED ASSEMBLY AND SMOKE BARRIER ASSEMBLY SHALL BE STENCILED WITH THE RELEVANT DESIGNATION AS FOLLOWS (703.7):
 - 3-INCH TALL LETTERS IN RED INK OR PAINT
 - APPLIED AT ALL CONCEALED LOCATIONS (EG., ABOVE CEILING AND INSIDE ELEVATOR SHAFTS) @ 8'-0" OC MAX.

LIFE SAFETY PROJECT NOTES

- WALL RATINGS SHOWN ARE BASED ON CONSTRUCTION DESIGN. DOOR RATINGS ARE NOT REQUIRED UNLESS SPECIFICALLY NOTED. REF TO DOOR SCHEDULE.

EGRESS PATH DISTANCES

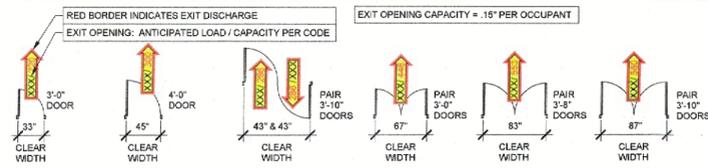
Path Designation	TYPE	PATH OF EGRESS
EXIT PATH E1'		41'-3"
EXIT PATH E1' COMMON PATH OF EGRESS TRAVEL		171'-4"
EXIT PATH E1' EXIT ACCESS TRAVEL DISTANCE		212'-7"
EXIT PATH E2'		41'-3"
EXIT PATH E2' COMMON PATH OF EGRESS TRAVEL		168'-9"
EXIT PATH E2' EXIT ACCESS TRAVEL DISTANCE		210'-4"

NYS BC 2020 - DESIGN OCCUPANT LOAD (1004.1)

NAME	OCCUPANCY	FUNCTION OF SPACE (TABLE 1004.1)	PROPOSED OCCUPANCY				PRIOR APPROVED 1-21-23 VILLAGE OF FREEPORT ZONING				VARIANCE	NOTES
			AREA	OCC LOAD FACTOR	GROSS / NET	OCCUPANTS	AREA	OCC LOAD FACTOR	GROSS / NET	OCCUPANTS		
3RD FLOOR												
Corridor	N/A	CIRCULATION	2,538 SF	0	N/A	0	1,531 SF	0	N/A	0	0	Public Space
Elevator Lobby	N/A	CIRCULATION	522 SF	0	N/A	0	281 SF	0	N/A	0	0	Public Space
Stair	N/A	CIRCULATION	402 SF	0	N/A	0	302 SF	0	N/A	0	0	Public Space
R-1												
Quarters	R-1	RESIDENTIAL	16,339 SF	200	SF GROSS	52	16,519 SF	200	SF GROSS	100	-3	Hotel Guest Only
Storage	R-1	ACCESSORY STORAGE AREAS, MECHANICAL, EQUIPMENT ROOM	224 SF	300	SF GROSS	1	211 SF	300	SF GROSS	1	0	Hotel Staff Only
			16,563 SF			53	20,129 SF			100	-7	
S-2 (LOW HAZARD)												
Storage	S-2 (LOW HAZARD)	ACCESSORY STORAGE AREAS, MECHANICAL, EQUIPMENT ROOM	197 SF	300	SF GROSS	1	960 SF	300	SF GROSS	2	-1	Hotel Staff Only
			197 SF			1	960 SF			2	-1	
3RD FLOOR TOTALS			22,143 SF			54	23,021 SF		478	102	-8	



EXIT DISCHARGE CAPACITY (SPRINKLERED)



FIRE PROTECTION & ALARM DEVICES (906 - 908)



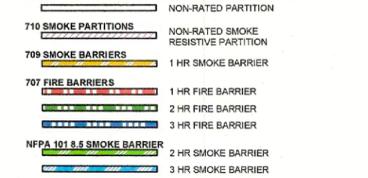
EXIT / EGRESS SYMBOLS



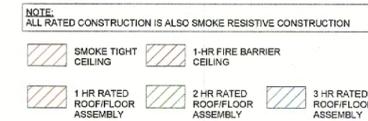
TRAVEL DISTANCE LIMITATIONS (NYS BC 2020)



PARTITION DESIGNATIONS (705-710)



HORIZONTAL ASSEMBLIES (711)



LIFE SAFETY GENERAL NOTES

- FIRE EXTINGUISHER CABINETS SHALL BE LOCATED SO THAT THE MAXIMUM TRAVEL DISTANCE SHALL NOT EXCEED 75'-0" (906.3)
- MINIMUM EGRESS WIDTH PER OCCUPANT AT STAIRS = 0.3' PER OCCUPANT (1006.3.1). MINIMUM EGRESS WIDTH PER OCCUPANT AT OTHER EGRESS COMPONENTS = 0.2' PER OCCUPANT. (1006.3.2)
- A FIRE RATED ASSEMBLY AND SMOKE BARRIER ASSEMBLY SHALL BE STENCILED WITH THE RELEVANT DESIGNATION AS FOLLOWS (703.7):
 - 3-INCH TALL LETTERS IN RED INK OR PAINT.
 - APPLIED AT ALL CONCEALED LOCATIONS (EG. ABOVE CEILING AND INSIDE ELEVATOR SHAFTS) @ 6'-0" OC MAX.

LIFE SAFETY PROJECT NOTES

- WALL RATINGS SHOWN ARE BASED ON CONSTRUCTION DESIGN. DOOR RATINGS ARE NOT REQUIRED UNLESS SPECIFICALLY NOTED. REF TO DOOR SCHEDULE

EGRESS PATH DISTANCES

Path Designation	TYPE	PATH OF EGRESS
EXIT PATH F1		
EXIT PATH F1' COMMON PATH OF EGRESS TRAVEL		54'-6"
EXIT PATH F1' EXIT ACCESS TRAVEL DISTANCE		148'-10"
EXIT PATH F2		
EXIT PATH F2' COMMON PATH OF EGRESS TRAVEL		54'-6"
EXIT PATH F2' EXIT ACCESS TRAVEL DISTANCE		191'-3"
		245'-9"

NYS BC 2020 - DESIGN OCCUPANT LOAD (1004.1)

NAME	OCCUPANCY	FUNCTION OF SPACE (TABLE 1004.2)	PROPOSED OCCUPANCY	AREA	OCC LOAD FACTOR	GROSS / NET	OCCUPANTS	AREA	OCC LOAD FACTOR	GROSS / NET	OCCUPANTS	VARIANCE	NOTES
4TH FLOOR													
N/A													
CORRIDOR	N/A	CIRCULATION		2,577 SF	0	N/A	0	1,531 SF	0	N/A	0	0	Public Spaces
ELEVATOR LOBBY	N/A	CIRCULATION		321 SF	0	N/A	0	281 SF	0	N/A	0	0	Public Spaces
STAIR	N/A	CIRCULATION		507 SF	0	N/A	0	500 SF	0	N/A	0	0	Public Spaces
R-1													
QUEST ROOM	R-1	RESIDENTIAL		17,831 SF	200	SF GROSS	80	18,918 SF	200	SF GROSS	100	-10	Hotel Guest Only
LINE	R-1	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM		203 SF	300	SF GROSS	1	211 SF	300	SF GROSS	1	0	Hotel Staff Only
S-2 (LOW HAZARD)													
STORAGE	S-2 (LOW HAZARD)	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM		197 SF	300	SF GROSS	1	560 SF	300	SF GROSS	2	-1	Hotel Staff Only
4TH FLOOR TOTALS													
				21,828 SF			92	23,821 SF			162	-10	



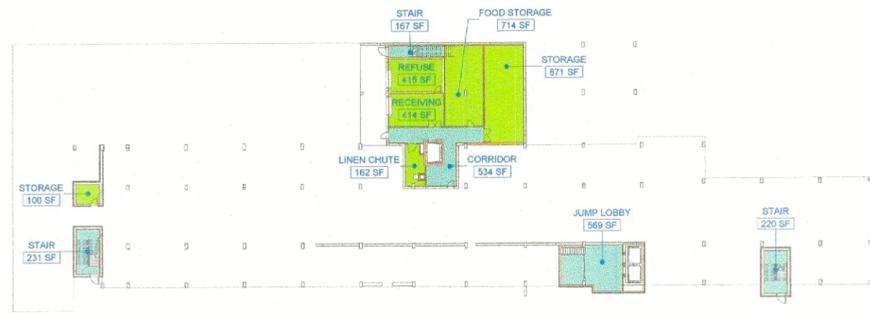
56" STAIR WIDTH PROVIDED AT EACH RUN
INTERNAL EGRESS STAIR 01
ANTICIPATED LOAD = 117
LOAD CAPACITY = 160

56" STAIR WIDTH PROVIDED AT EACH RUN
INTERNAL EGRESS STAIR 01
ANTICIPATED LOAD = 117
LOAD CAPACITY = 160



BUILDING AREA LEGEND

- A-2
- A-3
- B
- N/A
- R-1
- S-2 (LOW HAZARD)



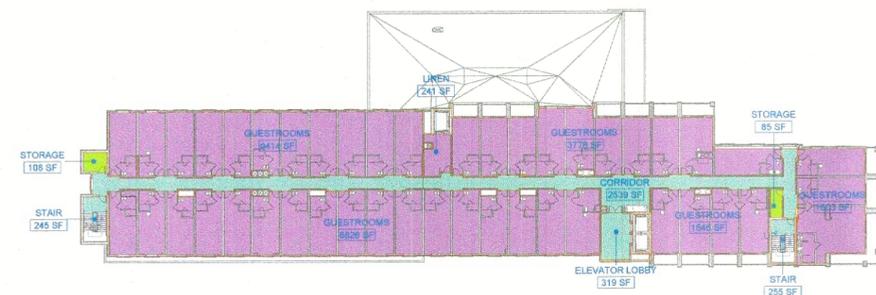
6E FUNCTION OF SPACE - GROUND LEVEL

SCALE: 1/32" = 1'-0" DRAWING REF: A201



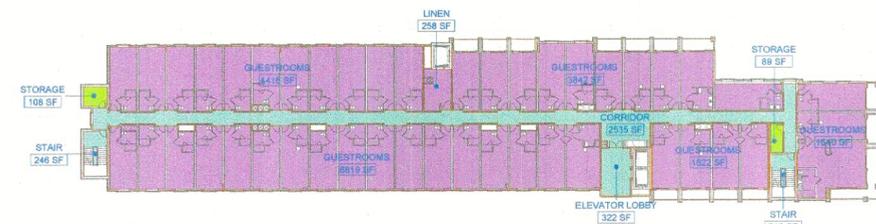
6D FUNCTION OF SPACE - 1ST FLOOR

SCALE: 1/32" = 1'-0" DRAWING REF: A201



6C FUNCTION OF SPACE - 2ND FLOOR

SCALE: 1/32" = 1'-0" DRAWING REF: A201



6B FUNCTION OF SPACE - 3RD FLOOR

SCALE: 1/32" = 1'-0" DRAWING REF: A201



6A FUNCTION OF SPACE - 4TH FLOOR

SCALE: 1/32" = 1'-0" DRAWING REF: A201



3A FUNCTION OF SPACE - PENTHOUSE

SCALE: 1/32" = 1'-0" DRAWING REF: A203

NYS BC 2020 - DESIGN OCCUPANT LOAD (1004.1)

NAME	OCCUPANCY CLASSIFICATION (202)	FUNCTION OF SPACE (TABLE 1004.5)	OCCUPANT LOAD (1004)			MAX OCCUPANTS PER ZONING
			AREA	OCC LOAD FACTOR	GROSS / NET	
GROUND LEVEL						
N/A						
CORRIDOR	N/A	CIRCULATION	534 SF	0	N/A	0
JUMP LOBBY	N/A	CIRCULATION	569 SF	0	N/A	0
STAIR	N/A	CIRCULATION	818 SF	0	N/A	0
			1721 SF			0
S-2 (LOW HAZARD)						
FOOD STORAGE	S-2 (LOW HAZARD)	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	714 SF	300	SF GROSS	3
LINEN CHUTE	S-2 (LOW HAZARD)	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	162 SF	300	SF GROSS	2
RECEPTION	S-2 (LOW HAZARD)	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	419 SF	300	SF GROSS	2
REFUSE	S-2 (LOW HAZARD)	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	415 SF	300	SF GROSS	2
STAIR	S-2 (LOW HAZARD)	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	971 SF	300	SF GROSS	5
			2675 SF			13
			4396 SF			13
1ST FLOOR						
A-2						
OUTDOOR DINING	A-2	ASSEMBLY WITHOUT FIXED SEATS - UNCONCENTRATED (TABLES & CHAIRS)	702 SF	15	SF NET	47
RESTAURANT	A-2	ASSEMBLY WITHOUT FIXED SEATS - UNCONCENTRATED (TABLES & CHAIRS)	2311 SF	15	SF NET	155
			3013 SF			202
A-3						
BRIDAL PREP	A-3	ASSEMBLY WITHOUT FIXED SEATS - UNCONCENTRATED (TABLES & CHAIRS)	243 SF	15	SF NET	17
CEREMONY	A-3	ASSEMBLY WITHOUT FIXED SEATS - UNCONCENTRATED (TABLES & CHAIRS)	159 SF	15	SF NET	108
EVENT SPACE	A-3	ASSEMBLY WITHOUT FIXED SEATS - UNCONCENTRATED (TABLES & CHAIRS)	200 SF	15	SF NET	246
LOBBY	A-3	ASSEMBLY WITHOUT FIXED SEATS - UNCONCENTRATED (TABLES & CHAIRS)	2173 SF	15	SF NET	145
MARKET	A-3	ASSEMBLY WITHOUT FIXED SEATS - UNCONCENTRATED (TABLES & CHAIRS)	135 SF	15	SF NET	9
			8153 SF			545
B						
BAR	B	BUSINESS	360 SF	150	SF GROSS	3
FITNESS	B	EXERCISE ROOMS	1535 SF	50	SF GROSS	31
KITCHEN	B	KITCHENS, COMMERCIAL	2149 SF	200	SF GROSS	11
MEP	B	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	102 SF	300	SF GROSS	1
OFFICES	B	BUSINESS	1224 SF	150	SF GROSS	9
			5371 SF			55
N/A						
CORRIDOR	N/A	CIRCULATION	515 SF	0	N/A	0
CORRIDOR	N/A	CIRCULATION	2786 SF	0	N/A	0
MEN'S	N/A	RESTROOM	372 SF	0	N/A	0
PRE-FUNCTION	N/A	CIRCULATION	3013 SF	0	N/A	0
RESTROOM	N/A	RESTROOM	144 SF	0	N/A	0
STAIR	N/A	CIRCULATION	858 SF	0	N/A	0
WOMEN'S	N/A	RESTROOM	389 SF	0	N/A	0
			7886 SF			0
R-1						
GUESTROOMS	R-1	RESIDENTIAL	2111 SF	200	SF GROSS	11
			2111 SF			11
S-2 (LOW HAZARD)						
COATS	S-2 (LOW HAZARD)	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	138 SF	300	SF GROSS	1
ELECTRICAL	S-2 (LOW HAZARD)	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	453 SF	300	SF GROSS	2
FIRE PUMP	S-2 (LOW HAZARD)	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	205 SF	300	SF GROSS	1
HOUSEKEEPING	S-2 (LOW HAZARD)	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	284 SF	300	SF GROSS	1
LUGGAGE	S-2 (LOW HAZARD)	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	47 SF	300	SF GROSS	1
STAIR	S-2 (LOW HAZARD)	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	766 SF	300	SF GROSS	5
WATER ROOM	S-2 (LOW HAZARD)	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	245 SF	300	SF GROSS	1
			2142 SF			12
			28645 SF			825
2ND FLOOR						
N/A						
CORRIDOR	N/A	CIRCULATION	2539 SF	0	N/A	0
ELEVATOR LOBBY	N/A	CIRCULATION	319 SF	0	N/A	0
STAIR	N/A	CIRCULATION	500 SF	0	N/A	0
			3358 SF			0
R-1						
GUESTROOMS	R-1	RESIDENTIAL	18266 SF	200	SF GROSS	92
LINEN	R-1	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	241 SF	300	SF GROSS	1
			18507 SF			93
S-2 (LOW HAZARD)						
STAIR	S-2 (LOW HAZARD)	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	194 SF	300	SF GROSS	2
			194 SF			2
			22059 SF			95
3RD FLOOR						
N/A						
CORRIDOR	N/A	CIRCULATION	2535 SF	0	N/A	0
ELEVATOR LOBBY	N/A	CIRCULATION	322 SF	0	N/A	0
STAIR	N/A	CIRCULATION	492 SF	0	N/A	0
			3348 SF			0
R-1						
GUESTROOMS	R-1	RESIDENTIAL	18338 SF	200	SF GROSS	92
LINEN	R-1	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	248 SF	300	SF GROSS	1
			18587 SF			93
S-2 (LOW HAZARD)						
STAIR	S-2 (LOW HAZARD)	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	197 SF	300	SF GROSS	2
			197 SF			2
			22143 SF			95
4TH FLOOR						
N/A						
CORRIDOR	N/A	CIRCULATION	2577 SF	0	N/A	0
ELEVATOR LOBBY	N/A	CIRCULATION	321 SF	0	N/A	0
STAIR	N/A	CIRCULATION	507 SF	0	N/A	0
			3404 SF			0
R-1						
GUESTROOMS	R-1	RESIDENTIAL	17931 SF	200	SF GROSS	90
LINEN	R-1	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	293 SF	300	SF GROSS	1
			18224 SF			91
S-2 (LOW HAZARD)						
STAIR	S-2 (LOW HAZARD)	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	197 SF	300	SF GROSS	2
			197 SF			2
			21825 SF			93
MAIN ROOF						
A-3						
BREAKROOM	A-3	ASSEMBLY WITHOUT FIXED SEATS - UNCONCENTRATED (TABLES & CHAIRS)	646 SF	15	SF NET	45
FLEX	A-3	ASSEMBLY WITHOUT FIXED SEATS - UNCONCENTRATED (TABLES & CHAIRS)	818 SF	15	SF NET	53
OBSERVATORY	A-3	ASSEMBLY WITHOUT FIXED SEATS - UNCONCENTRATED (TABLES & CHAIRS)	1761 SF	15	SF NET	119
SPEAKEASY	A-3	ASSEMBLY WITHOUT FIXED SEATS - UNCONCENTRATED (TABLES & CHAIRS)	846 SF	15	SF NET	57
TERRACE	A-3	ASSEMBLY WITHOUT FIXED SEATS - UNCONCENTRATED (TABLES & CHAIRS)	229 SF	15	SF NET	20
			4385 SF			284
B						
BAR	B	BUSINESS	277 SF	150	SF GROSS	3
ENGINEER	B	BUSINESS	559 SF	150	SF GROSS	3
FOOD PREP	B	KITCHENS, COMMERCIAL	509 SF	200	SF GROSS	3
NURSING	B	BUSINESS	160 SF	150	SF GROSS	2
			1505 SF			11
N/A						
CORRIDOR	N/A	CIRCULATION	2833 SF	0	N/A	0
MEN'S	N/A	RESTROOM	183 SF	0	N/A	0
STAIR	N/A	CIRCULATION	265 SF	0	N/A	0
WOMEN'S	N/A	RESTROOM	189 SF	0	N/A	0
			3481 SF			0
R-1						
GUESTROOMS	R-1	RESIDENTIAL	2195 SF	200	SF GROSS	11
			2195 SF			11
S-2 (LOW HAZARD)						
MEP	S-2 (LOW HAZARD)	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	332 SF	300	SF GROSS	2
STAIR	S-2 (LOW HAZARD)	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	847 SF	300	SF GROSS	6
			1179 SF			10
			12744 SF			326
			11813 SF			1447
Grand total: 104						

BASKERVILL, P. C. BOX 400, RICHMOND, VA 23218-0400



11/10/2025

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PROJECT NUMBER
2.240561.0

TAPESTRY
FREEPORT

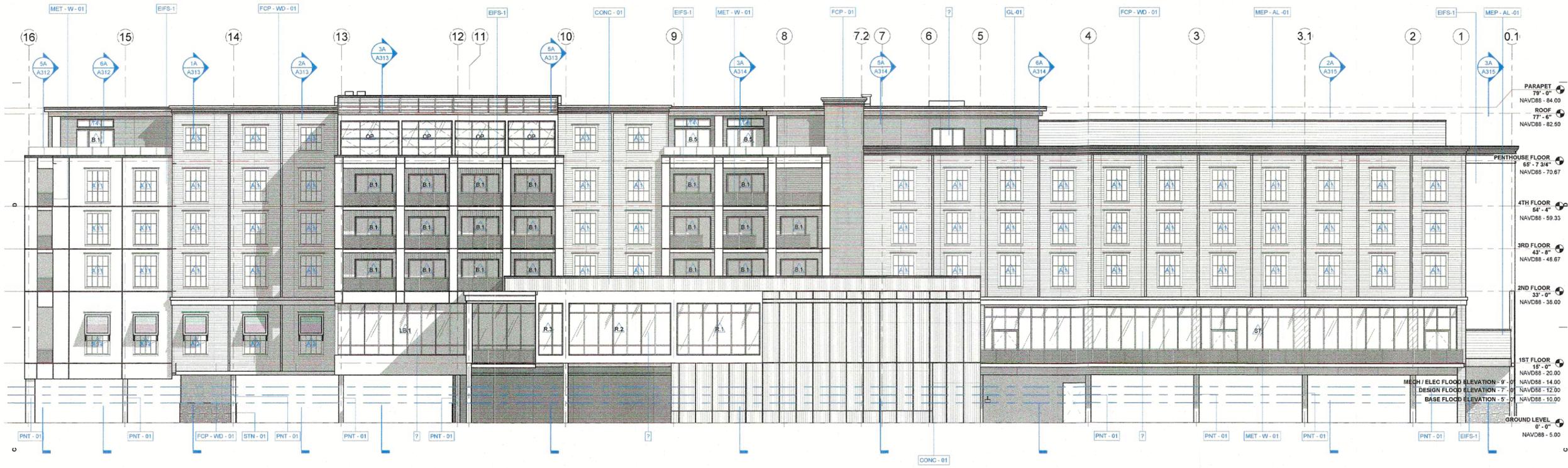
435 WOODCLEFT AVE, FREEPORT, N. Y. 11520

ISSUE
07/11/2025 -
DESIGN DEVELOPMENT

OCCUPANCY
CALCULATIONS
G101

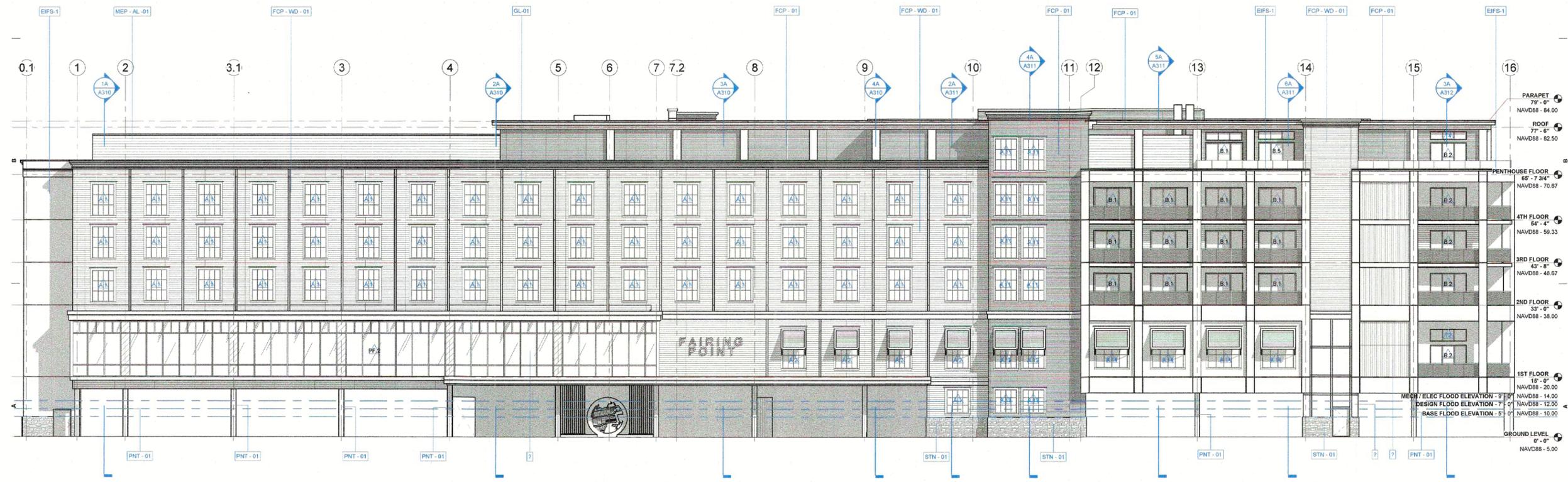
EXTERIOR FINISH LEGEND

FINISH NO.	MATERIAL CATEGORY	MATERIAL	MANUFACTURER	STYLE NAME / NO.	COLOR
CONC-01	CONCRETE	CAST CONCRETE FORMWORK			
EIFS-01	EXTERIOR INSULATION FINISH SYSTEM	STOTHERM CI	STO		SW 7006 - EXTRA WHITE
FCP-01	FIBER CEMENT PANEL	FIBER CEMENT PANEL	NICHHA	RIBBED	INDIGO
FCP-WD-01	FIBER CEMENT PANEL	FIBER CEMENT PANEL	NICHHA	VINTAGEWOOD	SPRUCE
GL-01	GLASS	GLASS			LOW-E SEMI REFLECTIVE GLASS WITH BLUE/GREEN TINT
MET-W-01	METAL	ARCHITECTURAL METAL WIRE MESH			TBD
AL-01	METAL/ALUMINIUM	METAL/ALUMINIUM			BLACK (RAL 9005)
MEP-AL-01	METAL/ALUMINIUM	MEP SCREEN - METAL/ALUMINIUM			BLACK (RAL 9005)
PNT-01	PAINT	PAINT			BLACK (RAL 9005)
STN-01	STONE	STONE			TBD



6C ELEVATION - NORTH
SCALE: 3/32" = 1'-0"

BASKERVILL, P.O. BOX 400, RICHMOND, VA 23216-0400



6A ELEVATION - SOUTH
SCALE: 3/32" = 1'-0"



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PROJECT NUMBER
2.240561.0

TAPESTRY FREEPORT
435 WOODCLEFT AVE, FREEPORT, N.Y. 11520

ISSUE
07/11/2025 - DESIGN DEVELOPMENT

EXTERIOR ELEVATIONS BW - NORTH & SOUTH
A201

EXTERIOR FINISH LEGEND

FINISH NO.	MATERIAL CATEGORY	MATERIAL	MANUFACTURER	STYLE NAME / NO.	COLOR
CONC-01	CONCRETE	CAST CONCRETE FORMWORK			
EIFS-01	EXTERIOR INSULATION FINISH SYSTEM	STOTHELM CI	STO		SW 7006 - EXTRA WHITE
FCP-01	FIBER CEMENT PANEL	FIBER CEMENT PANEL	NICHHA	RIBBED	INDIGO
FCP-WD-01	FIBER CEMENT PANEL	FIBER CEMENT PANEL	NICHHA	VINTAGEWOOD	SPRUCE
GL-01	GLASS	GLASS			LOW-E SEMI REFLECTIVE GLASS WITH BLUE/GREEN TINT
MET-W-01	METAL	ARCHITECTURAL METAL WIRE MESH			TBD
AL-01	METAL ALUMINUM	METAL ALUMINUM			BLACK (RAL 9005)
MEP-AL-01	METAL ALUMINUM	MEP SCREEN - METAL ALUMINUM			BLACK (RAL 9005)
PNT-01	PAINT	PAINT			BLACK (RAL 9005)
STN-01	STONE	STONE			TBD

BASKERVILL, P.O. BOX 400, RICHMOND, VA 23218-0400



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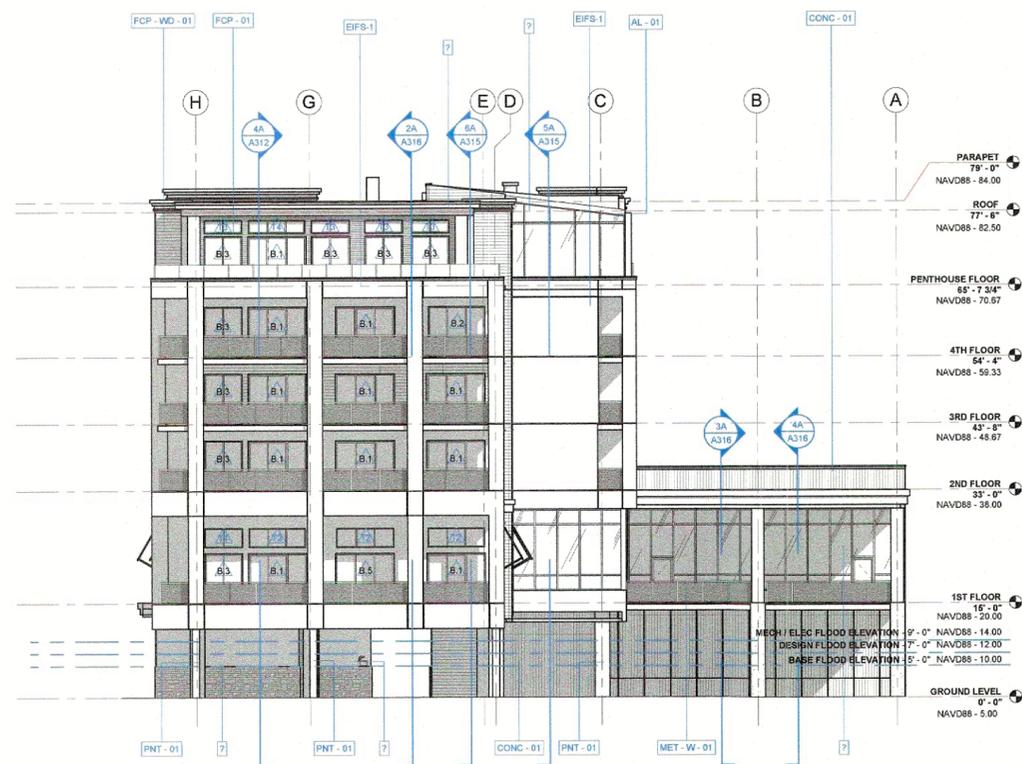
PROJECT NUMBER
2.240561.0

TAPESTRY FREEPORT

435 WOODCLEFT AVE. FREEPORT, N.Y. 11520

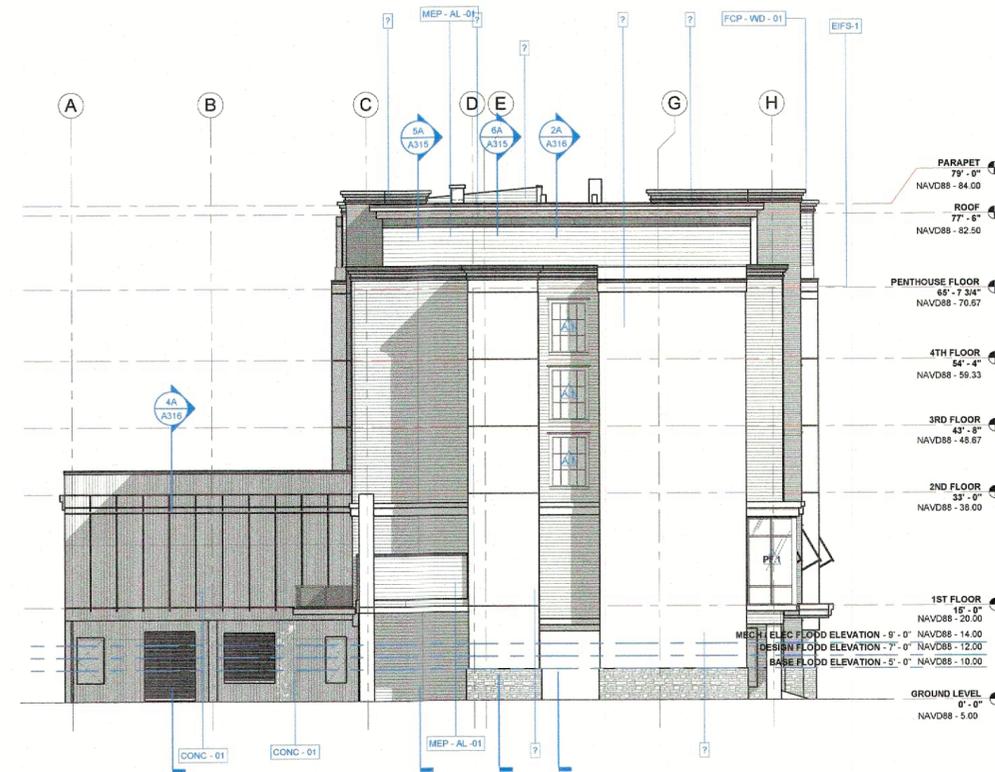
ISSUE
**07/11/2025 -
DESIGN DEVELOPMENT**

**EXTERIOR ELEVATIONS BW
- WEST & EAST
A202**



6A ELEVATION EAST

SCALE: 3/32" = 1'-0" DRAWING REF: A110.2



3A ELEVATION - WEST

SCALE: 3/32" = 1'-0" DRAWING REF: A110.1



SEC. 62 BLK. 88 LOT. 1

BOARD OF APPEALS OF THE VILLAGE OF FREEPORT

In the Matter
Of
the Application of

120 Sportsman Ave, Freeport NY 11520
To The Board of Appeals of the Village of Freeport, New York

Index No. _____

COMPLY WITH ORIGINAL NOTES

The application of Ocean Builders Corp
respectfully states and alleges:

Strike out inapplicable phrase

1. That the applicant (~~resides at~~) (has its principal office for the conducting of its business at)
90 Concourse East, Brightwaters NY
11718

State whether applicant is owner, lessee, or has option or contract. If other than owner, state briefly terms of agreement.

2. That the premises affected by this application is located at Land Map of Nassau County
120 Sportsman Ave Sec. 62 Blk. 88 Lot(s) 1
and that the interest which the applicant has in the property concerned is that of Erection Single Family Dwelling 3 Story

RECEIVED
2025 OCT -3 A 11:56
PLANNING DEPT
VILLAGE OF FREEPORT NY

3. That (the applicant) (the ~~applicant's~~ duly authorized Mark Seglman) on or about the 1 day of May 2025, filed in the office of the Department of Buildings of the Village of Freeport, New York, an application for a Building Permit. Documents filed with said application were as follows:

Application for Erection of Building /
Short Environment Assessment form

Obtain reason for denial from Department of Buildings.

4. That on or about the 21 day of July, 2025, the Department of Buildings denied said application; upon information and belief that the reason for said denial was as follows:
lot area, Street Frontage, lot width
210-6A 210-40 210-41 210-43A

Describe by construction and number of stories. If none, so state.

5. That the nature of the improvements now upon said premises is as follows:
Vacant land to be used as a Single Family Dwelling 3 Stories

State nature of use of property. If a business, give brief description.

6. That said premises are now being used as follows: Vacant land

Describe fully and clearly the use desired.

7. That the applicant seeks authority to make use of said premises as follows: to Erect Single Family Dwelling 3 Story

Strike out whichever word is not applicable. Follow language in ordinance.

8. Upon information and belief that a (permit) (variance) for such use may be granted by this Board by virtue of the following sections of the said Zoning Code of The Village of Freeport or statutes of the State of New York 210-6A 210-40 210-41 210-43A

Refer where possible to paragraphs and section by numbers.

9. That the following is a statement of other factual information deemed pertinent by the applicant. If the application involves a subdivision of property, describe the existing property:
Single + Separate

If more space is needed annex statement on separate sheet and refer to it here with following words: "See annexed statement which is made a part hereof." Save opinions for the hearing.

10. That the grounds for this application are as follows: Requested Set Back Relaxations seem to conform to existing property back in Neighborhood

11. That any deed restrictions running with the land prohibiting the desired use are as follows: _____

12. That (the applicant has made no previous application to this Board for the authority sought herein) (upon information and belief a previous application was made for the same or similar authority sought herein and denied by this Board, but that this application contains facts not alleged or shown in any previous preceding before this Board).

WHEREFORE, the applicant respectfully prays that the authority sought herein be granted.

Dated: July 22nd, 20 25

BY: Mark Sogliano
ITS: President

Marie Jaffary
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 011JA6298
Qualified in Suffolk County
Commission Expires November 2025

State of New York)
County of Nassau) ss:

The applicant Mark Sogliano named in the foregoing application, being duly sworn, depose and say that I read the foregoing application subscribed by me and know the contents thereof; and that the same is true to my own knowledge except as to the matters therein stated to be alleged on information and belief, and that as to those matters I believe this to be true.

Sworn to before me this 22 day
of July, 20 25
Notary Public Marie

Mark Sogliano
Signature of Applicant

Notice
Conflict of Interest

I have read Section 809 of the General Municipal Law concerning disclosure of and conflict of interest and hereby certify that there are no conflicts in respect to this application requiring disclosure.

July 22nd, 20 25
Date Year

Marie
Signature

Affidavit of Owner

To be completed only if the owner is not the applicant.

North Carolina
State of ~~New York~~)
County of ~~Nassau~~) ss: Mecklenburg

I Joseph Camilleri being duly sworn, depose and say:
That he (the owner of Joseph Camilleri) (is the OWNER of
120 Sportsman Ave the property concerned is correct to the best of the knowledge of
deponent Joseph Camilleri.)

That the owner Joseph Camilleri consents to the granting of the authority sought in the above application.

Sworn to before me this 24th day
of September 20 25

Notary Public Zil A Shah

Zil A Shah
Signature



REVISED 2/2017

MAJ's ADDRESS

Mr Joseph Camilleri
2600 Kirkholm Dr
Matthews, NC 28105

2600 Kirkholm Drive
Matthews, NC 28105



INC. VILLAGE OF FREEPORT

Department of Buildings

46 NORTH OCEAN AVENUE
FREEPORT, NEW YORK 11520
(516) 377-2242
FAX (516) 377-2493

ROBERT T. KENNEDY
MAYOR

E-MAIL BUILDINGDEPT@FREEPORTNY.GOV

SERGIO A. MAURAS
SUPERINTENDENT OF BUILDINGS

LETTER OF DENIAL

September 15, 2025

Ocean Builders Corp
120 Sportsmans Ave
Freeport, NY 11520

RE: 120 Sportsmans Ave Freeport, NY 11520

Zoning District – Residence A Sec. 62 Blk. 088. Lot 1

Building Permit Application #20254210

Description: Erection of 2,434 sf 3-story 1-family dwelling.

Dear Sir/Madam:

Please be advised that the above captioned Building Permit Application must be denied for the following reason(s):

Village Ordinance §210-6A. No building or land shall hereafter be used or occupied and no building or part thereof shall be erected, moved or altered unless in conformity with the regulations herein specified for the district in which it is located.

Village Ordinance §210-40. Lot area; street frontage; lot width.

No building shall be erected on a lot whose area is less than 5,000 square feet on any lot which has a street frontage of less than 50 feet and on any lot whose width is less than 50 feet at a point between the side lines from the front property line to the rear building line of the proposed structure. According to the plans, the lot is 3,750 square feet and you will be seeking a variance of 1,250 square feet.

Village Ordinance §210-41. Lot coverage; floor area ratio.

The principal building on any lot shall not cover more than 30% of the lot area, and no more than an additional 10% of the total area of the lot may be used for the erection of an accessory building(s) and/or detached garage with the aggregate maximum lot coverage of said accessory building(s) and/or detached garage to be limited to a maximum of 500 square feet, and no more than an additional 5% of the total area of the lot may be used for the erection of an unenclosed porch with the aggregate maximum lot coverage of said porch to be limited to a maximum of 250 square feet. According to the plans the lot coverage is 44.93% when only 30% is permitted. You will be seeking a variance of 14.93%. The floor area of the principal building shall not exceed a floor area ratio of 50% of the lot area. According to the plans submitted the building covers 64.91% of the lot area. You will be seeking a variance of 14.91%

Village Ordinance §210-43. Required yards.

A. Yards of the following depths or widths shall be provided for the principal building on the lot:

(1) Front yard depth: minimum 20 feet or the average depth of all residential front yards on the same side of the street within 200 feet in either direction, whichever is greater, but in no case more than 40 feet. According to plans submitted the front yard with the portico is 8.3 feet. You will be seeking a variance of 11.7 feet.

(2) Rear yard depth: minimum 20 feet or 20% of the lot depth, whichever is greater, with the exception that for lots abutting canals and other navigable bodies of water, the rear yard depth shall equal the average depths of all residential rear yards abutting the water on the same side of the canal or navigable body of water within 200 feet in either direction or 20 feet measured landwards of the average line of the bulkhead, whichever is greater, or, if no bulkhead exists, measured 20 feet landwards of the rear property line, whichever is greater. According to the plans submitted the rear setback is 3 feet away from the property line. You will be seeking a variance of 17 feet.

For your convenience, we have enclosed the instructions, application, Building Department letters/documents, the Environmental Assessment form, and the Negative Declaration page pertaining to your building application. Please call the **Village Clerk's Office at 516-377-2202** to make an appointment, during normal business hours, to review the completed application. Changes or additional information may be required for the application; therefore, only **ONE** complete package of the twelve (12) sets should be brought in for the initial appointment with the Clerk's office. **Only after this initial appointment should the additional copies be made.**

Be further advised that you must submit an application to the Zoning Board of Appeals within sixty (60) days of the date of this letter. In the event that you do not file an application within the allotted sixty (60) days, this letter will expire and the Building Permit Application in conjunction with same will be cancelled. Subsequently, a new Building Permit Application and filing fees will be required.

If you should have any questions or require any additional information with reference to the Zoning Board of Appeals Application, please call the **VILLAGE CLERK'S OFFICE** at 377-2202

Very truly yours,

Sergio A. Mauras

Sergio A. Mauras

Superintendent of Buildings

Daniela Hernandez/ Plans examiner

SITE PLAN APPROVAL NEEDED: YES

VILLAGE OF FREEPORT
Department of Buildings
Recommendation

Notice

X Negative Declaration

Positive Declaration

In accordance with Section 8-0113, Article 8 of the New York Environmental Conservation Law and Chapter 110 of the Village Code, this Department has conducted an initial review to determine whether the following project may have a significant effect on the environment and on the basis of that review hereby finds:

X The proposed project will not have a significant effect on the environment and therefore does not require the preparation of an Environmental Impact Statement.

— The proposed project may have a significant effect on the environment and therefore requires the preparation of an Environmental Impact Statement.
(See reasons below)

Project:

Building Permit App. 20254210

Location: 120 Sportsmans Ave, Freeport NY 11520

Applicant: Ocean Builders Corp

Description: Erection of 2,434 sf 3-story 1-family dwelling.

Lead Agency: Department of Buildings
for the Board of Trustees
Village of Freeport
46 North Ocean Avenue, Freeport, NY

Agency Contact Person:
Superintendent of Buildings
(516) 377-2242

REASON(S) FOR DETERMINATION

This finding is based upon Section 617.10 of Article of the New York Environmental Conservation Law, the criteria for determining what actions may have a significant effect on the environment, as follows:

A) _____

B) Possible environment effects identified:
(only if positive determination)

Dated: September 15, 2025

Sergio A. Mauras
Sergio A. Mauras
Superintendent of Buildings

IMPORTANT: This declaration and supporting attachments are open for inspection and public response at the office of the Superintendent of Buildings.

DEPARTMENT OF BUILDINGS

OF THE VILLAGE OF FREEPORT, N.Y.

APPLICATION NO. 20254210
 Filing Date 5/1/25

Application for Erection of Buildings or Alterations

IMPORTANT - Applicant to complete all items in sections: I, II, III, IV, V

I. LOCATION OF BUILDING

AT (LOCATION) 120 SPORTSMANS AVE ZONING DISTRICT RES A
 (No.) (Street)

BETWEEN RAY STREET AND _____
 (Cross Street) (Cross Street)

SECTION 62 BLOCK 88 LOT 1 ZPRDX. DT SIZE 75 K 50 LOT AREA 3750

II. TYPE AND COST OF BUILDING - All applicants complete Parts A - D.

A. TYPE OF IMPROVEMENT

1 New Building
 2 Addition-Alteration (if residential, enter number of new housing units added. If none-state none)
 3 Swimming Pool
 4 Repair (replacement)
 5 Sashhood (New, Repair)
 6 Fence
 7 Moving (relocation)

B. PROPOSED OR EXISTING USE

RESIDENTIAL

11 One Family
 12 Two families
 13 Apartment - Enter No. of Units _____
 14 Transient hotel, motel, or dormitory - Enter No. of Units _____
 15 Garage or Accessory Structure
 16 Other - Specify _____

NON RESIDENTIAL - Complete Part "E"

17 Industrial
 18 Office, bank, professional
 19 Store, mercantile
 20 Church, other religious
 21 Hospital, institutional
 22 Other - Specify _____

C. COST

10 TOTAL COST OF IMPROVEMENT \$ 275K-400K

D. DESCRIPTION OF PROJECT

Extension of 2434 sq ft Single Family Residential Dwelling

III. IDENTIFICATION - To be completed by all applicants:

	NAME	MAILING ADDRESS - Number, street, city and state, Zip	TEL. NO.
1. Owner or Lessee	<u>Ocean Builders Corp</u>	<u>90 CONCOURSE EAST BRIGHTWATER NY 11718</u>	<u>631-767-1212</u>
2. Contractor	<u>JB BENSON CONSTRUCTION INC</u>	<u>365 WOODLAND DRIVE BRIGHTWATERS NY 11718</u>	<u>316 641-6000</u>
3. Architect or Engineer	<u>CHARLES S BRUDI</u>	<u>30 BETHESDA LANE SAYVILLE NY 11782</u>	<u>631-244-9338</u>

IV. OWNER - CONTRACTOR STATEMENT

Building permit is issued subject to the provisions of Section 67 of the Workmen's Compensation Law.
 Workmen's Compensation Certificate No. 353546 Company NYSIF Exp. Date 5/15/26

Contractor or Owner JB BENSON CONST INC
 (Print)
 Address 365 WOODLAND DRIVE
 Phone BRIGHTWATERS NY 11718

State of New York
 County of Nassau
MARK SAGLIOLCA being duly sworn, says that HE is the contractor or owner of the above mentioned building. That the terms of the above application also the estimated cost of said building or alteration, is correct to the best of HIS knowledge and belief and agrees to conform to all applicable laws of this jurisdiction.
 Sworn to before me this 26th day of April, 2025
Mark Notary Public, County, N.Y. MSJ (Applicant Signature)

V. FLOOD ZONE

IS PROJECT LOCATED WITHIN A DESIGNATED FLOOD HAZARD ZONE?
 YES NO
 IF YES, WHICH ZONE? AE-8

IS PROJECT TO REPAIR FLOOD DAMAGE?
 YES NO

PROJECT DESCRIPTION

Total/First Flr Square Feet 1236
 Upper Flr Square Feet 1198
 # of Fixtures 11
 # of Floors 2
 Occup. Type Single FAM

VI. VALIDATION (Official Use Only)

Building Permit Number _____
 Building Permit Issued _____
 Building Permit Fee \$ _____

Approved by: _____
 Superintendent of Buildings

MARIE JAFFARY
 NOTARY PUBLIC, STATE OF NEW YORK
 Registration No. 01JA6250950
 Qualified in Suffolk County
 Commission Expires November 07, 2027

617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information							
Name of Action or Project: <i>Ocean Builders Corp</i>							
Project Location (describe, and attach a location map): <i>Erection of New Single Family Dwelling 3 Story</i>							
Brief Description of Proposed Action: <i>120 Sportsmans Ave, Freeport NY 11520</i>							
Brief Description of Proposed Action: <i>Erection of 4 Bed 2.5 Bth New Single Family Dwelling 3 Story</i>							
Name of Applicant or Sponsor: <i>Ocean Builders</i>		Telephone: <i>631-767-1212</i>					
		E-Mail: <i>VF@WestGateNY.com</i>					
Address: <i>90 Concourse East</i>							
City/PO: <i>Brightwaters NY 11718</i>		State: <i>NY</i>	Zip Code: <i>11718</i>				
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1" style="width:100%; text-align: center;"> <tr> <td>NO</td> <td>YES</td> </tr> <tr> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			<table border="1" style="width:100%; text-align: center;"> <tr> <td>NO</td> <td>YES</td> </tr> <tr> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
3.a. Total acreage of the site of the proposed action?		<i>.09</i> acres					
b. Total acreage to be physically disturbed?		<i>.05</i> acres					
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		<i>.09</i> acres					
4. Check all land uses that occur on, adjoining and near the proposed action.							
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland							

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing potable water: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES] If No, describe method for providing wastewater treatment: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO	YES	
<input type="checkbox"/>	<input checked="" type="checkbox"/>		
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>		

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>Ocean Builders By: MARK SAGI</u> Date: <u>4/26/25</u>		
Signature: _____		

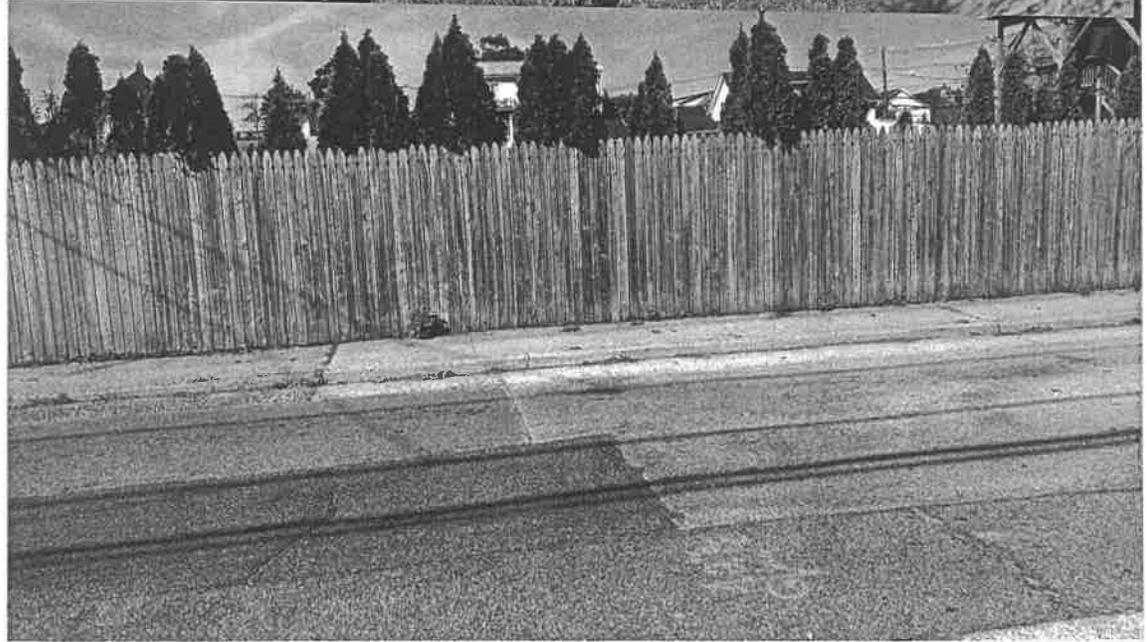
Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:		
a. public / private water supplies?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

MAY 1 2025	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)



GENERAL NOTES

- THE MECHANICAL SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH CHAPTERS 12-24 OF THE 2020 N.Y.S. CODE.
- THE PLUMBING SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH CHAPTERS 25-32 OF THE 2020 N.Y.S. CODE.
- ELECTRICAL EQUIPMENT AND WIRING SHALL BE INSTALLED IN ACCORDANCE WITH CHAPTERS 33-42 OF THE 2020 N.Y.S. CODE.
- EXTERIOR WINDOWS AND GLASS DOORS SHALL BE INSTALLED IN ACCORDANCE WITH SECTION R613.5. ALL GLAZING IS TO COMPLY WITH SECTION R308.
- IN ACCORDANCE WITH SECTION R306, ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH A MEANS TO ILLUMINATE THE STAIRS, INCLUDING LANDINGS AND TREADS.
- IN ACCORDANCE WITH SECTION R807.1, AN ATTIC ACCESS OPENING SHALL BE PROVIDED TO ATTIC AREAS THAT EXCEED 30 S.F. AND HAVE A VERTICAL HEIGHT OF 30" OR GREATER. THE ROUGH-FRAMED OPENING SHALL NOT BE LESS THAN 22"x30" AND SHALL BE LOCATED IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION.
- IN ALL FRAMED WALLS, FLOORS AND ROOF/CEILINGS COMPRISING ELEMENTS OF THE BUILDING THERMAL ENVELOPE, A MOISTURE VAPOR RETARDER SHALL BE INSTALLED ON THE WARM-IN-WINTER SIDE OF THE INSULATION IN ACCORDANCE WITH SECTION R318.
- WALL AND CEILING FINISHES SHALL HAVE A FLAME-SPREAD CLASSIFICATION OF NOT GREATER THAN 200 AND A SMOKE-DEVELOPED INDEX OF NOT GREATER THAN 450 IN ACCORDANCE WITH SECTION R315.
- INSULATION SHALL HAVE A FLAME-SPREAD INDEX OF NOT GREATER THAN 25 AND A SMOKE-DEVELOPED INDEX OF NOT GREATER THAN 450 IN ACCORDANCE WITH SECTION R316.
- INTERIOR WALL COVERING SHALL BE INSTALLED IN ACCORDANCE WITH SECTION R702 AND EXTERIOR WALL COVERING SHALL BE INSTALLED IN ACCORDANCE WITH SECTION R703.
- ASPHALT SHINGLES SHALL BE INSTALLED IN ACCORDANCE WITH SECTION R905.2.
- IN ACCORDANCE WITH SECTION R321, APPROVED NUMBERS OR ADDRESSES SHALL BE PROVIDED FOR ALL NEW BUILDINGS IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
- STAIRWAYS SHALL BE INSTALLED IN ACCORDANCE WITH SECTION R311.5 AND HANDRAILS SHALL BE PROVIDED IN ACCORDANCE WITH SECTION R311.5.6.

WIND UPLIFT DESIGN

WOOD FRAME CONSTRUCTION MANUAL FOR ONE & TWO FAMILY DWELLINGS (2018 EDITION)

- SECTION 3.2.1.7 SILL PLATE TO FOUNDATION -TABLE 3.2.1.7
- SECTION 3.2.2.3 WALL ASSEMBLY TO FOUNDATION -TABLE 3.40
- SECTION 3.2.2.2 WALL ASSEMBLY TO WALL ASSEMBLY -TABLE 3.4.3.4B
- SECTION 3.2.3.1 HOLD-DOWNS -TABLE 3.17F
- SECTION 3.2.3.4 HEADER AND/OR GIRDER TO STUD -TABLE 3.7
- SECTION 3.2.2.1 ROOF ASSEMBLY TO WALL ASSEMBLY -TABLE 3.4.3.4B
- SECTION 3.2.3.1 RIDGE STRAPS -TABLE 3.6.3.6A

TABLE R507.8 DECK POST HEIGHT

DECK POST SIZE	MAXIMUM HEIGHT*
4"x4"	8'
4"x6"	8'
6"x6"	14'

TABLE 3.4B UPLIFT STRAP CONNECTION REQUIREMENTS (ROOF-TO-WALL, WALL-TO-WALL, AND WALL-TO-FOUNDATION) (PRESCRIPTIVE ALTERNATE TO TABLE 3.4)
TABLE TAKEN FROM WOOD FRAME CONSTRUCTION MANUAL FOR ONE & TWO FAMILY DWELLINGS (2018 EDITION)

DEAD LOAD ASSUMPTION: ROOF / CEILING ASSEMBLY DL = 15 psf										
THREE SECOND GUST WIND SPEED (mph)	110	115	120	130	140	150	160	170	180	195
FRAMING SPACING (in.)	NUMBER OF 8d COMMON NAILS OR 10d BOX NAILS IN EA. END OF 1"x20 GAUGE STRAP 1,2,3,4									
12	1	1	1	1	1	2	2	2	2	3
16	1	1	1	1	2	2	2	2	3	3
20	1	1	1	2	2	2	2	3	3	4
24	1	1	2	2	2	2	3	3	4	4
28	1	1	2	2	2	3	3	4	4	5
32	1	1	2	2	2	3	3	4	4	5
36	1	1	2	2	2	3	3	4	4	5
16	1	1	1	2	2	2	2	3	3	4
20	1	1	1	2	2	2	2	3	3	4
24	1	1	2	2	2	2	3	3	4	4
28	1	2	2	2	2	3	3	4	4	5
32	1	2	2	2	2	3	3	4	4	5
36	2	2	2	2	3	3	4	4	5	6
19.2	1	1	1	2	2	2	2	3	3	4
16	1	1	1	2	2	2	2	3	3	4
20	1	1	1	2	2	2	2	3	3	4
24	1	1	2	2	2	2	3	3	4	4
28	1	2	2	2	2	3	3	4	4	5
32	1	2	2	2	2	3	3	4	4	5
36	2	2	2	2	3	3	4	4	5	6
24	1	1	2	2	2	2	3	3	4	4
16	1	1	1	2	2	2	2	3	3	4
20	1	1	1	2	2	2	2	3	3	4
24	1	1	2	2	2	2	3	3	4	4
28	1	2	2	2	2	3	3	4	4	5
32	1	2	2	2	2	3	3	4	4	5
36	2	2	2	2	3	3	4	4	5	6

- PRESCRIPTIVE LIMITS ARE BASED ON ASSUMPTIONS IN TABLE 3.4.
- TABULATED UPLIFT CONNECTION REQUIREMENTS ASSUME A BUILDING LOCATED IN EXPOSURE B.
- TABULATED UPLIFT CONNECTION REQUIREMENTS ASSUME A ROOF AND CEILING ASSEMBLY DEAD LOAD OF 9 PSF (0.60 x 15 psf = 9 psf). IF A CEILING ASSEMBLY IS NOT PRESENT OR IF THE CEILING ASSEMBLY IS NOT CONNECTED TO THE ROOF ASSEMBLY, THE TABULATED NUMBER OF NAILS SHALL BE INCREASED BY 1 NAIL AT EACH END OF THE STRAP.
- MINIMUM ASTM A653 GRADE 33 STEEL STRAP.

BUILDING PLAN REVIEW NOTE:

BUILDING PLANS EXAMINER SHALL REVIEW THE ENCLOSED DOCUMENT FOR MINIMUM ACCEPTABLE PLAN SUBMITTAL REQUIREMENTS OF THE VILLAGE OF FREEPORT AS SPECIFIED IN THE BUILDING AND / OR 2020 RESIDENTIAL CODE OF THE STATE OF NEW YORK. THIS REVIEW DOES NOT GUARANTEE COMPLIANCE WITH THAT CODE. THE SEAL AND SIGNATURE OF THE DESIGN PROFESSIONAL HAS BEEN INTERPRETED AS AN ATTESTATION THAT, TO THE BEST OF THE LICENSEE'S BELIEF AND INFORMATION, THE WORK IN THE DOCUMENTS IS:

- ACCURATE,
- CONFORMS WITH GOVERNING CODES APPLICABLE AT THE TIME OF SUBMISSION,
- CONFORMS WITH REASONABLE STANDARDS OF PRACTICE AND WITH VIEW TO THE SAFEGUARDING OF LIFE, HEALTH, PROPERTY AND PUBLIC WELFARE,
- IS THE RESPONSIBILITY OF THE LICENSEE.

TABLE R301.2.1.2 WIND-BORNE DEBRIS PROTECTION FASTENING SCHEDULE FOR WOOD STRUCTURAL PANELS a,b,c

FASTENER TYPE	FASTENER SPACING		
	PANEL SPAN < 4 FEET	4 FEET < PANEL SPAN < 6 FEET	6 FEET < PANEL SPAN < 8 FEET
2 1/2" #6 WOOD SCREWS	16"	12"	9"
2 1/2" #8 WOOD SCREWS	16"	16"	12"

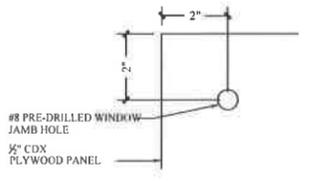
FOR SI: 1 INCH = 25.4 mm, 1 FOOT = 304.8 mm, 1 POUND = 0.454 kg, 1 MILE PER HOUR = .44M/S

- THIS TABLE IS BASED ON A MAXIMUM WIND SPEED (3 SECONDS GUST) OF 130 MPH AND MEAN ROOF HEIGHT OF 33 FEET OR LESS.
- FASTENERS SHALL BE INSTALLED AT OPPOSING ENDS OF THE WOOD STRUCTURAL PANEL.
- WHERE SCREWS ARE ATTACHED TO MASONRY OR MASONRY/STUCCO, THEY SHALL BE ATTACHED UTILIZING VIBRATION-RESISTENT ANCHORS HAVING A MINIMUM ULTIMATE WITHDRAWAL CAPACITY OF 490 POUNDS.

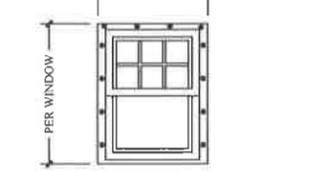
TABLE R301.7 ALLOWABLE DEFLECTION OF STRUCTURAL MEMBERS

STRUCTURAL MEMBER	ALLOWABLE DEFLECTION
RAFTERS HAVING SLOPES GREATER THAN 3/12 WITH NO FINISHED CEILING ATTACHED TO RAFTERS	L/180
INTERIOR WALLS AND PARTITIONS	H/180
FLOORS AND PLASTERED CEILINGS	L/360
ALL OTHER STRUCTURAL MEMBERS	L/240
EXTERIOR WALLS WITH PLASTER OR STUCCO FINISH	H/360
EXTERIOR WALLS - WIND LOADS WITH BRITTLE FINISHES	L/240
EXTERIOR WALLS - WIND LOADS WITH FLEXIBLE FINISHES	L/120

NOTE L = SPAN LENGTH, H = SPAN HEIGHT
 * THE WIND LOAD SHALL BE PERMITTED TO BE TAKEN AS 0.7 TIMES THE COMPONENT AND CLADDING LOADS FOR THE PURPOSE OF THE DETERMINING DEFLECTION LIMITS HEREIN
 b FOR CANILEVER MEMBERS, L SHALL BE TAKEN AS TWICE THE LENGTH OF THE CANTILEVER
 c FOR ALUMINUM STRUCTURAL MEMBERS OR PANELS USED IN ROOFS OR WALLS OF SUNROOM ADDITIONS OR PATIO COVERS, NOT SUPPORTING EDGE OF GLASS OR SANDWICH PANELS, THE TOTAL LOAD DEFLECTION SHALL NOT EXCEED L/60 FOR SANDWICH PANELS USED IN ROOFS OR WALLS OF SUNROOM ADDITIONS OR PATIO COVERS, THE TOTAL LOAD DEFLECTION SHALL NOT EXCEED L/20



TYPICAL PRE-DILLED HOLE LOCATION



TYPICAL WINDOW PANEL

TABLE R301.5 MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS (IN POUNDS PER SQUARE FOOT)

USE	LIVE LOAD
ATTICS WITH LIMITED STORAGE ^{a,b}	20
ATTICS WITHOUT STORAGE ^b	10
ATTICS WITHOUT STORAGE WITH STAIRS	30
EXTERIOR BALCONIES AND DECKS	40
FIRE ESCAPES	40
GUARDRAILS AND HANDRAILS	200
GUARDRAILS IN-FILL COMPONENTS ^c	50
PASSENGER VEHICLE GARAGES ^d	50 ^e
ROOMS OTHER THAN SLEEPING ROOMS	40
SLEEPING ROOMS	30
STAIRS	40 ^c

FOR 10-MINUTE REFER TO THE 2020 N.Y.S. CODE

TABLE R402.2 MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE

TYPE OR LOCATIONS OF CONCRETE CONSTRUCTION	MINIMUM SPECIFIED COMPRESSIVE STRENGTH (F _c) ^a		
	WEATHERING POTENTIAL ^b		
	NEGLECTIBLE	MODERATE	SEVERE
BASEMENT WALLS, FOUNDATIONS AND OTHER CONCRETE NOT EXPOSED TO THE WEATHER	2,500	2,500	2,500 ^c
BASEMENT SLABS AND INTERIOR SLABS ON GRADE, EXCEPT GARAGE FLOOR SLABS	2,500	2,500	2,500 ^c
BASEMENT WALLS, FOUNDATION WALLS, EXTERIOR WALLS AND OTHER VERTICAL CONCRETE WORK EXPOSED TO WEATHER	2,500	3,000 ^d	3,000 ^d
PORCHES, CARPORT SLABS AND STEPS EXPOSED TO THE WEATHER, AND GARAGE FLOOR SLABS	2,500	3,000 ^{d,e}	3,500 ^{d,e}

FOR SI: 1 POUND PER SQUARE INCH = 6.895 kPa
 a AT 28 DAYS PSI
 b SEE TABLE R301.2(1) FOR WEATHERING POTENTIAL
 c CONCRETE IN THESE LOCATIONS THAT MAY BE SUBJECT TO FREEZING AND THAWING DURING CONSTRUCTION SHALL BE AIR-ENTRAINED CONCRETE IN ACCORDANCE WITH FOOTNOTE D
 d CONCRETE SHALL BE AIR-ENTRAINED. TOTAL AIR CONTENT (PERCENT BY VOLUME OF CONCRETE) SHALL NOT BE LESS THAN 5 PERCENT OR MORE THAN 7 PERCENT
 e SEE SECTION R402.2 FOR MINIMUM CEMENT CONTENT

TABLE R301.2(1) CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM WEATHERING	FROST LINE DEPTH	TERRACE TO HEAVY	WINTER DESIGN TEMP	ICE SHEED PROTECTIVE MEAS. REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
	SPEED ¹ MPH	TOPOGRAPHIC EFFECTS ²	SPECIAL WIND REGION	WIND-BORNE DEBRIS ZONE									
30 psf	110	NO	NO	NO	B	SEVERE	3 FEET	MODERATE TO HEAVY	BELOW 0	YES	CALL PLANS EXAMINER	500	51

ELEVATION	LATITUDE	WINTER HEATING	SUMMER COOLING	ALTITUDE CORRECTION FACTOR	INDOOR DESIGN TEMPERATURE	DESIGN TEMPERATURE COOLING	HEATING TEMPERATURE DIFFERENCE
100 FT	41 DEG N	33°F	80°F	1.0	73°F	73°F	55°F
COOLING TEMPERATURE DIFFERENCE	WIND VELOCITY HEATING	WIND VELOCITY COOLING	CONCURRENT WET BULB	DAILY RANGE	WINTER HUMIDITY	WINTER HUMIDITY	-
11°F	15 MPH	13 MPH	22°F	MEDIUM (M)	8%	32 OR 34 RATE	-

TABLE 3.1 NAILING SCHEDULE

TABLE TAKEN FROM WOOD FRAME CONSTRUCTION MANUAL FOR ONE & TWO FAMILY DWELLINGS (2018 EDITION)

Joint Description	Number of Common Nails	Number of Box Nails	Nail Spacing
ROOF FRAMING			
Rafter to Top Plate (Toe-nailed)	(see Table 3.4A)	(see Table 3.4A)	per rafter
Ceiling Joist to Top Plate (Toe-nailed)	(see Table 3.4A)	(see Table 3.4A)	per joist
Ceiling Joist to Parallel Rafter (Face-nailed)	(see Table 3.9A)	(see Table 3.9A)	each lap
Ceiling Joist Laps over Partitions (Face-nailed)	(see Table 3.9A)	(see Table 3.9A)	each lap
Collar Tie to Rafter (Face-nailed)	(see Table 3.6)	(see Table 3.6)	per tie
Blocking to Rafter (Toe-nailed)	2-8d	2-10d	each end
Rim Board to Rafter (End-nailed)	2-16d	3-16d	each end
WALL FRAMING			
Top Plate to Top Plate (Face-nailed)	2-16d ¹	2-16d ¹	per foot
Top Plates at Intersections (Face-nailed)	4-16d	5-16d	joints - each side
Stud to Stud (Face-nailed)	2-16d	2-16d	24" o.c.
Header to Header (Face-nailed)	16d	16d	16" o.c. along edges
Top or Bottom Plate to Stud (End-nailed)	(see Table 3.5A)	(see Table 3.5A)	per stud
Bottom Plate to Floor Joist, Bandjoist, Endjoist or Blocking (Face-nailed)	2-16d ^{1,2}	2-16d ^{1,2}	per foot
FLOOR FRAMING			
Joist to Sill, Top Plate or Girder (Toe-nailed)	4-8d	4-10d	per joist
Bridging to Joist (Toe-nailed)	2-8d	2-10d	each end
Blocking to Joist (Toe-nailed)	2-8d	2-10d	each end
Blocking to Sill or Top Plate (Toe-nailed)	3-16d	4-16d	each block
Ledger Strip to Beam (Face-nailed)	3-16d	4-16d	each joist
Joist on Ledger to Beam (Toe-nailed)	3-8d	3-10d	per joist
Band Joist to Joist (End-nailed)	3-16d	4-16d	per joist
Band Joist to Sill or Top Plate (Toe-nailed)	2-16d ¹	3-16d	per foot
ROOF SHEATHING			
Wood Structural Panels	8d	10d	(see Table 3.10)
Diagonal Board Sheathing 1"x6" or 1"x8"	2-8d	2-10d	per support
1"x10" or wider	3-8d	3-10d	per support
CEILING SHEATHING			
Gypsum Wallboard	5d coolers	5d coolers	7" edge / 10" field
WALL SHEATHING			
Wood Structural Panels	8d	10d	(see Table 3.11)
Structural Fiberboard Panels 1/2"	11 ga. galv. roofing nail (0.120"x1-1/2" long x 7/16" head)	-	3" edge / 6" field
25/32"	11 ga. galv. roofing nail (0.120"x1-3/4" long x 3/8" head)	-	3" edge / 6" field
Gypsum Wallboard Hardboard	5d coolers	5d coolers	7" edge / 10" field
Particleboard Panels	8d	8d	(see Table 3.11)
Diagonal Board Sheathing 1"x6" or 1"x8"	2-8d	2-10d	per support
1"x10" or wider	3-8d	3-10d	per support
FLOOR SHEATHING			
Wood Structural Panels 1" or less	8d	10d	6" edge / 12" field
greater than 1"	10d	16d	6" edge / 12" field
Diagonal Board Sheathing 1"x6" or 1"x8"	2-8d	2-10d	per support
1"x10" or wider	3-8d	3-10d	per support

- Nailing requirements are based on wall sheathing nailed 6 inches on-center at the panel edge. Alternative nailing schedules shall be used where wall sheathing nailing is reduced. For example, if wall sheathing is nailed 3 inches on-center at the panel edge to obtain higher shear capacities, nailing requirements for structural members shall be doubled, or alternate connectors shall be used to maintain the load path.
- When wall sheathing is continuous over connected members, the tabulated number of nails shall be permitted to be reduced to 1-16d nail per foot.

TABLE R301.5 MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS (IN POUNDS PER SQUARE FOOT)

USE	LIVE LOAD
UNINHABITABLE ATTICS WITHOUT STORAGE	10
UNINHABITABLE ATTICS WITH LIMITED STORAGE ^a	20
HABITABLE ATTICS AND ATTICS SERVED WITH FIXED STAIRS	30
BALCONIES (EXTERIOR) AND DECKS	40
FIRE ESCAPES	40
GUARD AND HANDRAILS	200 ^b
GUARD IN-FILL COMPONENTS ^c	50 ^b
PASSENGER VEHICLES GARAGES ^d	50 ^a
ROOMS OTHER THAN SLEEPING ROOMS	40
SLEEPING ROOMS	30
STAIRS	40 ^e

INTERIOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH INDOOR TEMPERATURE OF NOT LESS THAN 68 DEGREES FAHRENHEIT AT A POINT 3 FEET ABOVE THE FLOOR ON THE DESIGN HEATING DAY. SYSTEM DESIGN SHALL BE BASED ON MAX 72 DEGREES HEATING, MINIMUM 75 DEGREES COOLING DEGREE DAYS (NY LAGUARDIA) 4811, WINTER DESIGN TEMP IS, DRY DULB 89, WET DULB 75 (2015 IPC APPDX D) ALSO AS PER NYSBC 2020 CHAPTER 16 SECTION 1609 AND ASCE 7 2016 - WIND EXPOSURE CATEGORY AND SURFACE ROUGHNESS IS B. USE C FOR BOTH SOUTH SHORE AND FIRE ISLAND. TOWN OF SMITHTOWN IS WITHIN A HURRICANE PRONE REGION



IT IS A VIOLATION OF NYS LAW FOR ANYONE EXCEPT THE LICENSED ARCHITECT TO ALTER THESE PLANS IN ANYWAY

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 SAYVILLE, N.Y. 11782
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 E-MAIL: cbrudi24@aol.com

CODE TABLES & NAILING SCHEDULE
PROPOSED NEW DWELLING AT
 SPORTSMAN AVENUE, FREEPORT, N.Y. 11520

Project Name & Address
 T/M#: 62-88-1 & 2

Date	Revision / Issue
03/21/25	ISSUED FOR REVIEW
04/17/25	ISSUED FOR PERMIT REVIEW
06/19/25	REV. AS PER OWNER
07/14/25	REV. AS PER TOWN

Drawn By:
M. MONTALBANO

Project #
 25-027

Scale
 AS NOTED

Date:
 03-08-25

Sheet #

N-1

TABLES TAKEN FROM 2020 N.Y.S. CODE

NAILING AND STRAPPING

(REQUIRED FOR ALL NEW CONSTRUCTION AND/OR NEW ADDITIONS)

NOTE:

ALL STRAPPING TO BE 1/4"x20 GAUGE STEEL OR 'SIMPSON' EQUIVALENT - CS20 (COILED STRAP)
ALL COIL STRAPPING TO HAVE MINIMUM 12" BEARING ON WALL STUDS (ALL STRAPPING SHALL BE INSTALLED AS PER MANUF. SPECIFICATIONS)
ALL STRAPPING TO BE SPACED AT 16" O.C.
ALL TABLES REFER TO 2018 W.F.C.M.

AT RAFTER TO RIDGE CONNECTION

FOR RIDGE STRAP - 4-8d COMMON NAILS OR 4-10d BOX NAILS IN EA. END OF STRAP. - TABLE 3.6A

FOR ALT. COLLAR TIE - 4-10d COMMON NAILS OR 4-12d BOX NAILS IN EA. END. - TABLE 3.6A

NOTE:

COORDINATE W/ TABLE 3.4B SHT. N-1 FOR ALL STRAP CONNECTION REQUIREMENTS

AT RAFTER TO TOP PLATE TO STUD CONNECTION

FOR STRAP - (SEE TABLE 3.4B SHT. N-1) AT EACH END OF STRAP

FOR ALTERNATE - 14-10d NAILS AT EA. STRAP, "SIMPSON" MTS 12 AS PER MANUF'S REQ'TS. (TWO STRAPS TOTAL) (MEETS OR EXCEEDS UPLIFT REQ'TS OF TABLE 3.4)

NOTE:

FOR CATHEDRAL CEILING AT SLOPING RAFTERS OR JOIST TO HEADER CONNECTIONS PROVIDE "SIMPSON" "LSSU210" ADJUSTABLE HANGER.

AT STUD TO FLOOR ASSEMBLY TO STUD CONNECTION

(ONLY APPLICABLE FOR TWO-STORY CONFIGURATIONS)

FOR STRAP - (SEE TABLE 3.4B SHT. N-1) AT EACH END OF STRAP

FOR ALTERNATE - 14-10d NAILS AT EA. STRAP, "SIMPSON" MTS 16 AS PER MANUF'S REQ'TS. (TWO STRAPS TOTAL) (MEETS OR EXCEEDS UPLIFT REQ'TS OF TABLE 3.4)

FOR SECOND - STRAPPING TO OVERLAP FIRST & SECOND FLOOR STUDS BY MIN. 12"

NOTE:

ALL CLIPS & STRAPS CAN BE MOUNTED FROM EITHER ALL EXTERIOR OR ALL INTERIOR, BUT NOT A COMBINATION OF BOTH.

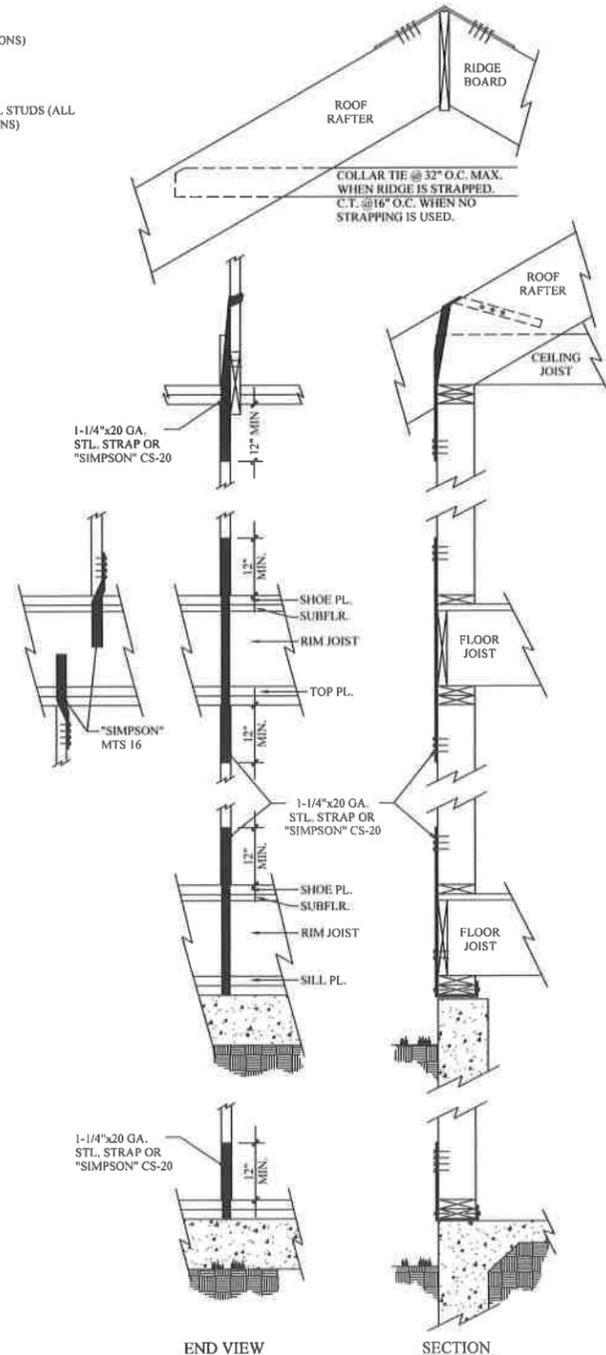
AT STUD TO FLOOR ASSEMBLY TO SILL PLATE CONNECTION

FOR STRAP - (SEE TABLE 3.4B SHT. N-1) AT EACH END OF STRAP

AT STUD TO FLOOR ASSEMBLY TO SILL PLATE CONNECTION

(SLAB ON GRADE AND/OR GARAGE WALL APPLICATIONS)

FOR STRAP - (SEE TABLE 3.4B SHT. N-1) AT EACH END OF STRAP



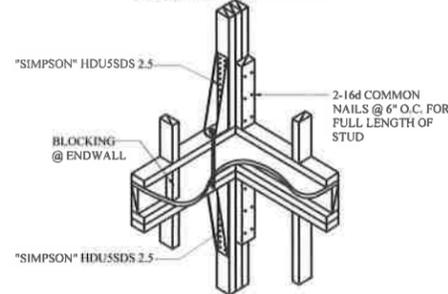
END VIEW

SECTION

HOLD DOWN CONNECTIONS

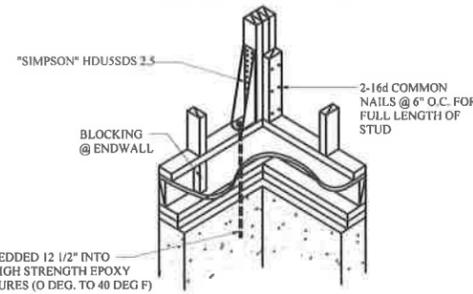
(REQUIRED AT EACH BUILDING CORNER & O.H. GARAGE DOOR JAMBS) (SEE FLOOR PLANS FOR LOCATIONS) TABLE 3.17F

SECOND FLOOR ATTACHMENT (REQUIRED FOR ALL NEW CONSTRUCTION AND SECOND FLOOR ADDITIONS)



ALL STRAPPING, ANCHORS, HOLD DOWNS, & ADHESIVES TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.

FIRST FLOOR ATTACHMENT (REQUIRED FOR ALL NEW CONSTRUCTION AND FIRST FLOOR ADDITIONS)

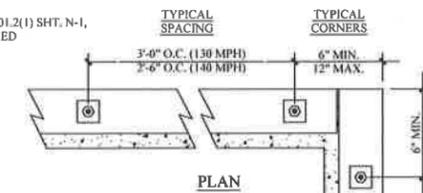


7/8" DIA. THREADED ROD EMBEDDED 12 1/2" INTO CONCRETE W/ 'SIMPSON' ET (HIGH STRENGTH EPOXY ADHESIVE) & FOR TEMPERATURES (0 DEG. TO 40 DEG F) USE 'SIMPSON' AT (HIGH STRENGTH ACRYLIC ADHESIVE)

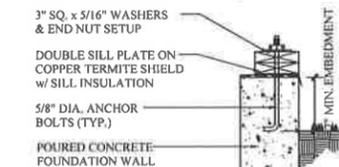
ANCHOR BOLT SPECIFICATION

(REQUIRED FOR ALL NEW CONSTRUCTION AND/OR NEW ADDITIONS) TABLES 3.2B, 3.2C, 3.3A

NOTE: SEE TABLE R301.2(1) SHT. N-1, FOR WIND SPEED



PLAN



SECTION

NOTE:

- 1.) USE 5/8" DIA. ANCHOR BOLTS W/ MINIMUM 7" EMBEDMENT INTO CONCRETE W/ 3" SQUARE x 5/16" WASHERS AND END NUT SETUP.
- 2.) ANCHOR NOTED HEREIN ARE NOT TO BE USED FOR OR REPLACED BY HOLD DOWNS FOR SHEAR WALLS.
- 3.) ONE ANCHOR BOLT IS TO BE LOCATED BETWEEN 6" MINIMUM TO 12" MAXIMUM FROM ENDS AND CORNERS.

SPLICING OF TOP PLATE

(REQUIRED FOR ALL NEW CONSTRUCTION AND/OR NEW ADDITIONS) TABLE 3.21

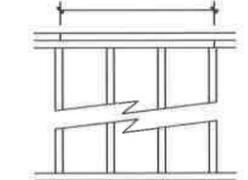
TOP PLATE SPLICE REQUIREMENTS ONE STORY SLAB-ON-GRADE

Building Dimension (ft.)	Minimum Splice Length (ft.) ^{1,2,3}
12'-0"	3'-0"
16'-0"	4'-0"
20'-0"	5'-0"
24'-0"	6'-0"
28'-0"	7'-0"
32'-0"	8'-0"
36'-0"	9'-0"
40'-0"	11'-0"
50'-0"	13'-0"
60'-0"	16'-0"
70'-0"	19'-0"
80'-0"	22'-0"

TOP PLATE SPLICE REQUIREMENTS ALL OTHER CASES

Building Dimension (ft.)	Minimum Splice Length (ft.) ^{1,2,3}
12'-0"	2'-0"
16'-0"	3'-0"
20'-0"	4'-0"
24'-0"	4'-0"
28'-0"	5'-0"
32'-0"	6'-0"
36'-0"	7'-0"
40'-0"	8'-0"
50'-0"	10'-0"
60'-0"	12'-0"
70'-0"	14'-0"
80'-0"	16'-0"

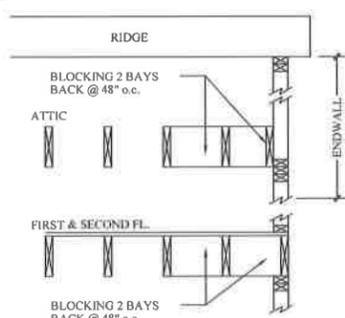
TOP PLATE SPLICE LENGTH



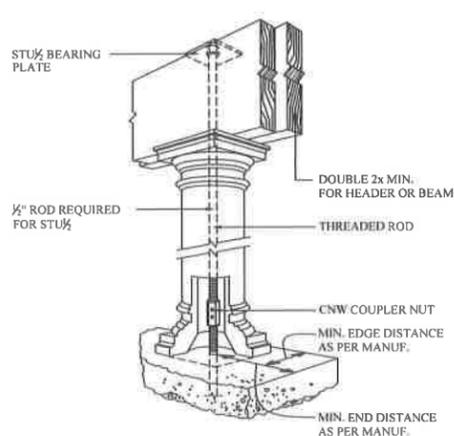
- 1.) TABULATED SPLICE LENGTHS ASSUME TOP PLATE-TO-TOP PLATE CONNECTION USING 2-14d NAILS PER FOOT. FOR SHORTER SPLICE LENGTHS, THE NAIL SPACING SHALL BE REDUCED IN ORDER TO PROVIDE AN EQUIVALENT NUMBER OF NAILS.
- 2.) TABULATED SPLICE LENGTHS ASSUME A BUILDING LOCATED IN EXPOSURE B OR C.
- 3.) TOP PLATES SHALL BE A MINIMUM OF STUD GRADE MATERIAL.

FLOOR & ROOF DIAPHRAGM BRACING

(REQUIRED FOR ALL NEW CONSTRUCTION AND/OR NEW ADDITIONS) SECTION 3.3.5 & 3.5.5



EXCEPTION: WHEN AN ATTIC FLOOR OR CEILING DIAPHRAGM IS USED TO BRACE THE GABLE ENDWALL OR WHEN A HIP ROOF SYSTEM IS USED, ADDITIONAL ROOF DIAPHRAGM BLOCKING IS NOT REQUIRED.



HOLLOW COLUMN DETAIL

NAILING & STRAPPING AT EXTERIOR WINDOW / DOOR HEADERS

(REQUIRED FOR ALL NEW CONSTRUCTION AND/OR NEW ADDITIONS)

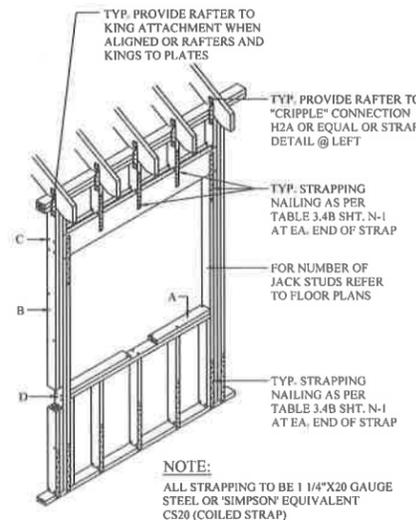
NAILING SCHEDULE 'B' : (2018 W.F.C.M.)

ROUGH OPENING REQUIREMENTS FOR WINDOW OPENINGS

Notation	A	B	C	D
2'-0"	(1) 2x4	1	1	1
4'-0"	(1) 2x4	2	2	2
6'-0"	(2) 2x4 OR (1) 2x6	3	3	3
8'-0"	(2) 2x4 OR (1) 2x6	3	4	4
10'-0"	(2) 2x6	4	5	5
12'-0"	(2) 2x6	5	6	6

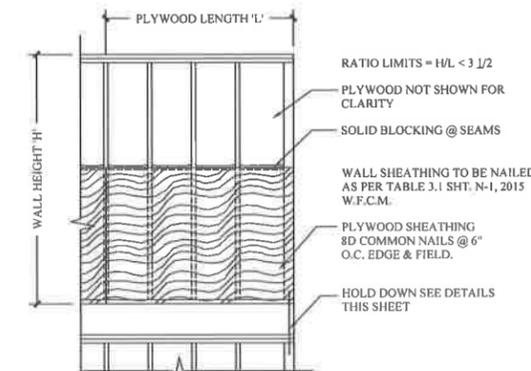
Notations:

- NUMBER OF SILL STUDS ON THE FLAT (DOES NOT APPLY TO DOORS)
- NUMBER OF FULL HEIGHT KING STUDS AT EACH SIDE OF HEADER
- NUMBER OF 16d NAILS END-NAILED THROUGH ADJACENT KING STUD TO END OF HEADER AT EACH SIDE
- NUMBER OF 16d NAILS END-NAILED THROUGH ADJACENT JACK STUDS TO END OF SILL(S) AT EACH SIDE (DOES NOT APPLY TO DOORS)



NOTE:

ALL STRAPPING TO BE 1/4"x20 GAUGE STEEL OR 'SIMPSON' EQUIVALENT CS20 (COILED STRAP)



- NOTE:
1. SHEATHING AS PART OF SHEAR WALL SEGMENT WHERE NOTED ON FLOOR PLAN, SHALL BE CONTINUOUS FROM SILL TO TOP PLATE OR ADEQUATELY BLOCKED AT JOINTS.
 2. HOLD DOWNS REQUIRED AT ALL CORNERS OF STRUCTURE SEE DETAILS THIS SHEET.
 3. REFER TO NAILING AND STRAPPING DETAILS THIS SHEET TO FOR A CONTINUOUS LOAD PATH.

SHEARWALL SEG. DETAIL (TYP)



IT IS A VIOLATION OF NYS LAW FOR ANYONE EXCEPT THE LICENSED ARCHITECT TO ALTER THESE PLANS IN ANYWAY

CHARLES J. BRUDI, R.A.
30 BETHESDA LANE
SAYVILLE, N.Y. 11782
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E-MAIL: cbrudi24@aol.com

STRAPPING & MISC. DETAILS

PROPOSED NEW DWELLING AT
SPORTSMAN AVENUE, FREEPORT, N.Y. 11520

Project Name & Address
TM#: 62-88-1 & 2

Date	Revision / Issue
03/21/25	ISSUED FOR REVIEW
04/17/25	ISSUED FOR PERMIT REVIEW
06/19/25	REV. AS PER OWNER
07/14/25	REV. AS PER TOWN

Drawn By: M. MONTALBANO

Project #: 25-027

Scale: AS NOTED

Date: 03-08-25

Sheet # **N-2**

Table 3.4A Rafter and/or Ceiling Joist to Top Plate Lateral and Shear Connection Requirements Exposure B (Prescriptive Alternative to Table 3.4)

Table with columns for Wind Speed (90-195 mph) and Rafter/Ceiling Joist Spacing (12, 16, 24 in.). Rows show required number of nails for different wall heights (8, 10, 12, 14, 16, 18, 20, 22, 24, 26, 28, 30 in.).

1 Prescriptive limits are based on assumptions in Table 3.4. 2 When ceiling joists are installed parallel to rafters, the sum of the toenails in the rafter and ceiling joist shall equal or exceed the tabulated number of nails required. 3 To avoid splitting, no more than 2 toenails shall be installed in each side of a rafter or ceiling joist when fastened to a 2x4 top plate or 3 toenails in each side when fastened to a 2x6 top plate. 4 Where top plate to ridge heights exceed 10', they shall be adjusted as follows:

Table with columns for Wall Height (10', 15', 20') and Adjustment Factor (1.00, 1.15, 1.26, 1.40, 1.50).

Table 3.4A Rafter and/or Ceiling Joist to Top Plate Lateral and Shear Connection Requirements Exposure C (Prescriptive Alternative to Table 3.4)

Table with columns for Wind Speed (90-195 mph) and Rafter/Ceiling Joist Spacing (12, 16, 24 in.). Rows show required number of nails for different wall heights (8, 10, 12, 14, 16, 18, 20, 22, 24, 26, 28, 30 in.).

1 Prescriptive limits are based on assumptions in Table 3.4. 2 When ceiling joists are installed parallel to rafters, the sum of the toenails in the rafter and ceiling joist shall equal or exceed the tabulated number of nails required. 3 To avoid splitting, no more than 2 toenails shall be installed in each side of a rafter or ceiling joist when fastened to a 2x4 top plate or 3 toenails in each side when fastened to a 2x6 top plate. 4 Where top plate to ridge heights exceed 10', they shall be adjusted as follows:

Table with columns for Wall Height (10', 15', 20') and Adjustment Factor (1.00, 1.15, 1.25, 1.40, 1.50).

Table 3.5A Top and Bottom Plate to Stud Lateral Connections for Wind Loads Exposure B (Prescriptive Alternative to Table 3.5)

Table with columns for Wind Speed (90-195 mph) and Stud Spacing (12, 16, 24 in.). Rows show required number of nails for different wall heights (8, 10, 12, 14, 16, 18, 20, 22, 24, 26, 28, 30 in.).

1 Prescriptive limits are based on assumptions in Table 3.5.

Table 3.5A Top and Bottom Plate to Stud Lateral Connections for Wind Loads Exposure C (Prescriptive Alternative to Table 3.5)

Table with columns for Wind Speed (90-195 mph) and Stud Spacing (12, 16, 24 in.). Rows show required number of nails for different wall heights (8, 10, 12, 14, 16, 18, 20, 22, 24, 26, 28, 30 in.).

1 Prescriptive limits are based on assumptions in Table 3.5.

Table A-3.6 Ridge Tension Strap Connection Requirements for Wind Exposure B (Prescriptive Alternative to Table 3.6) Dead Load Assumptions: Roof Assembly DL = 10 psf

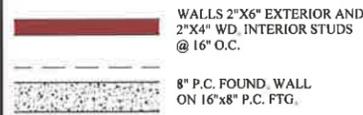
Table with columns for Wind Speed (90-195 mph) and Roof Pitch (12:12, 10:12, 8:12, 6:12, 5:12, 4:12, 3:12, 2:12, 1:12). Rows show required number of nails for different rafter spacings (12, 16, 19.2, 24, 30 in.).

1 Tabulated connection requirements shall be permitted to be multiplied by 0.70 for framing not located within 8 feet of building corners. 2 Tabulated connection requirements are based on total uplift minus the roof assembly dead load of 6 psf (0.5 x 10 psf + 6 psf). 3 Tabulated connection requirements are based on a 12 inch ridge strap spacing. For different ridge strap spacing, multiply the tabulated values by the appropriate multiplier below. 4 When the tabulated connection requirements are adjusted for the ridge strap spacing and the number of required nails exceeds 7, Table A-3.6 does not apply. Use loads from Table 3.6. 5 When the tabulated number of nails required in each end of the strap is equal to 1 and the framing is attached in accordance with Table 3.1, the ridge strap and additional nailing is not required. 6 When a collar tie is used in lieu of a ridge strap, the number of 10d common nails required in each end of the collar tie need not exceed the tabulated number of 10d common nails in a steel strap, or the number of 12d box nails in each end of the collar tie need not exceed the tabulated number of 10d box nails in a steel strap. 7 1-1/4" 20 gage ridge strap shall be of ASTM A551 grade 33 steel or equivalent. 8 For jack rafter uplift connections, use a roof span equal to twice the jack rafter length. The jack rafter length includes the overhang length and the jack span.

Table 3.9A Rafter/Ceiling Joist Heel Joint Connection Requirements (Prescriptive Alternative to Table 3.9)

Table with columns for Roof Live Load (20, 30, 50, 70 psf) and Roof Span (12, 24, 36, 48, 60, 72, 84, 96, 108, 120, 132, 144, 156, 168, 180, 192, 204, 216, 228, 240, 252, 264, 276, 288, 300, 312, 324, 336, 348, 360, 372, 384, 396, 408, 420, 432, 444, 456, 468, 480, 492, 504, 516, 528, 540, 552, 564, 576, 588, 600, 612, 624, 636, 648, 660, 672, 684, 696, 708, 720, 732, 744, 756, 768, 780, 792, 804, 816, 828, 840, 852, 864, 876, 888, 900, 912, 924, 936, 948, 960, 972, 984, 996, 1008, 1020, 1032, 1044, 1056, 1068, 1080, 1092, 1104, 1116, 1128, 1140, 1152, 1164, 1176, 1188, 1200, 1212, 1224, 1236, 1248, 1260, 1272, 1284, 1296, 1308, 1320, 1332, 1344, 1356, 1368, 1380, 1392, 1404, 1416, 1428, 1440, 1452, 1464, 1476, 1488, 1500, 1512, 1524, 1536, 1548, 1560, 1572, 1584, 1596, 1608, 1620, 1632, 1644, 1656, 1668, 1680, 1692, 1704, 1716, 1728, 1740, 1752, 1764, 1776, 1788, 1800, 1812, 1824, 1836, 1848, 1860, 1872, 1884, 1896, 1908, 1920, 1932, 1944, 1956, 1968, 1980, 1992, 2004, 2016, 2028, 2040, 2052, 2064, 2076, 2088, 2100, 2112, 2124, 2136, 2148, 2160, 2172, 2184, 2196, 2208, 2220, 2232, 2244, 2256, 2268, 2280, 2292, 2304, 2316, 2328, 2340, 2352, 2364, 2376, 2388, 2400, 2412, 2424, 2436, 2448, 2460, 2472, 2484, 2496, 2508, 2520, 2532, 2544, 2556, 2568, 2580, 2592, 2604, 2616, 2628, 2640, 2652, 2664, 2676, 2688, 2700, 2712, 2724, 2736, 2748, 2760, 2772, 2784, 2796, 2808, 2820, 2832, 2844, 2856, 2868, 2880, 2892, 2904, 2916, 2928, 2940, 2952, 2964, 2976, 2988, 3000, 3012, 3024, 3036, 3048, 3060, 3072, 3084, 3096, 3108, 3120, 3132, 3144, 3156, 3168, 3180, 3192, 3204, 3216, 3228, 3240, 3252, 3264, 3276, 3288, 3300, 3312, 3324, 3336, 3348, 3360, 3372, 3384, 3396, 3408, 3420, 3432, 3444, 3456, 3468, 3480, 3492, 3504, 3516, 3528, 3540, 3552, 3564, 3576, 3588, 3600, 3612, 3624, 3636, 3648, 3660, 3672, 3684, 3696, 3708, 3720, 3732, 3744, 3756, 3768, 3780, 3792, 3804, 3816, 3828, 3840, 3852, 3864, 3876, 3888, 3900, 3912, 3924, 3936, 3948, 3960, 3972, 3984, 3996, 4008, 4020, 4032, 4044, 4056, 4068, 4080, 4092, 4104, 4116, 4128, 4140, 4152, 4164, 4176, 4188, 4200, 4212, 4224, 4236, 4248, 4260, 4272, 4284, 4296, 4308, 4320, 4332, 4344, 4356, 4368, 4380, 4392, 4404, 4416, 4428, 4440, 4452, 4464, 4476, 4488, 4500, 4512, 4524, 4536, 4548, 4560, 4572, 4584, 4596, 4608, 4620, 4632, 4644, 4656, 4668, 4680, 4692, 4704, 4716, 4728, 4740, 4752, 4764, 4776, 4788, 4800, 4812, 4824, 4836, 4848, 4860, 4872, 4884, 4896, 4908, 4920, 4932, 4944, 4956, 4968, 4980, 4992, 5004, 5016, 5028, 5040, 5052, 5064, 5076, 5088, 5100, 5112, 5124, 5136, 5148, 5160, 5172, 5184, 5196, 5208, 5220, 5232, 5244, 5256, 5268, 5280, 5292, 5304, 5316, 5328, 5340, 5352, 5364, 5376, 5388, 5400, 5412, 5424, 5436, 5448, 5460, 5472, 5484, 5496, 5508, 5520, 5532, 5544, 5556, 5568, 5580, 5592, 5604, 5616, 5628, 5640, 5652, 5664, 5676, 5688, 5700, 5712, 5724, 5736, 5748, 5760, 5772, 5784, 5796, 5808, 5820, 5832, 5844, 5856, 5868, 5880, 5892, 5904, 5916, 5928, 5940, 5952, 5964, 5976, 5988, 6000, 6012, 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15156, 15168, 15180, 15192, 15204, 15216, 15228, 15240, 15252, 15264, 15276, 15288, 15300, 15312, 15324, 15336, 15348, 15360, 15372, 15384, 15396, 15408, 15420, 15432, 15444, 15456, 15468, 15480, 15492, 15504, 15516, 15528, 15540, 15552, 15564, 15576, 15588, 15600, 15612, 15624, 15636, 15648, 15660, 15672, 15684, 15696, 15708, 15720, 15732, 15744, 15756, 15768, 15780, 15792, 15804, 15816, 15828, 15840, 15852, 15864, 15876, 15888, 15900, 15912, 15924, 15936, 15948, 15960, 15972, 15984, 15996, 16008, 16020, 16032, 16044, 16056, 16068, 16080, 16092, 16104, 16116, 16128, 16140, 16152, 16164, 16176, 16188, 16200, 16212, 16224, 16236, 16248, 16260, 16272, 16284, 16296, 16308, 16320, 16332, 16344, 16356, 16368, 16380, 16392, 16404, 16416, 16428, 16440, 16452, 16464, 16476, 16488, 16500, 16512, 16524, 16536, 16548, 16560, 16572, 16584, 16596, 16608, 16620, 16632, 16644, 16656, 16668, 16680, 16692, 16704, 16716, 16728, 16740, 16752, 16764, 16776, 16788, 16800, 16812, 16824, 16836, 16848, 16860, 16872, 16884, 16896, 16908, 16920, 16932, 16944, 16956, 16968, 16980, 16992, 17004, 17016, 17028, 17040, 17052, 17064, 17076, 17088, 17100, 17112, 17124, 17136, 17148, 17160, 17172, 17184, 17196, 17208, 17220, 17232, 17244, 17256, 17268, 17280, 17292, 17304, 17316, 17328, 17340, 17352, 17364, 17376, 17388, 17400, 17412, 17424, 17436, 17448, 17460, 17472, 17484, 17496, 17508, 17520, 17532, 17544, 17556, 17568, 17580, 17592, 17604, 17616, 17628, 17640, 17652, 17664, 17676, 17688, 17700, 17712, 17724, 17736, 17748, 17760, 17772, 17784, 17796, 17808, 17820, 17832, 17844, 17856, 17868, 17880, 17892, 17904, 17916, 17928, 17940, 17952, 17964, 17976, 17988, 18000, 18012, 18024, 18036, 18048, 18060, 18072, 18084, 18096, 18108, 18120, 18132, 18144, 18156, 18168, 18180, 18192, 18204, 18216, 18228, 18240, 18252, 18264, 18276, 18288, 18

WALL LEGEND



NOTES:

- 1.) PROVIDE "SIMPSON B SERIES" JOIST HANGERS AT ALL APPLICABLE LOCATIONS.
- 2.) ALL BUILT UP MICROLAM HEADERS TO BE BOLTED OR NAILED AS PER MANUFACTURER'S REQUIREMENTS.
- 3.) DOUBLE ALL FLOOR JOISTS UNDER PARALLEL WALLS.
- 4.) ALL HEADERS NOT INDICATED TO BE MIN. (2) 2"x8" DOUG. FIR. LARCH # 2.
- 5.) DOUBLE ALL JOISTS AROUND ALL STAIR, FLOOR, CEILING & ROOF OPENINGS. (TYP.)
- 6.) ALL CATHEDRAL CEILINGS TO RECEIVE 5 1/2" R=21 BATT INSULATION WITH "RAFTER-R-MATE" BY OWENS CORNING TO ALLOW FOR ADEQUATE VENTING
- 7.) ALL POSTS TO RECEIVE SOLID WOOD BLOCKING TO FOUNDATION WALL OR GIRDER BELOW
- 8.) ALL CONNECTORS/CONNECTIONS IN CONTACT WITH ACQ (P.T.) LUMBER MUST BE APPROVED BY MANUFACTURER AND MUST HAVE A FINISH WITH EXTRA CORROSION RESISTANCE, EITHER STAINLESS STEEL, HOT-DIP GALVANIZED (HDG) OR ZMAX PROTECTION.

NOTE: ALL WINDOWS TO BE HIGH PERFORMANCE INSULATING GLASS WINDOWS AS MANUFACTURED BY "ANDERSEN 400 SERIES" OR EQUAL. DP30 SERIES.

VENT NOTES: CHAPTER 31 OF THE 2020 N.Y.S. RBC

P3101.1: GENERAL.
THIS CHAPTER SHALL GOVERN THE SELECTION AND INSTALLATION OF PIPING, TUBING AND FITTINGS FOR VENT SYSTEMS. THIS CHAPTER SHALL CONTROL THE MINIMUM DIAMETER OF VENT PIPES, CIRCUIT VENTS, BRANCH VENTS AND INDIVIDUAL VENTS, AND THE SIZE AND LENGTH OF VENTS AND VARIOUS ASPECTS OF VENT STACKS AND STACK VENTS. ADDITIONALLY, THIS CHAPTER REGULATES VENT GRADES AND CONNECTIONS, HEIGHT ABOVE FIXTURES AND RELIEF VENTS FOR STACKS AND FIXTURE TRAPS, AND THE VENTING OF SUMPS AND SEWERS.

P3103.2: FROST CLOSURE.
WHERE THE 97.5% VALUE FOR OUTSIDE DESIGN TEMPERATURE IS 0°F OR LESS, VENT EXTENSIONS THROUGH A ROOF OR WALL SHALL BE NOT LESS THAN 3 INCHES IN DIAMETER. ANY INCREASE IN THE SIZE OF THE VENT SHALL BE MADE NOT LESS THAN 1 FOOT INSIDE THE THERMAL ENVELOPE OF THE BUILDING.

HOUSE TRAP NOTE:

P3201.4: BUILDING TRAPS.
AS PER THIS SECTION IF BUILDING TRAPS ARE REMOVED, NEW ONES SHALL BE PROHIBITED

MANUFACTURER'S MANUALS, ENERGY EFFICIENCY:

MAINTENANCE INSTRUCTIONS SHALL BE FURNISHED FOR EQUIPMENT AND SYSTEMS THAT REQUIRE PREVENTIVE MAINTENANCE. REQUIRED REGULAR MAINTENANCE ACTIONS SHALL BE CLEARLY STATED AND INCORPORATED ON A READILY ACCESSIBLE LABEL. THE LABEL SHALL INCLUDE THE TITLE OR PUBLICATION NUMBER FOR THE OPERATION AND MAINTENANCE MANUAL FOR THAT PARTICULAR MODEL AND TYPE OF PRODUCT IN ACCORDANCE WITH SECTION R303.3 AND OF THE 2020 N.Y.S. RBC

TABLE R301.5
MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS
(IN PONDS PER SQUARE FOOT)

USE	LIVE LOAD
UNINHABITABLE ATTICS WITHOUT STORAGE	10
UNINHABITABLE ATTICS WITH LIMITED STORAGE	20
HABITABLE ATTICS AND ATTICS SERVED WITH FIXED STAIRS	30
BALCONIES (EXTERIOR) AND DECKS	40
FIRE ESCAPES	40
GUARD AND HANDRAILS	200
GUARD IN-FILL COMPONENTS	50
PASSENGER VEHICLES GARAGES	50
ROOMS OTHER THAN SLEEPING ROOMS	40
SLEEPING ROOMS	30
STAIRS	40

FOR SUB-NOTES REFER TO THE 2020 NYS R.B.C.

EMERGENCY ESCAPE AND RESCUE OPENINGS NOTES:
SECTION R310 OF THE 2020 N.Y.S. RBC

R310.1: EMERGENCY ESCAPE AND RESCUE OPENING REQUIRED.
BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE NOT LESS THAN ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY, OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY.

R310.2: EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE MINIMUM DIMENSIONS AS SPECIFIED IN THIS SECTION.

R310.2.1: MINIMUM OPENING AREA.
EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5.7 SQUARE FEET. THE NET CLEAR OPENING DIMENSIONS REQUIRED BY THIS SECTION SHALL BE OBTAINED BY THE NORMAL OPERATION OF THE EMERGENCY ESCAPE AND RESCUE OPENING FROM THE INSIDE. THE NET CLEAR HEIGHT OPENING SHALL BE NOT LESS THAN 24 INCHES AND THE NET CLEAR WIDTH SHALL BE NOT LESS THAN 20 INCHES.

R310.2.2 WINDOW SILL HEIGHT.
WHERE A WINDOW IS PROVIDED AS THE EMERGENCY ESCAPE AND RESCUE OPENING, IT SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR; WHERE THE SILL HEIGHT IS BELOW GRADE, IT SHALL BE PROVIDED WITH A WINDOW WELL IN ACCORDANCE WITH SECTION R310.2.3.

RESIDENTIAL ENERGY EFFICIENCY NOTES:
CHAPTER 4 OF THE 2020 NYS R.B.C.

R401.2: COMPLIANCE.
- PROJECTS SHALL COMPLY WITH SECTION R405 AND THE PROVISIONS OF SECTIONS R401 THROUGH R404 Labeled "MANDATORY".

R402.4: AIR LEAKAGE.
- THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH SECTIONS R402.4.1 THROUGH R402.4.4.

R403.1: CONTROLS.
- AT LEAST ONE THERMOSTAT SHALL BE PROVIDED FOR EACH SEPARATE HEATING AND COOLING SYSTEM.

R403.1.2: HEAT PUMP SUPPLEMENTARY HEAT.
- HEAT PUMPS HAVING SUPPLEMENTARY ELECTRIC-RESISTANCE HEAT SHALL HAVE CONTROLS THAT, EXCEPT DURING DEFROST, PREVENT SUPPLEMENTAL HEAT OPERATION WHEN THE HEAT PUMP COMPRESSOR CAN MEET THE HEATING LOAD.

R403.5.1: HEATED WATER CIRCULATION AND TEMPERATURE MAINTENANCE SYSTEMS.
- HEATED WATER CIRCULATION SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.1. HEAT TRACE TEMPERATURE MAINTENANCE SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.2.

R403.5.1.2: AUTOMATIC CONTROLS, TEMPERATURE SENSORS AND PUMPS SHALL BE ACCESSIBLE. MANUAL CONTROLS SHALL BE READILY ACCESSIBLE.

R403.5.3: HOT WATER PIPE INSULATION.
- HOT WATER PIPE SHALL BE INSULATED WITH A MINIMUM THERMAL RESISTANCE OF R-3.

R403.9: SNOW AND ICE MELTING SYSTEM CONTROLS.
- SNOW AND ICE MELTING SYSTEMS, SUPPLIED THROUGH ENERGY SERVICE TO THE BUILDING, SHALL INCLUDE AUTOMATIC CONTROLS CAPABLE OF SHUTTING OFF THE SYSTEM WHEN THE PAVEMENTS TEMPERATURE IS ABOVE 50°F, AND NO PRECIPITATION IS FALLING AND AN AUTOMATIC OR MANUAL CONTROL THAT WILL ALLOW SHUTOFF WHEN THE OUTDOOR TEMPERATURE IS ABOVE 40°.

R404.1: LIGHTING EQUIPMENT.
- NOT LESS THAN 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS OR NOT LESS THAN 75% OF THE PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH-EFFICACY LAMPS.

R402.4.5: RECESSED LIGHTING.
- RECESSED LUMINAIRES INSTALLED IN THE BUILDING ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. ALL RECESSED LUMINAIRES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE NOT MORE THAN 2.0 CFM WHEN TESTED IN ACCORDANCE WITH ASTM E 283 AT A 1.57 PSF PRESSURE DIFFERENTIAL. ALL RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING.

NOTE: CLEARANCES FROM FLAMMABLE MATERIALS ARE TO COMPLY WITH THE REQUIREMENTS IN THE 2020 NYS FIRE CODE AND MANUFACTURER'S RECOMMENDATIONS TO THE BUILDING INSPECTOR'S SATISFACTION.

RESIDENTIAL ENERGY EFFICIENCY NOTES:
CHAPTER 5 OF THE 2020 NYS R.B.C.

R501.1: SCOPE.
- THE PROVISIONS OF THIS CHAPTER SHALL CONTROL THE ALTERATION, REPAIR, ADDITION AND CHANGE OF OCCUPANCY OF EXISTING BUILDINGS AND STRUCTURES.

501.1.1: ADDITIONS, ALTERATIONS, OR REPAIR: GENERAL.
- ADDITIONS, ALTERATIONS, OR REPAIRS TO AN EXISTING BUILDING, BUILDING SYSTEM OR PORTION THEREOF SHALL COMPLY WITH SECTIONS R502, R503 OR 504. UNALTERED PORTIONS OF THE EXISTING BUILDING OR BUILDING SUPPLY SYSTEM SHALL NOT BE REQUIRED TO COMPLY WITH THIS CODE.

R501.1: EXISTING BUILDINGS.
- EXCEPT AS SPECIFIED IN THIS CHAPTER, THIS CODE SHALL NOT BE USED TO REQUIRE THE REMOVAL, ALTERATION OR ABANDONMENT OF, NOR PREVENT THE CONTINUED USE AND MAINTENANCE OF, AN EXISTING BUILDING OR BUILDING SYSTEM LAWFULLY IN EXISTENCE AT THE SAME TIME OF ADOPTION OF THIS CODE.

R503.1: GENERAL.
- ALTERATIONS TO ANY BUILDING OR STRUCTURE SHALL COMPLY WITH THE REQUIREMENTS OF THE CODE FOR NEW CONSTRUCTION. ALTERATIONS SHALL BE SUCH THAT THE EXISTING BUILDING OR STRUCTURE IS NO LESS CONFORMING WITH THE PROVISIONS OF THIS CHAPTER THAN THE EXISTING BUILDING OR STRUCTURE WAS PRIOR TO THE ALTERATION.

PRESSURE TREATED WOOD NOTE:

AS PER RESIDENTIAL CODE SECTION R319; PROVIDE PRESSURE TREATED LUMBER FOR ALL MEMBERS OF WOOD JOISTS OR THE BOTTOM OF A WOOD STRUCTURAL FLOOR WHEN CLOSER THAN 18" OR WOOD GIRDERS WHEN CLOSER THAN 12" TO THE EXPOSED GROUND IN CRAWLSPACES OR UNEXCAVATED AREA LOCATED WITHIN THE PERIPHERY OF THE BUILDING FOUNDATION

PILE FOUNDATION:

1. ALL PILES SHALL BE PRESSURE TREATED TIMBER IN ACCORDANCE WITH A W.P.A.C.-1 FOUNDATION MARINE 1.0 CCA-C. PILES SHALL BE DRIVEN TO A MIN. RATED CAPACITY OF 5 TONS(10,000lbs).

2. PILES SHALL HAVE A MIN BUTT DIAM OF 8". LENGTH TO BE DETERMINED BY F.E.M.A. MIN. ELEVATIONS & SOIL CONDITIONS A MINIMUM PENETRATION OF -5.0' MSL IS REQUIRED INTO VIRGIN SOIL. THE PILE TIP SHALL REACH AN ELEVATION OF -5.0 MSL AS A MIN WHEN IN F.E.M.A FLOOD ZONES.

3. ALL PILE HANDLING, SETTING AND DRIVING SHALL CONFORM TO THE N.Y.S.D.O.T. CODE REQUIREMENTS. DAMAGED PILES SHALL BE REPAIRED OR REMOVED AS PER INSTRUCTIONS OF RESIDENT ENGINEER.

4. ALL PILE AND DECK HARDWARE SHALL BE HOT DIPPED GALVANIZED. ANY DAMAGED AREAS SHALL BE REPAIRED TO THE SATISFACTION OF THE RESIDENT ENGINEER. ALL STEEL CONNECTORS SHALL BE GRADE 2 OR EQUAL.

5. GIRDERS AND CROSS BRACING TO BE BOLTED WITH MIN (2) 3/4" DIA. GALV. CARRIAGE BOLTS. IF REQUIRED SEE FLOOD RESISTANCE NOTE #1

PILE SPECIFICATIONS:

1. PILES TO BE TREATED SOUTHERN PINE, PRESSURE TREATED TO A RETENTION OF NOT LESS THAN 1.0lbs PER CUBIC FOOT OF WOOD.

2. ALL PILES TO HAVE A MINIMUM OF ONE TON SAFE BEARING CAPACITY. PILES ARE TO MEET THE REQUIREMENTS OF A.S.T.M. 25-70 WITH A MIN TIP DIAMETER OF 8"

3. PILES ARE TO BE DRIVEN AS FRICTION PILES TO THE REQUIRED RESISTANCE OF MINIMUM 6'-0" BELOW GROUND WATER LEVEL.

4. PILE LENGTH SHALL BE MINIMUM 16'-0"

MODEL#	LENGTH	FASTNERS (TOTAL)	ALLOWABLE LOADS (133&160)	CODE REF.
TS9	9"	8-16d	530	170
TS12	11-5/8"	10-16d	665	170
TS18	17-3/4"	14-16d	930	170
TS22	21-5/8"	18-16d	1215	170

1. INSTALL HALF OF THE FASTNERS ON EACH END OF STRAP TO ACHIEVE FULL LOADS.

2. LOADS HAVE BEEN INCREASED 33% AND 60% FOR EARTHQUAKE OR WIND LOADING. NO FURTHER INCREASE ALLOWED. REDUCE WHERE OTHER LOADS GOVERN.

3. 16d SINKERS (9GAx3-1/4") MAY BE SUBSTITUTED FOR THE SPECIFIED 16d COMMONS AT .84 OF THE TABLE LOADS

TWIST STRAP NOTES:

TWIST STRAPS PROVIDE A TENSION CONNECTION BETWEEN TWO WOOD MEMBERS. AND EQUAL NUMBER OF RIGHT AND LEFT HAND UNITS ARE SUPPLIED IN EACH CARTON.

MATERIAL: 16 GAUGE

FINISH: GALVANIZED. SOME PRODUCTS AVAILABLE IN STAINLESS STEEL AND Z-MAX

INSTALLATION: USE ALL SPECIFIED FASTNERS. SEE GENERAL NOTES. TS SHOULD BE INSTALLED IN PAIRS TO REDUCE ECCENTRICITY

PILE LEGEND

(34) 8" DIA. PRESSURE TREATED PILE MIN. 1.0 CCA TREATMENT MIN. 20 FEET LONG

VENTS CALCULATIONS (8"x16")

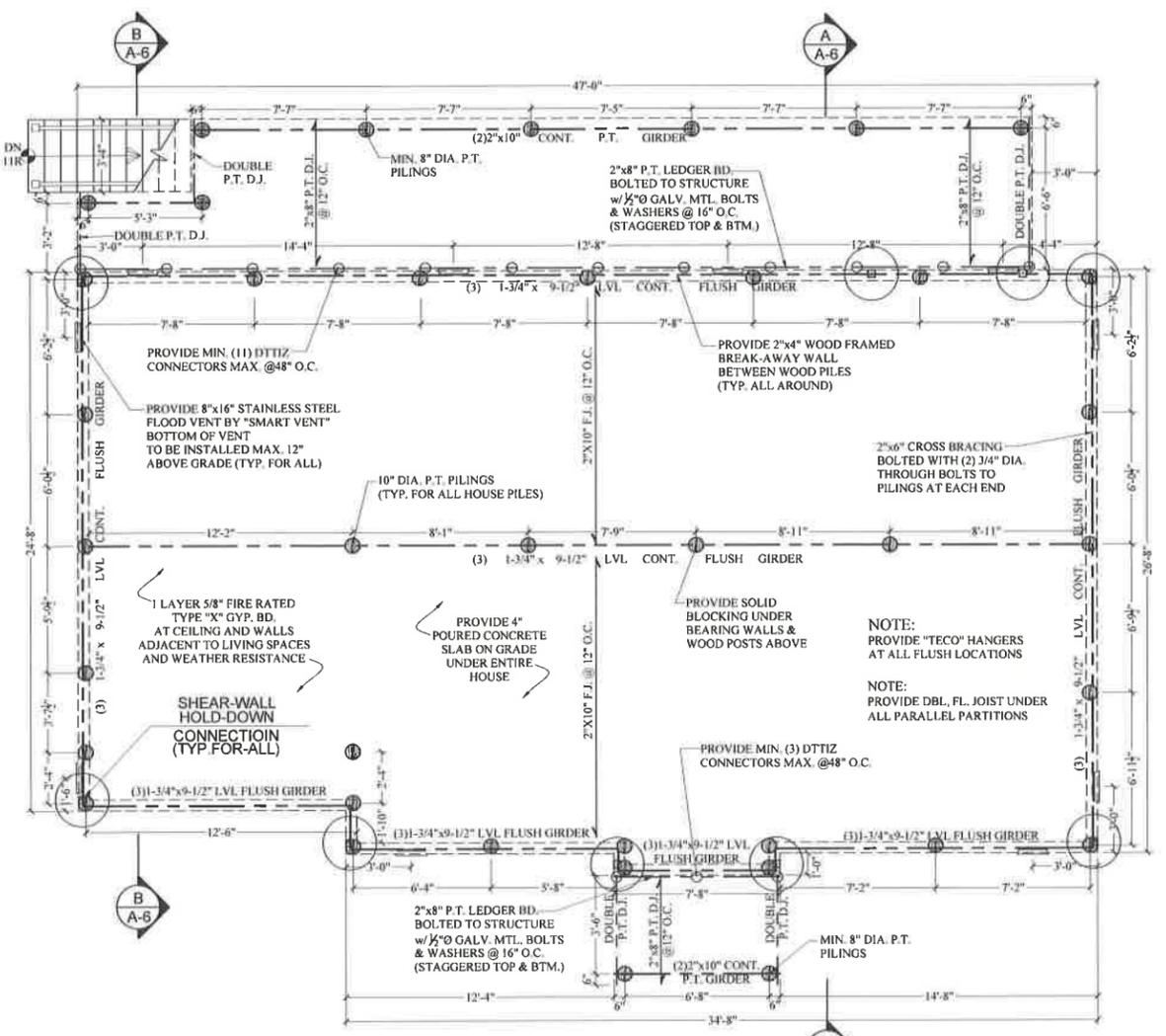
SMART VENT MODEL # 1540-510 COVERS 200 S.F. FLR. AREA FOR FLOOD COVERAGE AND 100 S.F. FOR AIR VENTILATION.

1,236 S.F./200 = 6.2 VENTS FOR FLOOD.

PROVIDED = 10 VENTS FOR CRAWL SPACE

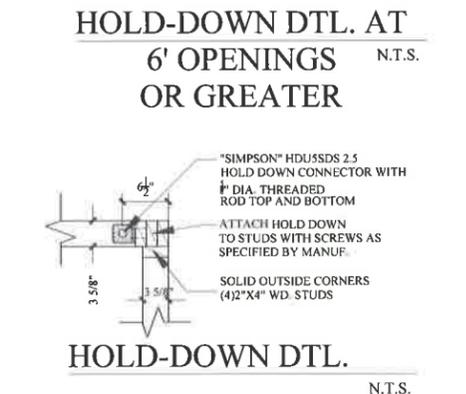
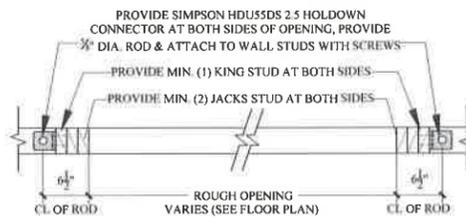
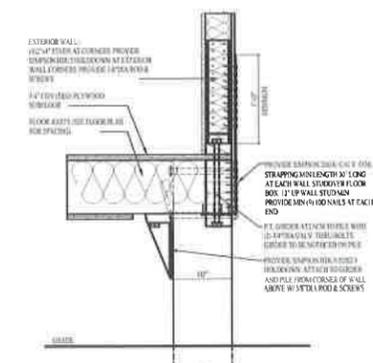
MECHANICAL VENTILATION NOTE:

WHERE LOCAL EXHAUST AND WHOLE-HOUSE MECHANICAL VENTILATION IS PROVIDED, THE EQUIPMENT SHALL BE DESIGNED AND INSTALLED AS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS AND AS PER SECTION M1507 OF THE 2020 N.Y.S. RBC



FOUNDATION PLAN

SCALE: 1/4"=1'-0"



IT IS A VIOLATION OF NYS LAW FOR ANYONE EXCEPT THE LICENSED ARCHITECT TO ALTER THESE PLANS IN ANYWAY

CHARLES J. BRUDI, R.A.
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SAYVILLE, N.Y. 11782
TEL.: (631) 244-9538
E-MAIL: cbrudi24@aol.com

PROPOSED NEW DWELLING AT
SPORTSMAN AVENUE, FREEPORT, N.Y. 11520

Project # 25-027
Scale AS NOTED
Date 03-08-25
Sheet #

Date	Revision / Issue
03/21/25	ISSUED FOR REVIEW
04/17/25	ISSUED FOR PERMIT REVIEW
06/19/25	REV. AS PER OWNER
07/14/25	REV. AS PER TOWN

Drawn By: M. MONTALBANO

Project # 25-027

Scale AS NOTED

Date 03-08-25

Sheet #

A-1

WALL LEGEND

- WALLS 2"x6" EXTERIOR AND 2"x4" WD. INTERIOR STUDS @ 16" O.C.
- 8" P.C. FOUND. WALL ON 16"x8" P.C. FTG.

NOTES:

- PROVIDE "SIMPSON B SERIES" JOIST HANGERS AT ALL APPLICABLE LOCATIONS.
- ALL BUILT UP MICROLAM HEADERS TO BE BOLTED OR NAILED AS PER MANUFACTURER'S REQUIREMENTS.
- DOUBLE ALL FLOOR JOISTS UNDER PARALLEL WALLS.
- ALL HEADERS NOT INDICATED TO BE MIN. (2) 2"x8" DOUG. FIR. LARCH # 2.
- DOUBLE ALL JOISTS AROUND ALL STAIR, FLOOR, CEILING & ROOF OPENINGS. (TYP.)
- ALL CATHEDRAL CEILINGS TO RECEIVE 5 1/2" R=21 BATT INSULATION WITH "RAFTER-R-MATE" BY OWENS CORNING TO ALLOW FOR ADEQUATE VENTING
- ALL POSTS TO RECEIVE SOLID WOOD BLOCKING TO FOUNDATION WALL OR GIRDER BELOW
- ALL CONNECTORS/CONNECTIONS IN CONTACT WITH ACQ (P.T.) LUMBER MUST BE APPROVED BY MANUFACTURER AND MUST HAVE A FINISH WITH EXTRA CORROSION RESISTANCE, EITHER STAINLESS STEEL, HOT-DIP GALVANIZED (HDG) OR ZMAX PROTECTION.

NOTE: ALL WINDOWS TO BE HIGH PERFORMANCE INSULATING GLASS WINDOWS AS MANUFACTURED BY "ANDERSEN 400 SERIES" OR EQUAL, DP30 SERIES.

TABLE P3201.7
SIZE OF TRAPS FOR PLUMBING FIXTURES

PLUMBING FIXTURE	TRAP SIZE MINIMUM (INCHES)
BATH TUB (WITH OR WITHOUT SHOWER HEAD AND/OR WHIRLPOOL ATTACHMENTS)	1-1/2
BIDET	1-1/4
CLOTHES WASHER STANDPIPE	2
DISHWASHER (ON SEPARATE TRAP)	1-1/2
FLOOR DRAIN	2
KITCHEN SINK ONE OR TWO TRAPS, WITH OR WITHOUT DISHWASHER AND FOOD WASTE DISPOSER	1-1/2
LAUNDRY TUB (ONE OR MORE COMPARTMENTS)	1-1/2
LAVATORY	1-1/4
SHOWER (BASED ON THE TOTAL FLOW RATE THROUGH SHOWERHEADS AND BODY SPRAYS) FLOW RATE:	
5.7 GPM AND LESS	1-1/2
MORE THAN 5.7 GPM UP TO 12.3 GPM	2
MORE THAN 12.3 GPM UP TO 25.8 GPM	3
MORE THAN 25.8 GPM UP TO 55.6 GPM	4

FOR SI: 1 INCH = 25.4 MM

RESIDENTIAL ENERGY EFFICIENCY NOTES: CHAPTER 5 OF THE 2020 NYS R.B.C.

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- THE PROVISIONS OF THIS CHAPTER SHALL CONTROL THE ALTERATION, REPAIR, ADDITION AND CHANGE OF OCCUPANCY OF EXISTING BUILDINGS AND STRUCTURES.

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R503.1: GENERAL.
- ALTERATIONS TO ANY BUILDING OR STRUCTURE SHALL COMPLY WITH THE REQUIREMENTS OF THE CODE FOR NEW CONSTRUCTION. ALTERATIONS SHALL BE SUCH THAT THE EXISTING BUILDING OR STRUCTURE IS NO LESS CONFORMING WITH THE PROVISIONS OF THIS CHAPTER THAN THE EXISTING BUILDING OR STRUCTURE WAS PRIOR TO THE ALTERATION.

LIGHTING & VENT NOTE:

AS PER THE 2020 N.Y.S. RBC SECTION 303, ALL HABITABLE ROOMS SHALL BE PROVIDED WITH A MIN. OF 4% NATURAL OR MECHANICAL VENTILATION & A MIN. OF 8% NATURAL OR ARTIFICIAL LIGHT.

EMERGENCY ESCAPE AND RESCUE OPENINGS NOTES: SECTION R310 OF THE 2020 N.Y.S. RBC

R310.1: EMERGENCY ESCAPE AND RESCUE OPENING REQUIRED.
BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE NOT LESS THAN ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY, OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY.

R310.2: EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE MINIMUM DIMENSIONS AS SPECIFIED IN THIS SECTION.

R310.2.1: MINIMUM OPENING AREA.
EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5.7 SQUARE FEET. THE CLEAR OPENING DIMENSIONS REQUIRED BY THIS SECTION SHALL BE OBTAINED BY THE NORMAL OPERATION OF THE EMERGENCY ESCAPE AND RESCUE OPENING FROM THE INSIDE. THE NET CLEAR HEIGHT OPENING SHALL BE NOT LESS THAN 24 INCHES AND THE NET CLEAR WIDTH SHALL BE NOT LESS THAN 20 INCHES.

R310.2.2: WINDOW SILL HEIGHT.
WHERE A WINDOW IS PROVIDED AS THE EMERGENCY ESCAPE AND RESCUE OPENING, IT SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR; WHERE THE SILL HEIGHT IS BELOW GRADE, IT SHALL BE PROVIDED WITH A WINDOW WELL IN ACCORDANCE WITH SECTION R310.2.3.

NOTE: CLEARANCES FROM FLAMMABLE MATERIALS ARE TO COMPLY WITH THE REQUIREMENTS IN THE 2020 NYS FIRE CODE AND MANUFACTURER'S RECOMMENDATIONS TO THE BUILDING INSPECTOR'S SATISFACTION.

RESIDENTIAL ENERGY EFFICIENCY NOTES: CHAPTER 4 OF THE 2020 NYS R.B.C.

R401.2: COMPLIANCE.
- PROJECTS SHALL COMPLY WITH SECTION R405 AND THE PROVISIONS OF SECTIONS R401 THROUGH R404 LABELED "MANDATORY".

R402.4: AIR LEAKAGE.
- THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH SECTIONS R402.4.1 THROUGH R402.4.4.

R403.1: CONTROLS.
- AT LEAST ONE THERMOSTAT SHALL BE PROVIDED FOR EACH SEPARATE HEATING AND COOLING SYSTEM.

R403.1.2: HEAT PUMP SUPPLEMENTARY HEAT.
- HEAT PUMPS HAVING SUPPLEMENTARY ELECTRIC-RESISTANCE HEAT SHALL HAVE CONTROLS THAT, EXCEPT DURING DEFROST, PREVENT SUPPLEMENTAL HEAT OPERATION WHEN THE HEAT PUMP COMPRESSOR CAN MEET THE HEATING LOAD.

R403.5.1: HEATED WATER CIRCULATION AND TEMPERATURE MAINTENANCE SYSTEMS.
- HEATED WATER CIRCULATION SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.1. HEAT TRACE TEMPERATURE MAINTENANCE SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION

R403.5.1.2: AUTOMATIC CONTROLS, TEMPERATURE SENSORS AND PUMPS SHALL BE ACCESSIBLE. MANUAL CONTROLS SHALL BE READILY ACCESSIBLE.

R403.5.3: HOT WATER PIPE INSULATION.
- HOT WATER PIPE SHALL BE INSULATED WITH A MINIMUM THERMAL RESISTANCE OF R-3.

R403.9: SNOW AND ICE MELTING SYSTEM CONTROLS.
- SNOW AND ICE MELTING SYSTEMS, SUPPLIED THROUGH ENERGY SERVICE TO THE BUILDING, SHALL INCLUDE AUTOMATIC CONTROLS CAPABLE OF SHUTTING OFF THE SYSTEM WHEN THE PAVEMENTS TEMPERATURE IS ABOVE 50°F, AND NO PRECIPITATION IS FALLING AND AN AUTOMATIC OR MANUAL CONTROL THAT WILL ALLOW SHUTOFF WHEN THE OUTDOOR TEMPERATURE IS ABOVE 40°.

R404.1: LIGHTING EQUIPMENT.
- NOT LESS THAN 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS OR NOT LESS THAN 75% OF THE PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH-EFFICACY LAMPS.

R402.4.5: RECESSED LIGHTING.
- RECESSED LUMINAIRES INSTALLED IN THE BUILDING ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. ALL RECESSED LUMINAIRES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE NOT MORE THAN 2.0 CFM WHEN TESTED IN ACCORDANCE WITH ASTM E 283 AT A 1.57 PSF PRESSURE DIFFERENTIAL. ALL RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CALK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING.

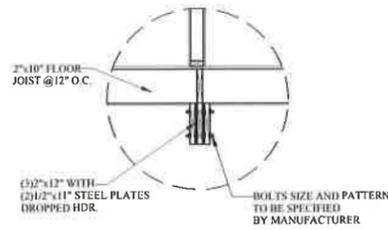
VENT NOTES: CHAPTER 31 OF THE 2020 N.Y.S. RBC

P3101.1: GENERAL.
THIS CHAPTER SHALL GOVERN THE SELECTION AND INSTALLATION OF PIPING, TUBING AND FITTINGS FOR VENT SYSTEMS. THIS CHAPTER SHALL CONTROL THE MINIMUM DIAMETER OF VENT PIPES, CIRCUIT VENTS, BRANCH VENTS AND INDIVIDUAL VENTS, AND THE SIZE AND LENGTH OF VENTS AND VENTILATION ASPECTS OF VENT STACKS AND STACK VENTS. ADDITIONALLY, THIS CHAPTER REGULATES VENT GRADES AND CONNECTIONS, HEIGHT ABOVE FIXTURES AND RELIEF VENTS FOR STACKS AND FIXTURE TRAPS, AND THE VENTING OF PUMPS AND SEWERS.

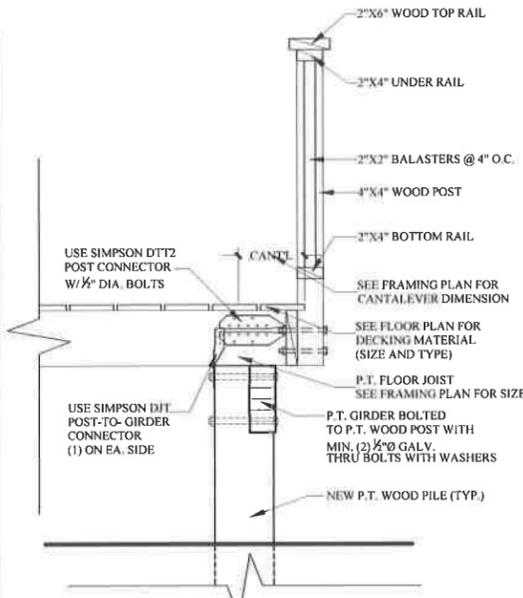
P3102.3: FROST CLOSURE.
WHERE THE 97.5% VALUE FOR OUTSIDE DESIGN TEMPERATURE IS 0°F OR LESS, VENT EXTENSIONS THROUGH A ROOF OR WALL SHALL BE NOT LESS THAN 3 INCHES IN DIAMETER. ANY INCREASE IN THE SIZE OF THE VENT SHALL BE MADE NOT LESS THAN 1 FOOT INSIDE THE THERMAL ENVELOPE OF THE BUILDING.

HOUSE TRAP NOTE:

P3201.4: BUILDING TRAPS.
- AS PER THIS SECTION IF BUILDING TRAPS ARE REMOVED, NEW ONES SHALL BE PROHIBITED



DETAIL 2 DTL.
N.T.S.



RAILING/DECK DTL.
N.T.S.

SMOKE ALARMS NOTES: SECTION R314 OF THE 2020 N.Y.S. RBC

R314.1: GENERAL.
SMOKE ALARMS SHALL COMPLY WITH NFPA 72 AND SECTION R314.

R314.1.1: LISTINGS.
SMOKE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 217. COMBINATION SMOKE AND CARBON MONOXIDE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 217 AND UL 2034.

R314.3: LOCATIONS.
SMOKE ALARMS SHALL BE PROVIDED IN THE LOCATIONS DETERMINED PURSUANT TO SECTION R314.1.

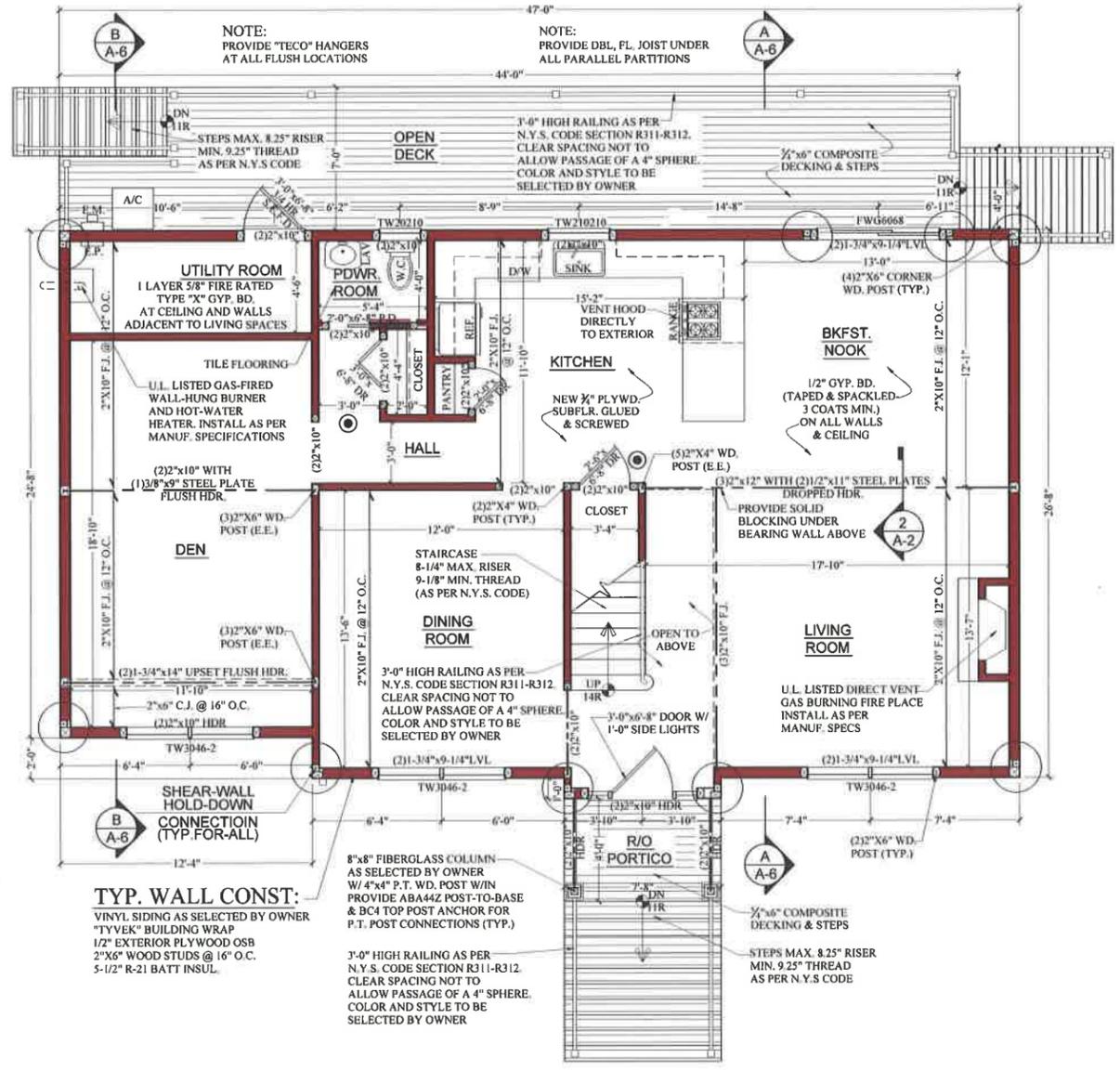
CARBON MONOXIDE DETECTION SYSTEMS NOTES: SECTION 915 OF THE 2020 N.Y.S. RBC

915.1: GENERAL.
CARBON MONOXIDE ALARMS AND CARBON MONOXIDE DETECTORS SHALL BE INSTALLED IN BUILDINGS AS REQUIRED IN ACCORDANCE WITH SECTION 915.2. AND IN ACCORDANCE WITH THE PROVISIONS OF NFPA 720.

915.2.3: REQUIRED LOCATIONS.
CARBON MONOXIDE ALARMS AND DETECTORS SHALL BE PROVIDED IN THE LOCATIONS DETERMINED PURSUANT TO SECTION 915.2.3.

MECHANICAL VENTILATION NOTE:

WHERE LOCAL EXHAUST AND WHOLE-HOUSE MECHANICAL VENTILATION IS PROVIDED, THE EQUIPMENT SHALL BE DESIGNED AND INSTALLED AS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS AND AS PER SECTION M1507 OF THE 2020 N.Y.S. RBC



TYP. WALL CONST:

- VINYL SIDING AS SELECTED BY OWNER
- "TYVEK" BUILDING WRAP
- 1/2" EXTERIOR PLYWOOD OSB
- 2"x6" WOOD STUDS @ 16" O.C.
- 5-1/2" R-21 BATT INSUL.
- 8"x8" FIBERGLASS COLUMN AS SELECTED BY OWNER
- W/4"x4" P.T. WOOD POST W/IN PROVIDE ABA442 POST-TO-BASE & BC4 TOP POST ANCHOR FOR P.T. POST CONNECTIONS (TYP.)
- 3'-0" HIGH RAILING AS PER N.Y.S. CODE SECTION R311-R312. CLEAR SPACING NOT TO ALLOW PASSAGE OF A 4" SPHERE. COLOR AND STYLE TO BE SELECTED BY OWNER
- 1/2" EXTERIOR PLYWOOD OSB
- 2"x6" WOOD STUDS @ 16" O.C.
- 5-1/2" R-21 BATT INSUL.

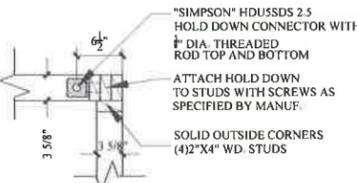
FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"

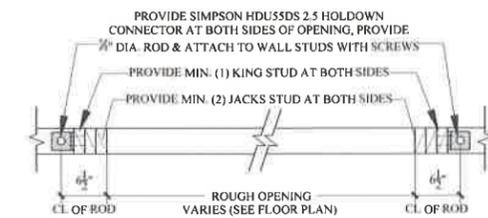
⊙ DENOTES HARD WIRED SMOKE & CARBON MONOXIDE DETECTOR, INSTALL AS PER SECTION R314 OF THE 2020 N.Y.S. RESIDENTIAL BUILDING CODE. MAINTAIN A MIN. DISTANCE OF 3' FROM ANY BATHROOM DOORS

LIGHT & VENT CALCULATIONS

SPACE	SQ.FT.	REQUIRED		PROVIDED	
		8% LIGHT	4% VENT	LIGHT	VENT
MASTER BEDROOM	224 S.F.	17.92 S.F.	8.96 S.F.	28.13 S.F.	15.73 S.F.
BEDROOM #2	143 S.F.	11.44 S.F.	5.72 S.F.	28.13 S.F.	15.73 S.F.
BEDROOM #3	170 S.F.	13.6 S.F.	6.8 S.F.	28.13 S.F.	15.73 S.F.
BEDROOM #4	132 S.F.	10.56 S.F.	5.28 S.F.	28.13 S.F.	15.73 S.F.



HOLD-DOWN DTL.
N.T.S.



HOLD-DOWN DTL. AT 6' OPENINGS OR GREATER
N.T.S.



IT IS A VIOLATION OF NYS LAW FOR ANYONE EXCEPT THE LICENSED ARCHITECT TO ALTER THESE PLANS IN ANYWAY

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FIRST FLOOR PLAN AND DETAILS

Project Name & Address
Project No. 62-88-1 & 2

Date	Revision / Issue
03/21/25	ISSUED FOR REVIEW
04/17/25	ISSUED FOR PERMIT REVIEW
06/19/25	REV. AS PER OWNER
07/14/25	REV. AS PER TOWN

Drawn By: M. MONTALBANO

Project # 25-027

Scale AS NOTED

Date 03-08-25

Sheet #

A-2

PROPOSED NEW DWELLING AT
SPORTSMAN AVENUE, FREEPORT, N.Y. 11520

WALL LEGEND

- WALLS 2"x6" EXTERIOR AND 2"x4" WD. INTERIOR STUDS @ 16" O.C.
- 8" P.C. FOUND. WALL ON 16"x8" P.C. FTG.

NOTES:

- PROVIDE "SIMPSON B SERIES" JOIST HANGERS AT ALL APPLICABLE LOCATIONS.
- ALL BUILT UP MICROLAM HEADERS TO BE BOLTED OR NAILED AS PER MANUFACTURER'S REQUIREMENTS.
- DOUBLE ALL FLOOR JOISTS UNDER PARALLEL WALLS.
- ALL HEADERS NOT INDICATED TO BE MIN. (2) 2"x8" DOUG. FIR. LARCH # 2.
- DOUBLE ALL JOISTS AROUND ALL STAIR, FLOOR, CEILING & ROOF OPENINGS. (TYP.)
- ALL CATHEDRAL CEILINGS TO RECEIVE 5 1/2" R=21 BATT INSULATION WITH "RAFTER-R-MATE" BY OWENS CORNING TO ALLOW FOR ADEQUATE VENTING
- ALL POSTS TO RECEIVE SOLID WOOD BLOCKING TO FOUNDATION WALL OR GIRDER BELOW
- ALL CONNECTORS/CONNECTIONS IN CONTACT WITH ACQ (P.T.) LUMBER MUST BE APPROVED BY MANUFACTURER AND MUST HAVE A FINISH WITH EXTRA CORROSION RESISTANCE, EITHER STAINLESS STEEL, HOT-DIP GALVANIZED (HDG) OR ZMAX PROTECTION.

NOTE: ALL WINDOWS TO BE HIGH PERFORMANCE INSULATING GLASS WINDOWS AS MANUFACTURED BY "ANDERSEN 400 SERIES" OR EQUAL. DP30 SERIES.

TABLE P3201.7
SIZE OF TRAPS FOR PLUMBING FIXTURES

PLUMBING FIXTURE	TRAP SIZE MINIMUM (INCHES)
BATH TUB (WITH OR WITHOUT SHOWER HEAD AND/OR WHIRLPOOL ATTACHMENTS)	1-1/2
BIDET	1-1/4
CLOTHES WASHER STANDPIPE	2
DISHWASHER (ON SEPARATE TRAP)	1-1/2
FLOOR DRAIN	2
KITCHEN SINK (ONE OR TWO TRAPS, WITH OR WITHOUT DISHWASHER AND FOOD WASTE DISPOSER)	1-1/2
LAUNDRY TUB (ONE OR MORE COMPARTMENTS)	1-1/2
LAVATORY	1-1/4
SHOWER (BASED ON THE TOTAL FLOW RATE THROUGH SHOWERHEADS AND BODY SPRAYS) FLOW RATE:	
5.7 GPM AND LESS	1-1/2
MORE THAN 5.7 GPM UP TO 12.3 GPM	2
MORE THAN 12.3 GPM UP TO 25.8 GPM	3
MORE THAN 25.8 GPM UP TO 55.6 GPM	4

FOR SI: 1 INCH = 25.4 MM

**RESIDENTIAL ENERGY EFFICIENCY NOTES:
CHAPTER 5 OF THE 2020 NYS R.B.C.**

R501.1: SCOPE.
- THE PROVISIONS OF THIS CHAPTER SHALL CONTROL THE ALTERATION, REPAIR, ADDITION AND CHANGE OF OCCUPANCY OF EXISTING BUILDINGS AND STRUCTURES.

501.1.1: ADDITIONS, ALTERATIONS, OR REPAIR: GENERAL.
- ADDITIONS, ALTERATIONS, OR REPAIRS TO AN EXISTING BUILDING, BUILDING SYSTEM OR PORTION THEREOF SHALL COMPLY WITH SECTIONS R502, R503 OR 504. UNALTERED PORTIONS OF THE EXISTING BUILDING OR BUILDING SUPPLY SYSTEM SHALL NOT BE REQUIRED TO COMPLY WITH THIS CODE.

R501.1: EXISTING BUILDINGS.
- EXCEPT AS SPECIFIED IN THIS CHAPTER, THIS CODE SHALL NOT BE USED TO REQUIRE THE REMOVAL, ALTERATION OR ABANDONMENT OF, NOR PREVENT THE CONTINUED USE AND MAINTENANCE OF, AN EXISTING BUILDING OR BUILDING SYSTEM LAWFULLY IN EXISTENCE AT THE SAME TIME OF ADOPTION OF THIS CODE.

R503.1: GENERAL.
- ALTERATIONS TO ANY BUILDING OR STRUCTURE SHALL COMPLY WITH THE REQUIREMENTS OF THE CODE FOR NEW CONSTRUCTION. ALTERATIONS SHALL BE SUCH THAT THE EXISTING BUILDING OR STRUCTURE IS NO LESS CONFORMING WITH THE PROVISIONS OF THIS CHAPTER THAN THE EXISTING BUILDING OR STRUCTURE WAS PRIOR TO THE ALTERATION.

LIGHTING & VENT NOTE:

AS PER THE 2020 N.Y.S. R.B.C SECTION 303, ALL HABITABLE ROOMS SHALL BE PROVIDED WITH A MIN. OF 4% NATURAL OR MECHANICAL VENTILATION & A MIN. OF 8% NATURAL OR ARTIFICIAL LIGHT.

**RESIDENTIAL ENERGY EFFICIENCY NOTES:
CHAPTER 4 OF THE 2020 NYS R.B.C.**

R401.2: COMPLIANCE.
- PROJECTS SHALL COMPLY WITH SECTION R405 AND THE PROVISIONS OF SECTIONS R401 THROUGH R404 LABELED "MANDATORY".

R402.4: AIR LEAKAGE.
- THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH SECTIONS R402.4.1 THROUGH R402.4.4.

R403.1: CONTROLS.
- AT LEAST ONE THERMOSTAT SHALL BE PROVIDED FOR EACH SEPARATE HEATING AND COOLING SYSTEM.

R403.1.2: HEAT PUMP SUPPLEMENTARY HEAT.
- HEAT PUMPS HAVING SUPPLEMENTARY ELECTRIC-RESISTANCE HEAT SHALL HAVE CONTROLS THAT, EXCEPT DURING DEFROST, PREVENT SUPPLEMENTAL HEAT OPERATION WHEN THE HEAT PUMP COMPRESSOR CAN MEET THE HEATING LOAD.

R403.5.1: HEATED WATER CIRCULATION AND TEMPERATURE MAINTENANCE SYSTEMS.
- HEATED WATER CIRCULATION SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.1. HEAT TRACE TEMPERATURE MAINTENANCE SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.2.

R403.5.1.1: HEATED WATER CIRCULATION AND TEMPERATURE MAINTENANCE SYSTEMS.
- HEATED WATER CIRCULATION SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.1. HEAT TRACE TEMPERATURE MAINTENANCE SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.1.

R403.5.1.2: AUTOMATIC CONTROLS, TEMPERATURE SENSORS AND PUMPS SHALL BE ACCESSIBLE. MANUAL CONTROLS SHALL BE READILY ACCESSIBLE.

R403.5.3: HOT WATER PIPE INSULATION.
- HOT WATER PIPE SHALL BE INSULATED WITH A MINIMUM THERMAL RESISTANCE OF R-3.

R403.9: SNOW AND ICE MELTING SYSTEM CONTROLS.
- SNOW AND ICE MELTING SYSTEMS, SUPPLIED THROUGH ENERGY SERVICE TO THE BUILDING, SHALL INCLUDE AUTOMATIC CONTROLS CAPABLE OF SHUTTING OFF THE SYSTEM WHEN THE PAVEMENTS TEMPERATURE IS ABOVE 50°F, AND NO PRECIPITATION IS FALLING AND AN AUTOMATIC OR MANUAL CONTROL THAT WILL ALLOW SHUTOFF WHEN THE OUTDOOR TEMPERATURE IS ABOVE 40°F.

R404.1: LIGHTING EQUIPMENT.
- NOT LESS THAN 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS OR NOT LESS THAN 75% OF THE PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH-EFFICACY LAMPS.

R402.4.5: RECESSED LIGHTING.
- RECESSED LUMINAIRES INSTALLED IN THE BUILDING ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. ALL RECESSED LUMINAIRES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE NOT MORE THAN 2 CFM WHEN TESTED IN ACCORDANCE WITH ASTM E 283 AT A 1.57 PSF PRESSURE DIFFERENTIAL. ALL RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING.

VENT NOTES: CHAPTER 31 OF THE 2020 N.Y.S. R.B.C

P3101.1: GENERAL.
THIS CHAPTER SHALL GOVERN THE SELECTION AND INSTALLATION OF PIPING, TUBING AND FITTINGS FOR VENT SYSTEMS. THIS CHAPTER SHALL CONTROL THE MINIMUM DIAMETER OF VENT PIPES, CIRCUIT VENTS, BRANCH VENTS AND INDIVIDUAL VENTS, AND THE SIZE AND LENGTH OF VENTS AND VARIOUS ASPECTS OF VENT STACKS AND STACK VENTS. ADDITIONALLY, THIS CHAPTER REGULATES VENT GRADES AND CONNECTIONS, HEIGHT ABOVE FIXTURES AND RELIEF VENTS FOR STACKS AND FIXTURE TRAPS, AND THE VENTING OF SUMPS AND SEWERS.

P3103.2: FROST CLOSURE.
WHERE THE 97.5% VALUE FOR OUTSIDE DESIGN TEMPERATURE IS 0°F OR LESS, VENT EXTENSIONS THROUGH A ROOF OR WALL SHALL BE NOT LESS THAN 3 INCHES IN DIAMETER. ANY INCREASE IN THE SIZE OF THE VENT SHALL BE MADE NOT LESS THAN 1 FOOT INSIDE THE THERMAL ENVELOPE OF THE BUILDING.

HOUSE TRAP NOTE:

P3201.4: BUILDING TRAPS.
- AS PER THIS SECTION IF BUILDING TRAPS ARE REMOVED, NEW ONES SHALL BE PROHIBITED

NOTE: CLEARANCES FROM FLAMMABLE MATERIALS ARE TO COMPLY WITH THE REQUIREMENTS IN THE 2020 NYS FIRE CODE AND MANUFACTURER'S RECOMMENDATIONS TO THE BUILDING INSPECTOR'S SATISFACTION.

**EMERGENCY ESCAPE AND RESCUE OPENINGS NOTES:
SECTION R310 OF THE 2020 N.Y.S. R.B.C**

R310.1: EMERGENCY ESCAPE AND RESCUE OPENING REQUIRED.
BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE NOT LESS THAN ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY, OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY.

R310.2: EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE MINIMUM DIMENSIONS AS SPECIFIED IN THIS SECTION.

R310.2.1: MINIMUM OPENING AREA.
EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5.7 SQUARE FEET. THE CLEAR OPENING DIMENSIONS REQUIRED BY THIS SECTION SHALL BE OBTAINED BY THE NORMAL OPERATION OF THE EMERGENCY ESCAPE AND RESCUE OPENING FROM THE INSIDE. THE NET CLEAR HEIGHT OPENING SHALL BE NOT LESS THAN 24 INCHES AND THE NET CLEAR WIDTH SHALL BE NOT LESS THAN 20 INCHES.

R310.2.2: WINDOW SILL HEIGHT.
WHERE A WINDOW IS PROVIDED AS THE EMERGENCY ESCAPE AND RESCUE OPENING, IT SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR; WHERE THE SILL HEIGHT IS BELOW GRADE, IT SHALL BE PROVIDED WITH A WINDOW WELL IN ACCORDANCE WITH SECTION R310.2.3.

**SMOKE ALARMS NOTES:
SECTION R314 OF THE 2020 N.Y.S. R.B.C**

R314.1: GENERAL.
SMOKE ALARMS SHALL COMPLY WITH NFPA 72 AND SECTION R314.

R314.1.1: LISTINGS.
SMOKE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 217. COMBINATION SMOKE AND CARBON MONOXIDE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 217 AND UL 2034.

R314.3: LOCATIONS.
SMOKE ALARMS SHALL BE PROVIDED IN THE LOCATIONS DETERMINED PURSUANT TO SECTION R314.3.

**CARBON MONOXIDE DETECTION SYSTEMS NOTES:
SECTION 915 OF THE 2020 N.Y.S. R.B.C**

915.1: GENERAL.
CARBON MONOXIDE ALARMS AND CARBON MONOXIDE DETECTORS SHALL BE INSTALLED IN BUILDINGS AS REQUIRED IN THE PROVISIONS OF NFPA 720.

915.2.3: REQUIRED LOCATIONS.
CARBON MONOXIDE ALARMS AND DETECTORS SHALL BE PROVIDED IN THE LOCATIONS DETERMINED PURSUANT TO SECTION 915.2.3.

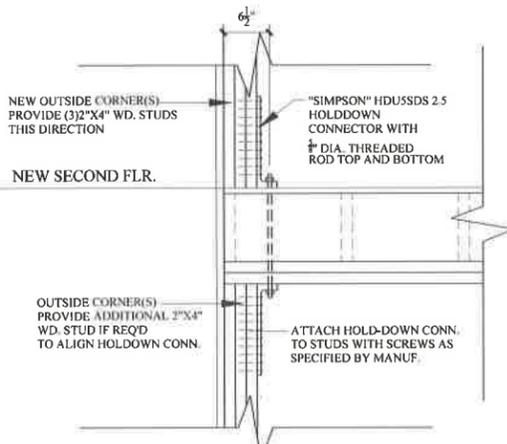
MECHANICAL VENTILATION NOTE:

WHERE LOCAL EXHAUST AND WHOLE-HOUSE MECHANICAL VENTILATING IS PROVIDED, THE EQUIPMENT SHALL BE DESIGNED AND INSTALLED AS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS AND AS PER SECTION M1507 OF THE 2020 N.Y.S. R.B.C

TABLE R301.5
MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS
(IN PONDS PER SQUARE FOOT)

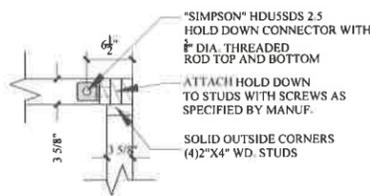
USE	LIVE LOAD
UNINHABITABLE ATTICS WITHOUT STORAGE	10
UNINHABITABLE ATTICS WITH LIMITED STORAGE	20
HABITABLE ATTICS AND ATTICS SERVED WITH FIXED STAIRS	30
BALCONIES (EXTERIOR) AND DECKS	40
FIRE ESCAPES	40
GUARD AND HANDRAILS	200
GUARD IN-FILL COMPONENTS	50
PASSENGER VEHICLES GARAGES	50
ROOMS OTHER THAN SLEEPING ROOMS	40
SLEEPING ROOMS	30
STAIRS	40

FOR SUB-NOTES REFER TO THE 2020 NYS R.B.C.



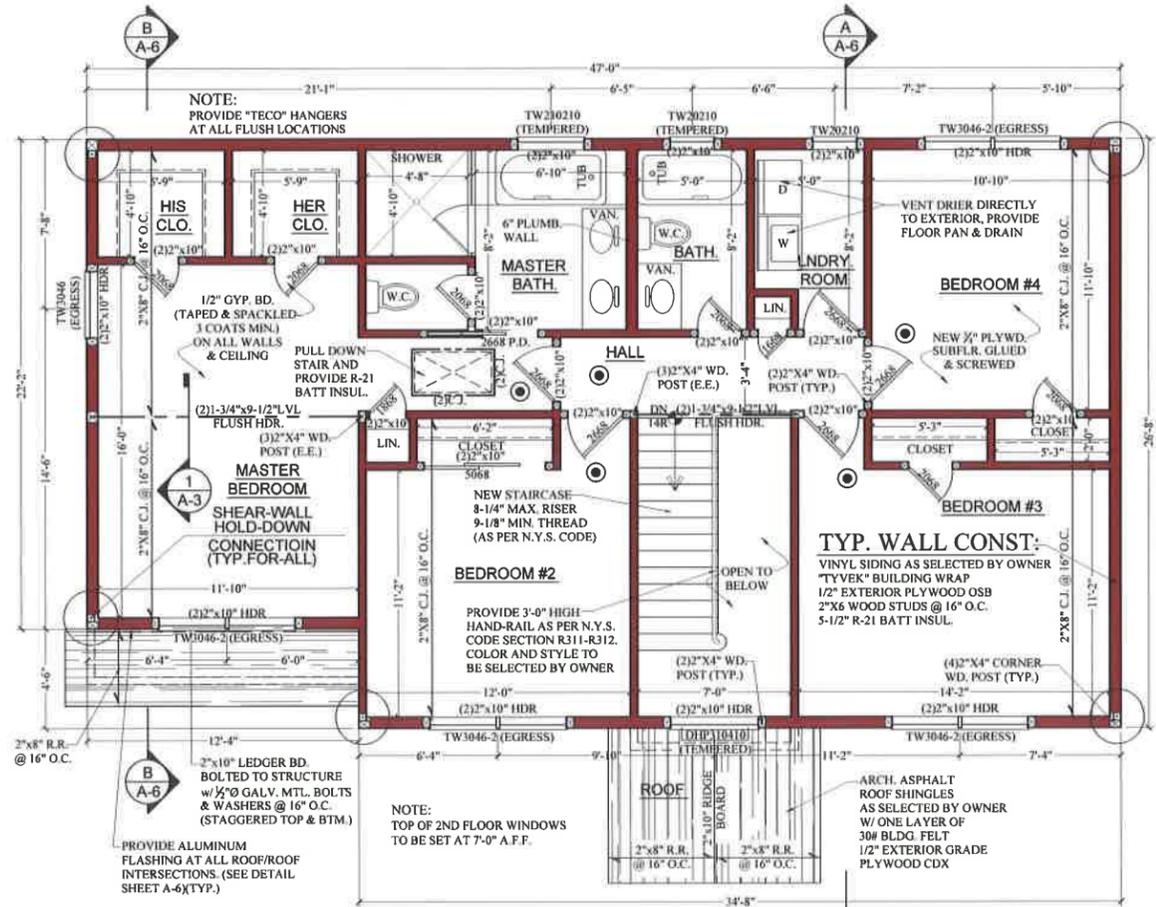
HOLD-DOWN DTL.

N.T.S.



HOLD-DOWN DTL.

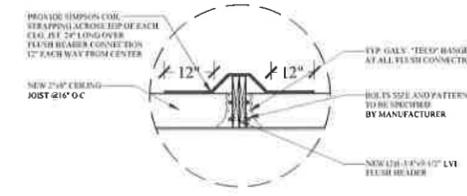
N.T.S.



SECOND FLOOR PLAN

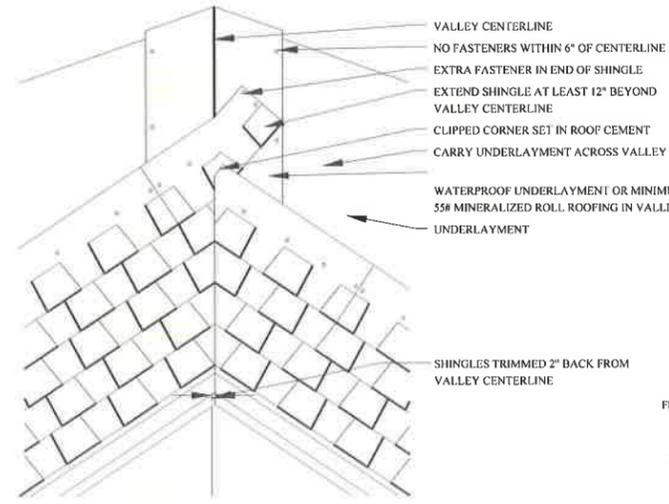
SCALE: 1/4"=1'-0"

⊙ DENOTES HARD WIRED SMOKE & CARBON MONOXIDE DETECTOR, INSTALL AS PER SECTION R314 OF THE 2020 N.Y.S. RESIDENTIAL BUILDING CODE. MAINTAIN A MIN. DISTANCE OF 3' FROM ANY BATHROOM DOORS



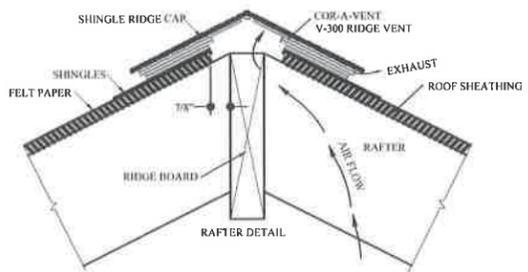
DETAIL 1 DTL.

N.T.S.



TYP. CLOSED-CUT VALLEY CONST. DTL.

N.T.S.



TYP. COR-A-VENT V-300 DTL.

N.T.S.



IT IS A VIOLATION OF NYS LAW FOR ANYONE EXCEPT THE LICENSED ARCHITECT TO ALTER THESE PLANS IN ANYWAY

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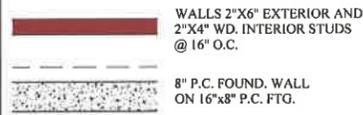
SECOND FLOOR PLAN AND DETAILS

Project Name & Address
Project #: 25-027
Scale: AS NOTED
Date: 03-08-25
Sheet #

Date	Revision / Issue
03/21/25	ISSUED FOR REVIEW
04/17/25	ISSUED FOR PERMIT REVIEW
06/19/25	REV. AS PER OWNER
07/14/25	REV. AS PER TOWN

Drawn By: M. MONTALBANO

WALL LEGEND



NOTES:

- 1.) PROVIDE "SIMPSON B SERIES" JOIST HANGERS AT ALL APPLICABLE LOCATIONS.
- 2.) ALL BUILT UP MICROLAM HEADERS TO BE BOLTED OR NAILED AS PER MANUFACTURER'S REQUIREMENTS.
- 3.) DOUBLE ALL FLOOR JOISTS UNDER PARALLEL WALLS.
- 4.) ALL HEADERS NOT INDICATED TO BE MIN. (2) 2"x8" DOUG. FIR. LARCH # 2.
- 5.) DOUBLE ALL JOISTS AROUND ALL STAIR, FLOOR, CEILING & ROOF OPENINGS. (TYP.)
- 6.) ALL CATHEDRAL CEILINGS TO RECEIVE 5 1/2" R=21 BATT INSULATION WITH "RAFTER-R-MATE" BY OWENS CORNING TO ALLOW FOR ADEQUATE VENTING
- 7.) ALL POSTS TO RECEIVE SOLID WOOD BLOCKING TO FOUNDATION WALL OR GIRDER BELOW
- 8.) ALL CONNECTORS/CONNECTIONS IN CONTACT WITH ACQ (P.T.) LUMBER MUST BE APPROVED BY MANUFACTURER AND MUST HAVE A FINISH WITH EXTRA CORROSION RESISTANCE, EITHER STAINLESS STEEL, HOT-DIP GALVANIZED (HDG) OR ZMAX PROTECTION.

NOTE:
ALL WINDOWS TO BE HIGH PERFORMANCE INSULATING GLASS WINDOWS AS MANUFACTURED BY "ANDERSEN 400 SERIES" OR EQUAL, DP30 SERIES.

TABLE R301.5
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USE	LIVE LOAD
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UNINHABITABLE ATTICS WITH LIMITED STORAGE ²	20
HABITABLE ATTICS AND ATTICS SERVED WITH FIXED STAIRS	30
BALCONIES (EXTERIOR) AND DECK ³	40
FIRE ESCAPES	40
GUARD AND HANDRAIL ³	20 ^d
GUARD IN-FILL COMPONENTS	50 ^a
PASSENGER VEHICLES GARAGES	50 ^a
ROOMS OTHER THAN SLEEPING ROOMS	40
SLEEPING ROOMS	30
STAIRS	40 ^c

FOR SUB-NOTES REFER TO THE 2020 NYS R.B.C.

RESIDENTIAL ENERGY EFFICIENCY NOTES:
CHAPTER 5 OF THE 2020 NYS R.B.C.

R501.1: SCOPE.
- THE PROVISIONS OF THIS CHAPTER SHALL CONTROL THE ALTERATION, REPAIR, ADDITION AND CHANGE OF OCCUPANCY OF EXISTING BUILDINGS AND STRUCTURES.

501.1.1: ADDITIONS, ALTERATIONS, OR REPAIR: GENERAL.
- ADDITIONS, ALTERATIONS, OR REPAIRS TO AN EXISTING BUILDING, BUILDING SYSTEM OR PORTION THEREOF SHALL COMPLY WITH SECTIONS R502, R503 OR 504. UNALTERED PORTIONS OF THE EXISTING BUILDING OR BUILDING SUPPLY SYSTEM SHALL NOT BE REQUIRED TO COMPLY WITH THIS CODE.

R501.1: EXISTING BUILDINGS.
- EXCEPT AS SPECIFIED IN THIS CHAPTER, THIS CODE SHALL NOT BE USED TO REQUIRE THE REMOVAL, ALTERATION OR ABANDONMENT OF, NOR PREVENT THE CONTINUED USE AND MAINTENANCE OF, AN EXISTING BUILDING OR BUILDING SYSTEM LAWFULLY IN EXISTENCE AT THE SAME TIME OF ADOPTION OF THIS CODE.

R503.1: GENERAL.
- ALTERATIONS TO ANY BUILDING OR STRUCTURE SHALL COMPLY WITH THE REQUIREMENTS OF THE CODE FOR NEW CONSTRUCTION. ALTERATIONS SHALL BE SUCH THAT THE EXISTING BUILDING OR STRUCTURE IS NO LESS CONFORMING WITH THE PROVISIONS OF THIS CHAPTER THAN THE EXISTING BUILDING OR STRUCTURE WAS PRIOR TO THE ALTERATION.

LIGHTING & VENT NOTE:

AS PER THE 2020 N.Y.S. R.B.C SECTION 303, ALL HABITABLE ROOMS SHALL BE PROVIDED WITH A MIN. OF 4% NATURAL OR MECHANICAL VENTILATION & A MIN. OF 8% NATURAL OR ARTIFICIAL LIGHT.

RESIDENTIAL ENERGY EFFICIENCY NOTES:
CHAPTER 4 OF THE 2020 NYS R.B.C.

R401.2: COMPLIANCE.
- PROJECTS SHALL COMPLY WITH SECTION R405 AND THE PROVISIONS OF SECTIONS R401 THROUGH R404 LABELED "MANDATORY".

R402.4: AIR LEAKAGE.
- THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH SECTIONS R402.4.1 THROUGH R402.4.4.

R403.1: CONTROLS.
- AT LEAST ONE THERMOSTAT SHALL BE PROVIDED FOR EACH SEPARATE HEATING AND COOLING SYSTEM.

R403.1.2: HEAT PUMP SUPPLEMENTARY HEAT.
- HEAT PUMPS HAVING SUPPLEMENTARY ELECTRIC-RESISTANCE HEAT SHALL HAVE CONTROLS THAT, EXCEPT DURING DEFROST, PREVENT SUPPLEMENTAL HEAT OPERATION WHEN THE HEAT PUMP COMPRESSOR CAN MEET THE HEATING LOAD.

R403.5.1: HEATED WATER CIRCULATION AND TEMPERATURE MAINTENANCE SYSTEMS.
- HEATED WATER CIRCULATION SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.1. HEAT TRACE TEMPERATURE MAINTENANCE SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION

R403.5.1.2. AUTOMATIC CONTROLS, TEMPERATURE SENSORS AND PUMPS SHALL BE ACCESSIBLE. MANUAL CONTROLS SHALL BE READILY ACCESSIBLE.

R403.5.3: HOT WATER PIPE INSULATION.
- HOT WATER PIPE SHALL BE INSULATED WITH A MINIMUM THERMAL RESISTANCE OF R-3.

R403.9: SNOW AND ICE MELTING SYSTEM CONTROLS.
- SNOW AND ICE MELTING SYSTEMS, SUPPLIED THROUGH ENERGY SERVICE TO THE BUILDING, SHALL INCLUDE AUTOMATIC CONTROLS CAPABLE OF SHUTTING OFF THE SYSTEM WHEN THE PAVEMENTS TEMPERATURE IS ABOVE 50°F, AND NO PRECIPITATION IS FALLING AND AN AUTOMATIC OR MANUAL CONTROL THAT WILL ALLOW SHUTOFF WHEN THE OUTDOOR TEMPERATURE IS ABOVE 40°.

R404.1: LIGHTING EQUIPMENT.
- NOT LESS THAN 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH EFFICACY LAMPS OR NOT LESS THAN 75% OF THE PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH-EFFICACY LAMPS.

R402.4.5: RECESSED LIGHTING.
- RECESSED LUMINAIRES INSTALLED IN THE BUILDING ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. ALL RECESSED LUMINAIRES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE NOT MORE THAN 2.0 CFM WHEN TESTED IN ACCORDANCE WITH ASTM E 283 AT A 1.57 PSF PRESSURE DIFFERENTIAL. ALL RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING.

VENT NOTES: CHAPTER 31 OF THE 2020 N.Y.S. RBC

P3101.1: GENERAL.
THIS CHAPTER SHALL GOVERN THE SELECTION AND INSTALLATION OF PIPING, TUBING AND FITTINGS FOR VENT SYSTEMS. THIS CHAPTER SHALL CONTROL THE MINIMUM DIAMETER OF VENT PIPES, CIRCUIT VENTS, BRANCH VENTS AND INDIVIDUAL VENTS, AND THE SIZE AND LENGTH OF VENTS AND VARIOUS ASPECTS OF VENT STACKS AND STACK VENTS. ADDITIONALLY, THIS CHAPTER REGULATES VENT GRADES AND CONNECTIONS, HEIGHT ABOVE FIXTURES AND RELIEF VENTS FOR STACKS AND FIXTURE TRAPS, AND THE VENTING OF SUMPS AND SEWERS.

P3103.2: FROST CLOSURE.
WHERE THE 97.5% VALUE FOR OUTSIDE DESIGN TEMPERATURE IS 0°F OR LESS, VENT EXTENSIONS THROUGH A ROOF OR WALL SHALL BE NOT LESS THAN 3 INCHES IN DIAMETER. ANY INCREASE IN THE SIZE OF THE VENT SHALL BE MADE NOT LESS THAN 1 FOOT INSIDE THE THERMAL ENVELOPE OF THE BUILDING.

MECHANICAL VENTILATION NOTE:

WHERE LOCAL EXHAUST AND WHOLE-HOUSE MECHANICAL VENTILATING IS PROVIDED, THE EQUIPMENT SHALL BE DESIGNED AND INSTALLED AS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS AND AS PER SECTION M1.507 OF THE 2020 N.Y.S. RBC.

REQUIREMENTS FOR ROOF COVERING NOTES:
SECTION R905 OF THE 2020 N.Y.S. RBC

R905.1: ROOF COVERING APPLICATION.
ROOF COVERINGS SHALL BE APPLIED IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THIS SECTION AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. UNLESS OTHERWISE SPECIFIED IN THIS SECTION, ROOF COVERINGS SHALL BE INSTALLED TO RESIST THE COMPONENT AND CLADDING LOADS SPECIFIED IN TABLE R301.2(2), ADJUSTED FOR HEIGHT AND EXPOSURE IN ACCORDANCE WITH TABLE R301.2(3).

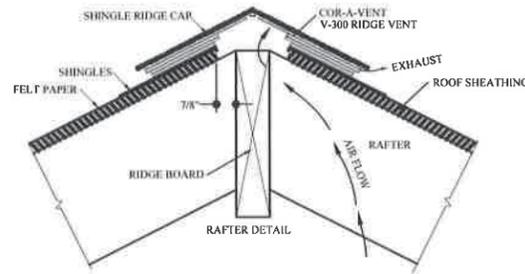
R905.1.2: ICE BARRIERS.
IN AREAS WHERE THERE HAS BEEN A HISTORY OF ICE FORMING ALONG THE EAVES CAUSING A BACK-UP OF WATER AS DESIGNATED IN TABLE R301.2(1), AN ICE BARRIER SHALL BE INSTALLED FOR ASPHALT SHINGLES, METAL ROOF SHINGLES, MINERAL-SURFACED ROLL ROOFING, SLATE AND SLATE-TYPE SHINGLES, WOOD SHINGLES AND WOOD SHAKES. THE ICE BARRIER SHALL CONSIST OF NOT FEWER THAN TWO LAYERS OF UNDERLAYMENT CEMENTED TOGETHER, OR A SELF-ADHERING POLYMER-MODIFIED BITUMEN SHEET SHALL BE USED IN PLACE OF NORMAL UNDERLAYMENT AND EXTEND FROM THE LOWEST EDGES OF ALL ROOF SURFACES TO A POINT NOT LESS THAN 24" INSIDE THE EXTERIOR WALL LINE OF THE BUILDING. ON ROOFS WITH SLOPE EQUAL TO OR GREATER THAN 8 UNITS VERTICALLY AND 12 UNITS HORIZONTALLY, THE ICE BARRIER SHALL ALSO BE APPLIED NOT LESS THAN 36" ALONG THE ROOF SLOPE FROM THE EAVE EDGE OF THE BUILDING.

EXCEPTION:
DETACHED ACCESSORY STRUCTURES NOT CONTAINING CONDITIONED FLOOR AREA.

TABLE P3201.7.
SIZE OF TRAPS FOR PLUMBING FIXTURES

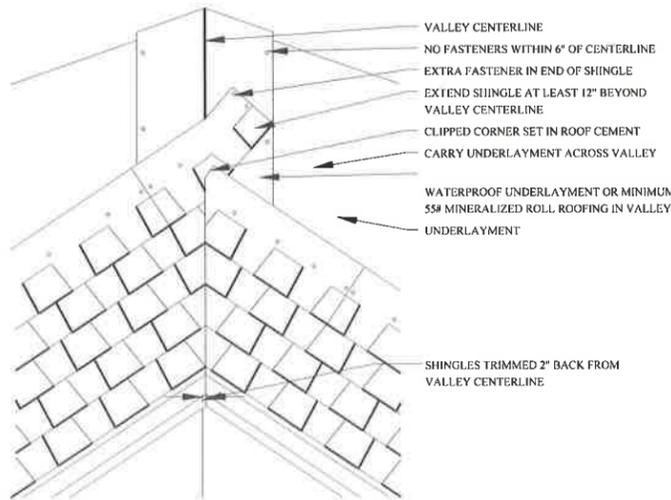
PLUMBING FIXTURE	TRAP SIZE MINIMUM (INCHES)
BATHTUB (WITH OR WITHOUT SHOWER HEAD AND/OR WHIRLPOOL ATTACHMENTS)	1-1/2
BIDET	1-1/4
CLOTHES WASHER STANDPIPE	2
DISH WASHER (ON SEPARATE TRAP)	1-1/2
FLOOR DRAIN	2
KITCHEN SINK 90NE OR TWO TRAPS, WITH OR WITHOUT DISHWASHER AND FOOD WASTE DISPOSER	1-1/2
LAUNDRY TUB (ONE OR MORE COMPARTMENTS)	1-1/2
LAVATORY	1-1/4
SHOWER (BASED ON THE TOTAL FLOW RATE THROUGH SHOWERHEADS AND BODY SPRAYS) FLOW RATE: 5.7 GPM AND LESS MORE THAN 5.7 GPM UP TO 12.3 GPM MORE THAN 12.3 GPM UP TO 25.8 GPM MORE THAN 25.8 GPM UP TO 55.6 GPM	1-1/2 2 3 4

FOR SI: 1 INCH = 25.4 MM



TYP. COR-A-VENT V-300 DTL.

N.T.S.

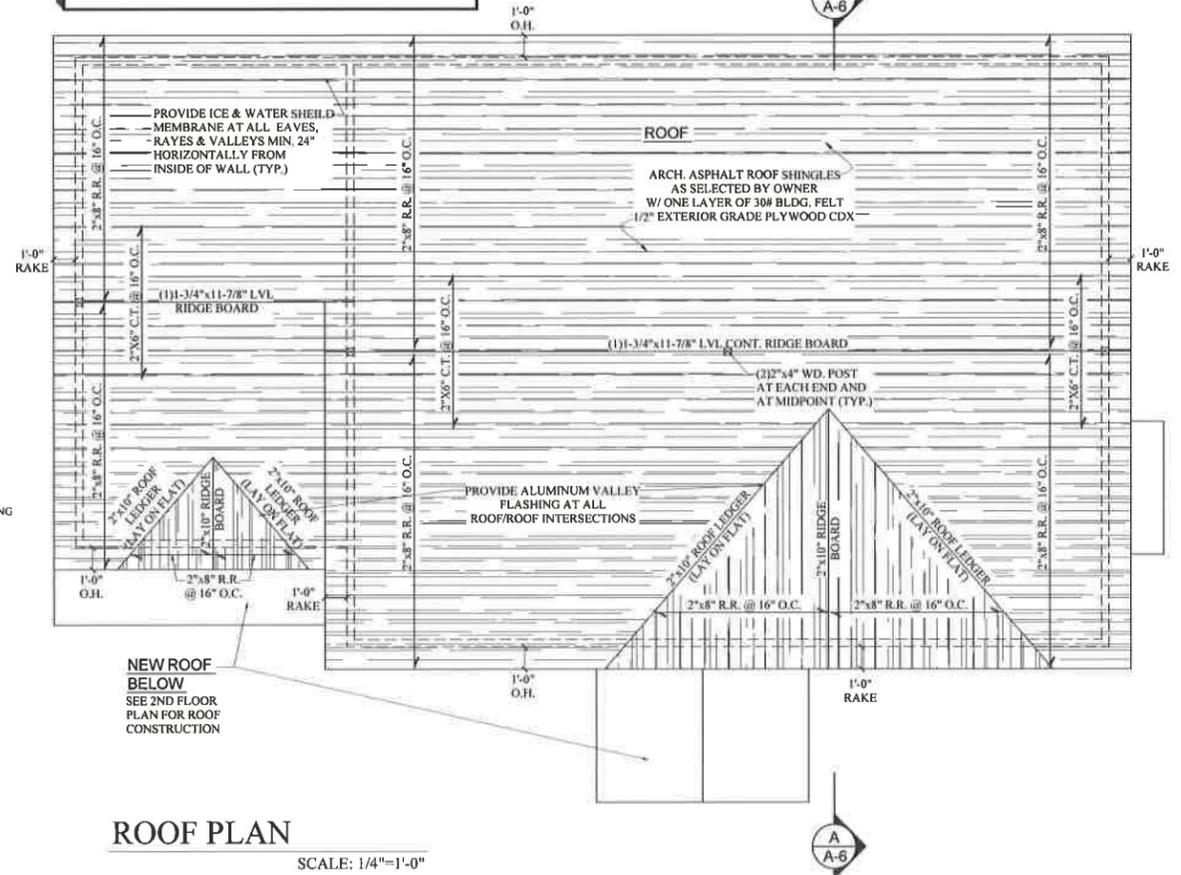


TYP. CLOSED-CUT VALLEY CONST. DTL.

N.T.S.

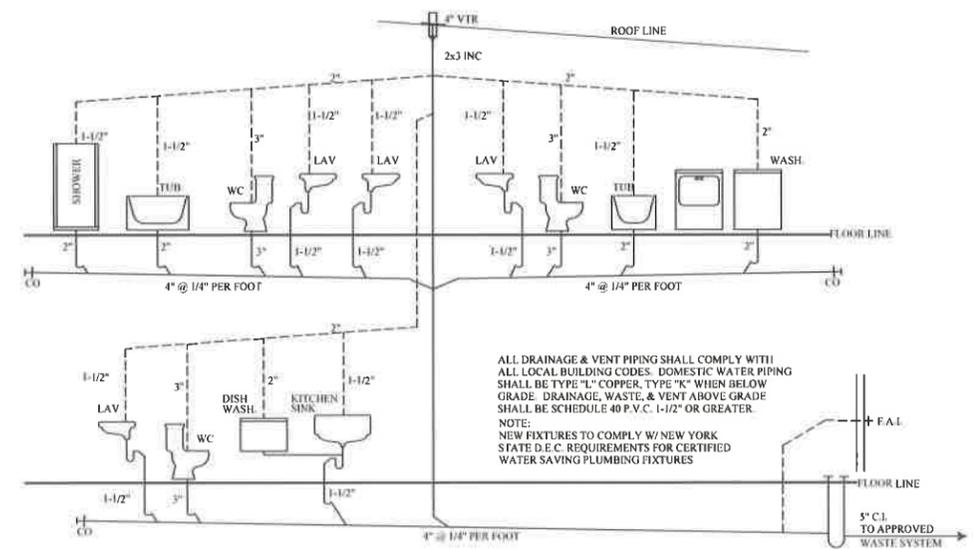
NOTE:
MAINTAIN UPLIFT CONNECTIONS AT RAFTER ENDS AT NAILING PAD. TYPICAL FOR ALL FALSE VALLEY CONNECTIONS. ALSO MAINTAIN VENTILATION.

NOTE:
ALL NEW RIDGE BEAMS HAVE BEEN DESIGNED USING TJI DESIGN CHART DATA LOAD TABLES.



ROOF PLAN

SCALE: 1/4"=1'-0"



SANITARY RISER DIAGRAM

N.T.S.



IT IS A VIOLATION OF NYS LAW FOR ANYONE EXCEPT THE LICENSED ARCHITECT TO ALTER THESE PLANS IN ANYWAY

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ROOF PLAN AND DETAILS

PROPOSED NEW DWELLING AT
SPORTSMAN AVENUE, FREEPORT, N.Y. 11520

Project Name & Address
TIN#: 62-88-1 & 2

Date	Revision / Issue
03/21/25	ISSUED FOR REVIEW
04/17/25	ISSUED FOR PERMIT REVIEW
06/19/25	REV. AS PER OWNER
07/14/25	REV. AS PER TOWN

Drawn By:
M. MONTALBANO

Project #
25-027

Scale
AS NOTED

Date
03-08-25

Sheet #

A-4

ELECTRICAL LEGEND

-  1x4 FLOURESCENT LIGHT FIXTURE
-  CEILING FAN
-  CLOSET LIGHT CONNECTED TO DOOR SWITCH
-  BATHROOM VANITY LIGHT
-  CEILING FIXTURE DOWN LIGHT
-  RECESSED INCANDESCENT DOWN LIGHT
-  THREE WAY SWITCH
-  SINGLE POLE SWITCH
-  MCM EXHAUST FAN, VEN TO EXTERIOR
-  220V DUPLEX RECEPTACLE w/ GROUND FAULT INTERRUPTER
-  CEILING MOUNTED RECEPTACLE
-  DUPLEX RECEPTACLE
-  EXTERIOR WALL MOUNTED FIXTURE, FIXTURE TO BE WATER PROTECTED, OWNER TO SELECT MANUF.

MANUFACTURER'S MANUALS, ENERGY EFFICIENCY:

MAINTENANCE INSTRUCTIONS SHALL BE FURNISHED FOR EQUIPMENT AND SYSTEMS THAT REQUIRE PREVENTIVE MAINTENANCE. REQUIRED REGULAR MAINTENANCE ACTIONS SHALL BE CLEARLY STATED AND INCORPORATED ON A READILY ACCESSIBLE LABEL. THE LABEL SHALL INCLUDE THE TITLE OR PUBLICATION NUMBER FOR THE OPERATION AND MAINTENANCE MANUAL FOR THAT PARTICULAR MODEL AND TYPE OF PRODUCT IN ACCORDANCE WITH SECTION R303.3 AND OF THE 2020 N.Y.S. RBC

MECHANICAL VENTILATION NOTE:

WHERE LOCAL EXHAUST AND WHOLE-HOUSE MECHANICAL VENTILATING IS PROVIDED, THE EQUIPMENT SHALL BE DESIGNED AND INSTALLED AS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS AND AS PER SECTION M1507 OF THE 2020 N.Y.S. RBC

RESIDENTIAL ENERGY EFFICIENCY NOTES: CHAPTER 5 OF THE 2020 NYS R.B.C.

R501.1: SCOPE.
THE PROVISIONS OF THIS CHAPTER SHALL CONTROL THE ALTERATION, REPAIR, ADDITION AND CHANGE OF OCCUPANCY OF EXISTING BUILDINGS AND STRUCTURES.

501.1.1: ADDITIONS, ALTERATIONS, OR REPAIR: GENERAL.
- ADDITIONS, ALTERATIONS, OR REPAIRS TO AN EXISTING BUILDING, BUILDING SYSTEM OR PORTION THEREOF SHALL COMPLY WITH SECTIONS R502, R503 OR 504. UNALTERED PORTIONS OF THE EXISTING BUILDING OR BUILDING SUPPLY SYSTEM SHALL NOT BE REQUIRED TO COMPLY WITH THIS CODE.

R501.1: EXISTING BUILDINGS.
- EXCEPT AS SPECIFIED IN THIS CHAPTER, THIS CODE SHALL NOT BE USED TO REQUIRE THE REMOVAL, ALTERATION OR ABANDONMENT OF, NOR PREVENT THE CONTINUED USE AND MAINTENANCE OF, AN EXISTING BUILDING OR BUILDING SYSTEM LAWFULLY IN EXISTENCE AT THE SAME TIME OF ADOPTION OF THIS CODE.

R503.1: GENERAL.
- ALTERATIONS TO ANY BUILDING OR STRUCTURE SHALL COMPLY WITH THE REQUIREMENTS OF THE CODE FOR NEW CONSTRUCTION. ALTERATIONS SHALL BE SUCH THAT THE EXISTING BUILDING OR STRUCTURE IS NO LESS CONFORMING WITH THE PROVISIONS OF THIS CHAPTER THAN THE EXISTING BUILDING OR STRUCTURE WAS PRIOR TO THE ALTERATION.

SMOKE ALARMS NOTES: SECTION R314 OF THE 2020 N.Y.S. RBC

R314.1: GENERAL.
SMOKE ALARMS SHALL COMPLY WITH NFPA 72 AND SECTION R314.

R314.1.1: LISTINGS.
SMOKE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 217. COMBINATION SMOKE AND CARBON MONOXIDE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 217 AND UL 2034.

R314.3: LOCATIONS.
SMOKE ALARMS SHALL BE PROVIDED IN THE LOCATIONS DETERMINED PURSUANT TO SECTION R314.1.

CARBON MONOXIDE DETECTION SYSTEMS NOTES: SECTION 915 OF THE 2020 N.Y.S. RBC

915.1: GENERAL.
CARBON MONOXIDE ALARMS AND CARBON MONOXIDE DETECTORS SHALL BE INSTALLED IN BUILDINGS AS REQUIRED IN ACCORDANCE WITH SECTION 915.2. AND IN ACCORDANCE WITH THE PROVISIONS OF NFPA 720.

915.2.3: REQUIRED LOCATIONS.
CARBON MONOXIDE ALARMS AND DETECTORS SHALL BE PROVIDED IN THE LOCATIONS DETERMINED PURSUANT TO SECTION 915.2.3.

RESIDENTIAL ENERGY EFFICIENCY NOTES: CHAPTER 4 OF THE 2020 NYS R.B.C.

R401.2: COMPLIANCE.
- PROJECTS SHALL COMPLY WITH SECTION R405 AND THE PROVISIONS OF SECTIONS R401 THROUGH R404 LABELED "MANDATORY".

R402.4: AIR LEAKAGE.
- THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH SECTIONS R402.4.1 THROUGH R402.4.4.

R403.1: CONTROLS.
- AT LEAST ONE THERMOSTAT SHALL BE PROVIDED FOR EACH SEPARATE HEATING AND COOLING SYSTEM.

R403.1.2: HEAT PUMP SUPPLEMENTARY HEAT.
- HEAT PUMPS HAVING SUPPLEMENTARY ELECTRIC-RESISTANCE HEAT SHALL HAVE CONTROLS THAT, EXCEPT DURING DEFROST, PREVENT SUPPLEMENTAL HEAT OPERATION WHEN THE HEAT PUMP COMPRESSOR CAN MEET THE HEATING LOAD.

R403.5.1: HEATED WATER CIRCULATION AND TEMPERATURE MAINTENANCE SYSTEMS.
- HEATED WATER CIRCULATION SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.1. HEAT TRACE TEMPERATURE MAINTENANCE SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION

R403.5.1.2: AUTOMATIC CONTROLS, TEMPERATURE SENSORS AND PUMPS
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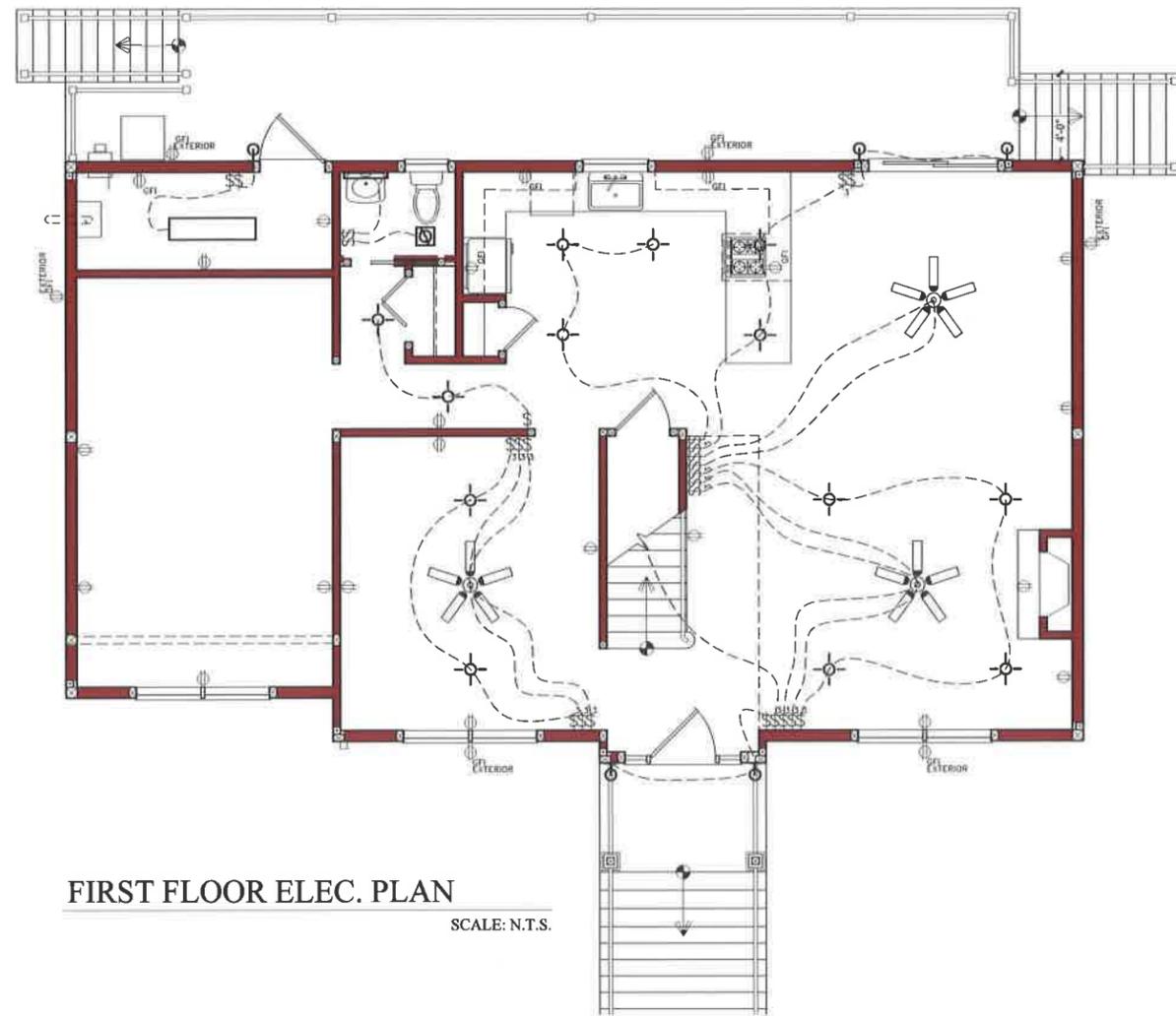
R403.5.3: HOT WATER PIPE INSULATION.
- HOT WATER PIPE SHALL BE INSULATED WITH A MINIMUM THERMAL RESISTANCE OF R-3.

R403.9: SNOW AND ICE MELTING SYSTEM CONTROLS.
- SNOW AND ICE MELTING SYSTEMS, SUPPLIED THROUGH ENERGY SERVICE TO THE BUILDING, SHALL INCLUDE AUTOMATIC CONTROLS CAPABLE OF SHUTTING OFF THE SYSTEM WHEN THE PAVEMENTS TEMPERATURE IS ABOVE 50°F, AND NO PRECIPITATION IS FALLING AND AN AUTOMATIC OR MANUAL CONTROL THAT WILL ALLOW SHUTOFF WHEN THE OUTDOOR TEMPERATURE IS ABOVE 40°.

R404.1: LIGHTING EQUIPMENT.
-NOT LESS THAN 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS OR NOT LESS THAN 5% OF THE PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH-EFFICACY LAMPS.

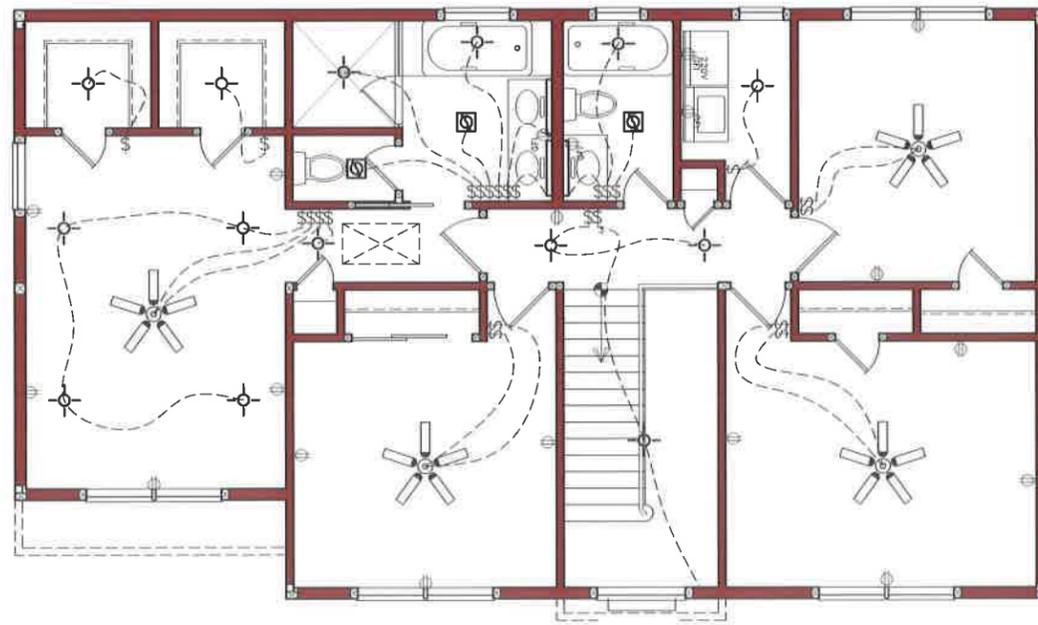
R402.4.5: RECESSED LIGHTING.
- RECESSED LUMINAIRES INSTALLED IN THE BUILDING ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. ALL RECESSED LUMINAIRES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE NOT MORE THAN 2.0 CFM WHEN TESTED IN ACCORDANCE WITH ASTM E 283 AT A 1.57 PSF PRESSURE DIFFERENTIAL. ALL RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING.

NOTE:
CLEARANCES FROM FLAMMABLE MATERIALS ARE TO COMPLY WITH THE REQUIREMENTS IN THE 2020 NYS FIRE CODE AND MANUFACTURER'S RECOMMENDATIONS TO THE BUILDING INSPECTOR'S SATISFACTION.



FIRST FLOOR ELEC. PLAN

SCALE: N.T.S.



SECOND FLOOR ELEC. PLAN

SCALE: N.T.S.



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FIRST AND SECOND ELEC. FLOOR PLAN

Date	Revision / Issue
03/21/25	ISSUED FOR REVIEW
04/17/25	ISSUED FOR PERMIT REVIEW
06/19/25	REV. AS PER OWNER
07/14/25	REV. AS PER TOWN

Drawn By: **M. MONTALBANO**

Project #: **25-027**

Scale: **AS NOTED**

Date: **03-08-25**

Sheet #: **A-5**

A-5

PROPOSED NEW DWELLING AT
SPORTSMAN AVENUE, FREEPORT, N.Y. 11520

Project Name & Address
TN#: 62-88-1 & 2

RESIDENTIAL ENERGY EFFICIENCY NOTES:
CHAPTER 4 OF THE 2020 NYS R.B.C.

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R403.5.1.2: AUTOMATIC CONTROLS, TEMPERATURE SENSORS AND PUMPS SHALL BE ACCESSIBLE. MANUAL CONTROLS SHALL BE READILY ACCESSIBLE.

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P3102: FROST CLOSURE.
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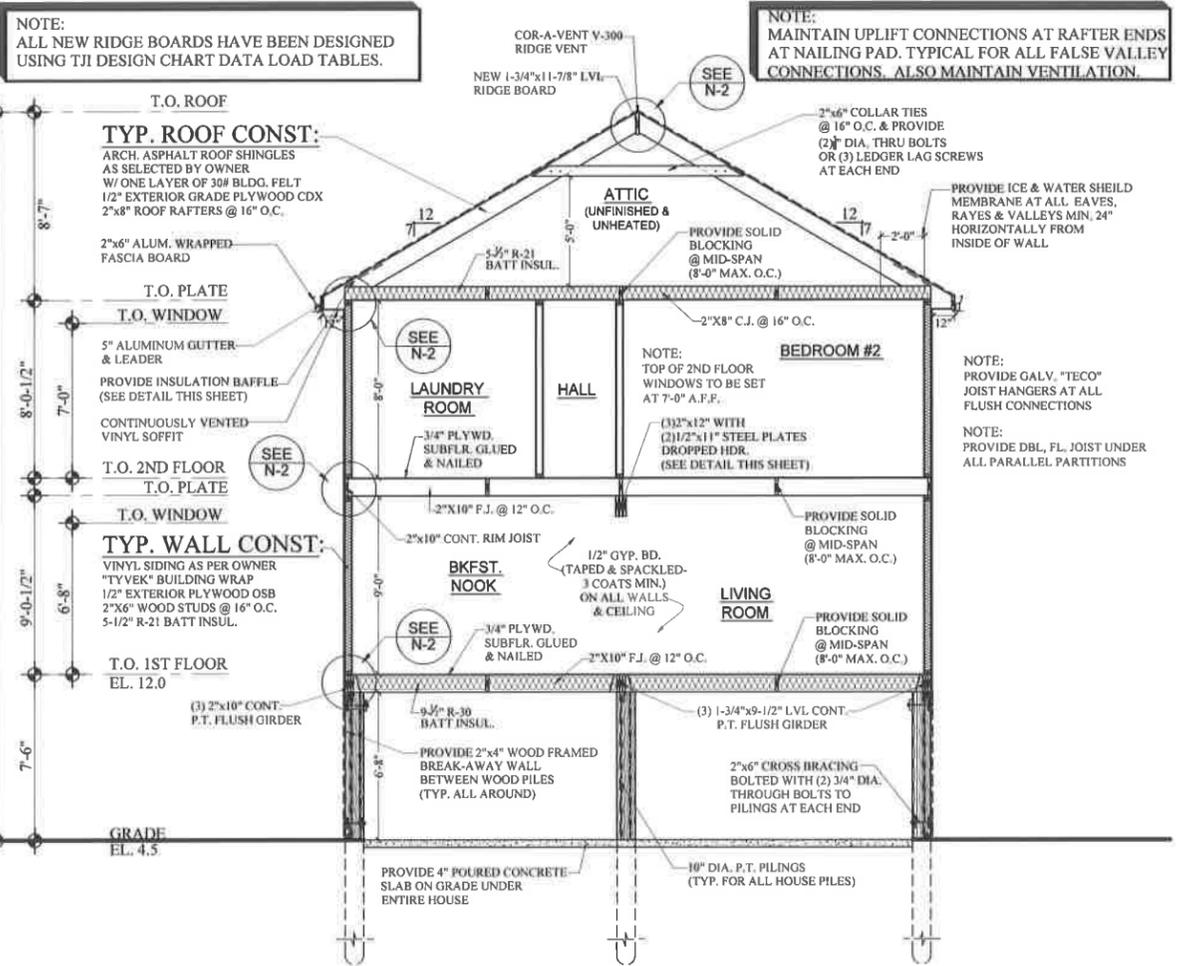
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EXCEPTION.
DETACHED ACCESSORY STRUCTURES NOT CONTAINING CONDITIONED FLOOR AREA.

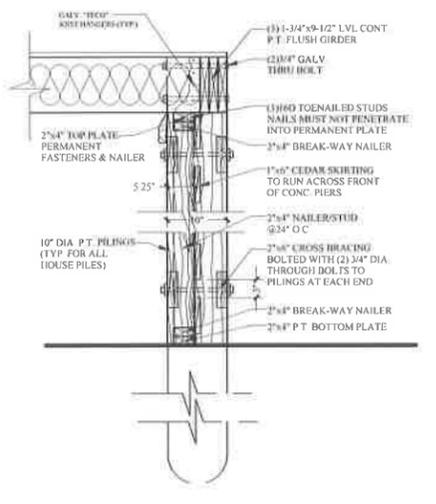


BUILDING SECTION A-A
SCALE: 1/4"=1'-0"

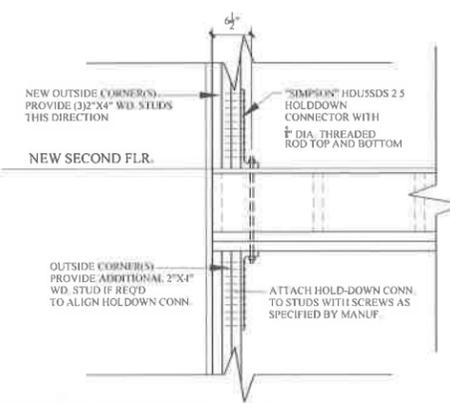
TABLE R301.5
MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS
(IN PONDS PER SQUARE FOOT)

USE	LIVE LOAD
UNINHABITABLE ATTICS WITHOUT STORAGE ^a	10
UNINHABITABLE ATTICS WITH LIMITED STORAGE ^b	20
HABITABLE ATTICS AND ATTICS SERVED WITH FIXED STAIRS	30
BALCONIES (EXTERIOR) AND DECKS	40
FIRE ESCAPES	40
GUARD AND HANDRAILS ^c	200 ^b
GUARD IN-FILL COMPONENTS ^c	50 ^a
PASSENGER VEHICLES GARAGES ^c	50 ^a
ROOMS OTHER THAN SLEEPING ROOMS	40
SLEEPING ROOMS	30
STAIRS	40 ^c

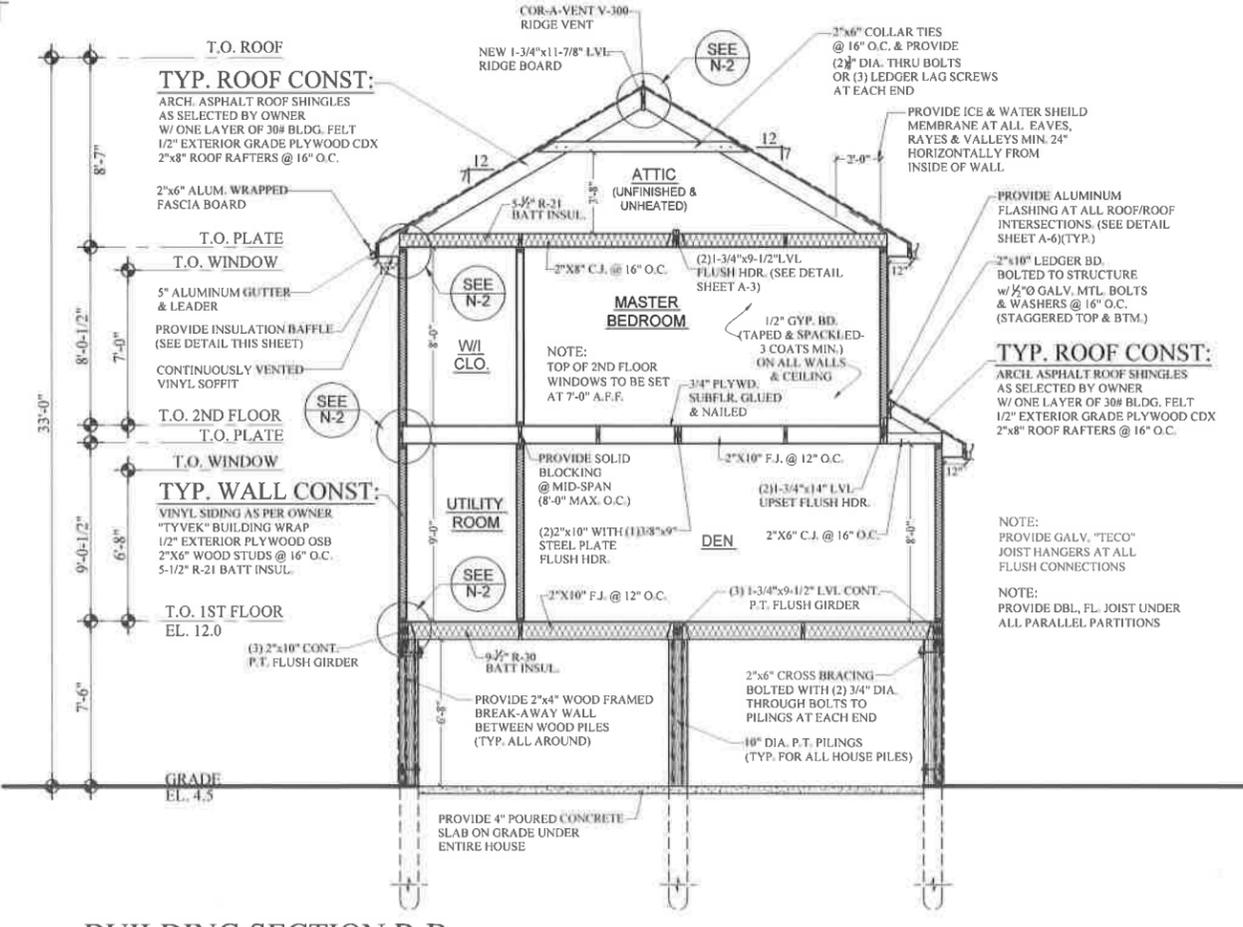
FOR SUB-NOTES REFER TO THE 2020 NYS R.B.C.



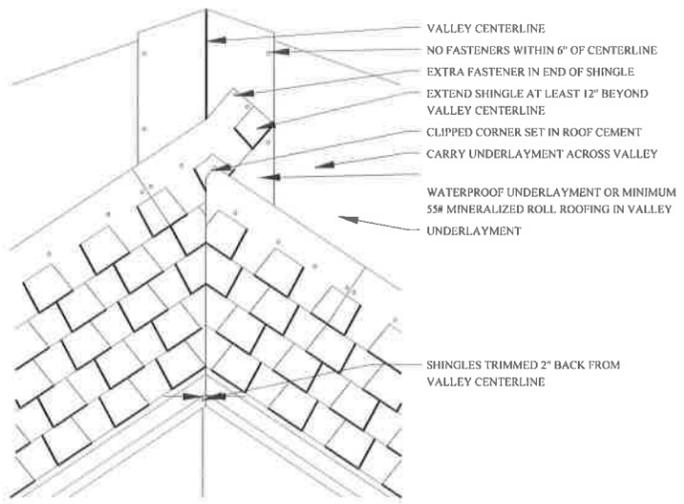
BREAKAWAY WALL DTL.
N.T.S.



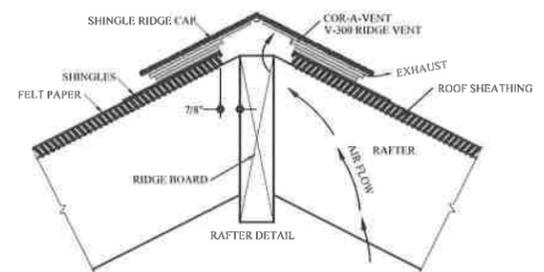
HOLD-DOWN DTL.
N.T.S.



BUILDING SECTION B-B
SCALE: 1/4"=1'-0"



TYP. CLOSED-CUT VALLEY CONST. DTL
N.T.S.



TYP. COR-A-VENT V-300 DTL.
N.T.S.



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BUILDING SECTIONS AND DETAILS

PROPOSED NEW DWELLING AT
SPORTSMAN AVENUE, FREEPORT, N.Y. 11520

Project Name & Address
TY# #: 62-88-1 & 2

Date	Revision / Issue
03/21/25	ISSUED FOR REVIEW
04/17/25	ISSUED FOR PERMIT REVIEW
06/19/25	REV. AS PER OWNER
07/14/25	REV. AS PER TOWN

Drawn By:
M. MONTALBANO

Project #
25-027

Scale
AS NOTED

Date
03-08-25

Sheet #

A-6

EMERGENCY ESCAPE AND RESCUE OPENINGS NOTES: SECTION R310 OF THE 2020 N.Y.S. RBC

R310.1: EMERGENCY ESCAPE AND RESCUE OPENING REQUIRED.
 BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE NOT LESS THAN ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY, OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY.

R310.2: EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE MINIMUM DIMENSIONS AS SPECIFIED IN THIS SECTION.

R310.2.1: MINIMUM OPENING AREA.
 EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5.7 SQUARE FEET. THE CLEAR OPENING DIMENSIONS REQUIRED BY THIS SECTION SHALL BE OBTAINED BY THE NORMAL OPERATION OF THE EMERGENCY ESCAPE AND RESCUE OPENING FROM THE INSIDE. THE NET CLEAR HEIGHT OPENING SHALL BE NOT LESS THAN 24 INCHES AND THE NET CLEAR WIDTH SHALL BE NOT LESS THAN 20 INCHES.

R310.2.2: WINDOW SILL HEIGHT.
 WHERE A WINDOW IS PROVIDED AS THE EMERGENCY ESCAPE AND RESCUE OPENING, IT SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR; WHERE THE SILL HEIGHT IS BELOW GRADE, IT SHALL BE PROVIDED WITH A WINDOW WELL IN ACCORDANCE WITH SECTION R310.2.3.

NATURAL GAS NOTES AS PER THE 2020 N.Y.S. RBC, FGC

- FGC 403.4.1: GAS PIPING MATERIALS: CAST IRON SHALL NOT BE USED.
- FGC 404.6: NATURAL GAS FIRED APPLIANCES. UNDERGROUND PENETRATIONS OF FOUNDATION WALLS ARE PROHIBITED.
- FGC 404.7: PROTECTION AGAINST PHYSICAL DAMAGE. PIPING OTHER THAN BLACK OR GALVANIZED STEEL INSTALLED THROUGH HOLES IN WOOD STRUCTURAL ELEMENTS SHALL BE PROTECTED BY SHIELD PLATES IN COMPLIANCE WITH SECTION 404.7.1.
- FGC 404.11: PROTECTION AGAINST CORROSION. METALLIC PIPING OR TUBING EXPOSED TO CORROSIVE ACTION, SUCH AS SOIL CONDITION OR MOISTURE, SHALL BE PROTECTED IN AN APPROVED MANNER. ZINC COATINGS (GALVANIZING) SHALL NOT BE DEEMED ADEQUATE PROTECTION FOR GAS PIPING UNDERGROUND.
- FGC 404.15: GAS OUTLETS CLOSURES.
- FGC 406: GAS PIPING PRESSURE TEST TO BE CARRIED OUT AS PER THIS SECTION.
- FGC 406.5.2: IN CASE OF LEAKAGE OR OTHER DEFECTS, THE AFFECTED PORTION OF THE PIPING SYSTEM SHALL BE REPAIRED AND RETESTED IN ACCORDANCE WITH THIS SECTION.

GAS DRIPS AND SLOPPED PIPING NOTES: SECTION G2419 OF THE 2020 N.Y.S. RBC

- G2419.1: SLOPES. PIPING FOR OTHER THAN DRY GAS CONDITIONS SHALL BE SLOPED NOT LESS THAN 1/4" IN 15 FEET TO PREVENT TRAPS.
- G2419.2: DRIPS. WHERE WET GAS EXISTS, A DRIP SHELL BE PROVIDED AT ANY POINT IN THE LINE OF PIPE WHERE CONDENSATE COULD COLLECT. A DRIP SHALL ALSO BE PROVIDED AT THE OUTLET OF THE METER AND SHALL BE INSTALLED SO AS TO CONSTITUTE A TRAP WHEREIN AN ACCUMULATION OF CONDENSATE WILL SHUT OFF THE FLOW OF GAS BEFORE THE CONDENSATE WILL RUN BACK INTO THE METER.
- G2419.3: LOCATION OF DRIPS. DRIPS SHALL BE PROVIDED WITH READY ACCESS TO PERMIT CLEANING OR EMPTYING. A DRIP SHALL NOT BE LOCATED WHERE THE CONDENSATE IS SUBJECT TO FREEZING.
- G2419.4: SEDIMENT TRAP. WHERE A SEDIMENT TRAP IS NOT INCORPORATED AS PART OF THE APPLIANCE, A SEDIMENT TRAP SHALL BE INSTALLED DOWNSTREAM OF THE APPLIANCE SHUT OFF VALVE AS CLOSE TO THE INLET OF THE APPLIANCE AS PRACTICAL. THE SEDIMENT TRAP SHALL BE EITHER A TEE FITTING HAVING A CAPPED NIPPLE OF ANY LENGTH INSTALLED VERTICALLY IN THE BOTTOMMOST OPENING OF THE TEE OR OTHER DEVICE APPROVED AS AN EFFECTIVE SEDIMENT TRAP. ILLUMINATING APPLIANCES, RANGES, CLOTHES DRYERS, DECORATIVE VENTED APPLIANCES FOR INSTALLATION IN VENTED FIREPLACES, GAS FIREPLACES AND OUTDOOR GRILLS NEED NOT TO BE EQUIPPED.

REQUIREMENTS FOR ROOF COVERING NOTES: SECTION R905 OF THE 2020 N.Y.S. RBC

- R905.1: ROOF COVERING APPLICATION. ROOF COVERINGS SHALL BE APPLIED IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THIS SECTION AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. UNLESS OTHERWISE SPECIFIED IN THIS SECTION, ROOF COVERINGS SHALL BE INSTALLED TO RESIST THE COMPONENT AND CLADDING LOADS SPECIFIED IN TABLE R301.2(2), ADJUSTED FOR HEIGHT AND EXPOSURE IN ACCORDANCE WITH TABLE R301.2(3).
- R905.1.2: ICE BARRIERS. IN AREAS WHERE THERE HAS BEEN A HISTORY OF ICE FORMING ALONG THE EAVES CAUSING A BACK-UP OF WATER AS DESIGNATED IN TABLE R301.2(1), AN ICE BARRIER SHALL BE INSTALLED FOR ASPHALT SHINGLES, METAL ROOF SHINGLES, MINERAL-SURFACED ROLL ROOFING, SLATE AND SLATE-TYPE SHINGLES, WOOD SHINGLES AND WOOD SHAKES. THE ICE BARRIER SHALL CONSIST OF NOT FEWER THAN TWO LAYERS OF UNDERLAYMENT CEMENTED TOGETHER, OR A SELF-ADHERING POLYMER-MODIFIED BITUMEN SHEET SHALL BE USED IN PLACE OF NORMAL UNDERLAYMENT AND EXTEND FROM THE LOWEST EDGES OF ALL ROOF SURFACES TO A POINT NOT LESS THAN 24" INSIDE THE EXTERIOR WALL LINE OF THE BUILDING, ON ROOFS WITH SLOPE EQUAL TO OR GREATER THAN 8 UNITS VERTICALLY AND 12 UNITS HORIZONTALLY, THE ICE BARRIER SHALL ALSO BE APPLIED NOT LESS THAN 36" ALONG THE ROOF SLOPE FROM THE EAVE EDGE OF THE BUILDING.
- EXCEPTION. DETACHED ACCESSORY STRUCTURES NOT CONTAINING CONDITIONED FLOOR AREA.

LIGHTING & VENT NOTE:

AS PER THE 2020 N.Y.S. RBC SECTION 303, ALL HABITABLE ROOMS SHALL BE PROVIDED WITH A MIN. OF 4% NATURAL OR MECHANICAL VENTILATION & A MIN. OF 8% NATURAL OR ARTIFICIAL LIGHT.

MANUFACTURER'S MANUALS, ENERGY EFFICIENCY:

MAINTENANCE INSTRUCTIONS SHALL BE FURNISHED FOR EQUIPMENT AND SYSTEMS THAT REQUIRE PREVENTIVE MAINTENANCE, REQUIRED REGULAR MAINTENANCE ACTIONS SHALL BE CLEARLY STATED AND INCORPORATED ON A READILY ACCESSIBLE LABEL. THE LABEL SHALL INCLUDE THE TITLE OR PUBLICATION NUMBER FOR THE OPERATION AND MAINTENANCE MANUAL FOR THAT PARTICULAR MODEL AND TYPE OF PRODUCT IN ACCORDANCE WITH SECTION R303.3 AND OF THE 2020 N.Y.S. RBC.

VENT NOTES: CHAPTER 31 OF THE 2020 N.Y.S. RBC

P3101.1: GENERAL.
 THIS CHAPTER SHALL GOVERN THE SELECTION AND INSTALLATION OF PIPING, TUBING AND FITTINGS FOR VENT SYSTEMS. THIS CHAPTER SHALL CONTROL THE MINIMUM DIAMETER OF VENT PIPES, CIRCUIT VENTS, BRANCH VENTS AND INDIVIDUAL VENTS, AND THE SIZE AND LENGTH OF VENTS AND VARIOUS ASPECTS OF VENT STACKS AND STACK VENTS. ADDITIONALLY, THIS CHAPTER REGULATES VENT GRADES AND CONNECTIONS, HEIGHT ABOVE FIXTURES AND RELIEF VENTS FOR STACKS AND FIXTURE TRAPS, AND THE VENTING OF SUMPS AND SEWERS.

P3103.2: FROST CLOSURE.
 WHERE THE 97.5% VALUE FOR OUTSIDE DESIGN TEMPERATURE IS 0°F OR LESS, VENT EXTENSIONS THROUGH A ROOF OR WALL SHALL BE NOT LESS THAN 3 INCHES IN DIAMETER. ANY INCREASE IN THE SIZE OF THE VENT SHALL BE MADE NOT LESS THAN 1 FOOT INSIDE THE THERMAL ENVELOPE OF THE BUILDING.

HOUSE TRAP NOTE:

P3201.4: BUILDING TRAPS.
 AS PER THIS SECTION IF BUILDING TRAPS ARE REMOVED, NEW ONES SHALL BE PROHIBITED.

SMOKE ALARMS NOTES: SECTION R314 OF THE 2020 N.Y.S. RBC

- R314.1: GENERAL. SMOKE ALARMS SHALL COMPLY WITH NFPA 72 AND SECTION R314.
- R314.1.1: LISTINGS. SMOKE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 217. COMBINATION SMOKE AND CARBON MONOXIDE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 217 AND UL 2034.
- R314.3: LOCATIONS. SMOKE ALARMS SHALL BE PROVIDED IN THE LOCATIONS DETERMINED PURSUANT TO SECTION R314.3.

CARBON MONOXIDE DETECTION SYSTEMS NOTES: SECTION 915 OF THE 2020 N.Y.S. RBC

- 915.1: GENERAL. CARBON MONOXIDE ALARMS AND CARBON MONOXIDE DETECTORS SHALL BE INSTALLED IN BUILDINGS AS REQUIRED IN ACCORDANCE WITH SECTION 915.2. AND IN ACCORDANCE WITH THE PROVISIONS OF NFPA 720.
- 915.2.3: REQUIRED LOCATIONS. CARBON MONOXIDE ALARMS AND DETECTORS SHALL BE PROVIDED IN THE LOCATIONS DETERMINED PURSUANT TO SECTION 915.2.3.

MECHANICAL VENTILATION NOTE:

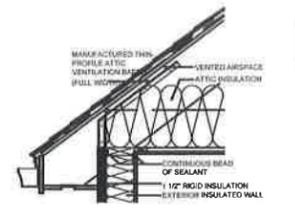
WHERE LOCAL EXHAUST AND WHOLE-HOUSE MECHANICAL VENTILATION IS PROVIDED, THE EQUIPMENT SHALL BE DESIGNED AND INSTALLED AS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS AND AS PER SECTION M1507 OF THE 2020 N.Y.S. RBC.

CLOTHES DRYER EXHAUST NOTES: SECTION M1502 OF THE 2020 N.Y.S. RBC

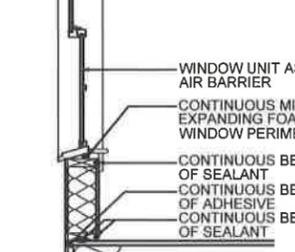
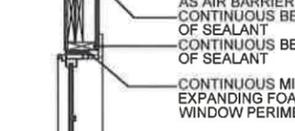
- M1502.1: GENERAL. CLOTHES DRYERS SHALL BE EXHAUSTED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND IN PURSUANT WITH THIS SECTION.
- M1502.3: DUCT TERMINATION. EXHAUST DUCTS SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING. EXHAUST DUCT TERMINATIONS SHALL BE IN ACCORDANCE WITH THE DRYER MANUFACTURER'S INSTALLATION INSTRUCTIONS. IF THE MANUFACTURER'S INSTRUCTIONS DO NOT SPECIFY A TERMINATION LOCATION, THE EXHAUST DUCT SHALL TERMINATE NOT LESS THAN 3 FEET IN ANY DIRECTION FROM OPENINGS INTO BUILDINGS. EXHAUST DUCT TERMINATIONS SHALL BE EQUIPPED WITH A BACKDRAFT DAMPER. SCREENS SHALL NOT BE INSTALLED AT THE DUCT TERMINATION.

RESIDENTIAL ENERGY EFFICIENCY NOTES: CHAPTER 5 OF THE 2020 N.Y.S. R.B.C.

- R501.1: SCOPE. THE PROVISIONS OF THIS CHAPTER SHALL CONTROL THE ALTERATION, REPAIR, ADDITION AND CHANGE OF OCCUPANCY OF EXISTING BUILDINGS AND STRUCTURES.
 - R501.1.1: ADDITIONS, ALTERATIONS, OR REPAIR: GENERAL. ADDITIONS, ALTERATIONS, OR REPAIRS TO AN EXISTING BUILDING, OR PORTION THEREOF, SHALL COMPLY WITH SECTIONS R502, R503 OR 504. UNALTERED PORTIONS OF THE EXISTING BUILDING OR BUILDING SUPPLY SYSTEM SHALL NOT BE REQUIRED TO COMPLY WITH THIS CODE.
 - R501.1.2: EXISTING BUILDINGS. EXCEPT AS SPECIFIED IN THIS CHAPTER, THIS CODE SHALL NOT BE USED TO REQUIRE THE REMOVAL, ALTERATION OR ABANDONMENT OF, NOR PREVENT THE CONTINUED USE AND MAINTENANCE OF, AN EXISTING BUILDING OR BUILDING SYSTEM LAWFULLY IN EXISTENCE AT THE SAME TIME OF ADOPTION OF THIS CODE.
 - R503.1: GENERAL. ALTERATIONS TO ANY BUILDING OR STRUCTURE SHALL COMPLY WITH THE REQUIREMENTS OF THE CODE FOR NEW CONSTRUCTION. ALTERATIONS SHALL BE SUCH THAT THE EXISTING BUILDING OR STRUCTURE IS NO LESS CONFORMING WITH THE PROVISIONS OF THIS CHAPTER THAN THE EXISTING BUILDING OR STRUCTURE WAS PRIOR TO THE ALTERATION.



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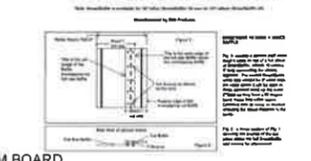
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RESIDENTIAL ENERGY EFFICIENCY NOTES: CHAPTER 4 OF THE 2020 NYS R.B.C.

- R401.2: COMPLIANCE. PROJECTS SHALL COMPLY WITH SECTION R405 AND THE PROVISIONS OF SECTIONS R401 THROUGH R404 LABELED "MANDATORY".
- R402.4: AIR LEAKAGE. THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH SECTIONS R402.4.1 THROUGH R402.4.4.
- R403.1: CONTROLS. AT LEAST ONE THERMOSTAT SHALL BE PROVIDED FOR EACH SEPARATE HEATING AND COOLING SYSTEM.
 - R403.1.2: HEAT PUMP SUPPLEMENTARY HEAT. HEAT PUMPS HAVING SUPPLEMENTARY ELECTRIC-RESISTANCE HEAT SHALL HAVE CONTROLS THAT, EXCEPT DURING DEFROST, PREVENT SUPPLEMENTAL HEAT OPERATION WHEN THE HEAT PUMP COMPRESSOR CAN MEET THE HEATING LOAD.
 - R403.1.3: HEATED WATER CIRCULATION AND TEMPERATURE MAINTENANCE SYSTEMS. HEATED WATER CIRCULATION SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.1. HEAT TRACE TEMPERATURE MAINTENANCE SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R403.5.1.2.
 - R403.5.1.2: AUTOMATIC CONTROLS, TEMPERATURE SENSORS AND PUMPS SHALL BE ACCESSIBLE. MANUAL CONTROLS SHALL BE READILY ACCESSIBLE.
 - R403.5.3: HOT WATER PIPE INSULATION. HOT WATER PIPE SHALL BE INSULATED WITH A MINIMUM THERMAL RESISTANCE OF R-3.
 - R403.9: SNOW AND ICE MELTING SYSTEM CONTROLS. SNOW AND ICE MELTING SYSTEMS, SUPPLIED THROUGH ENERGY SERVICE TO THE BUILDING, SHALL INCLUDE AUTOMATIC CONTROLS CAPABLE OF SHUTTING OFF THE SYSTEM WHEN THE PAVEMENTS TEMPERATURE IS ABOVE 50°F, AND NO PRECIPITATION IS FALLING AND AN AUTOMATIC OR MANUAL CONTROL THAT WILL ALLOW SHUTOFF WHEN THE OUTDOOR TEMPERATURE IS ABOVE 40°.
 - R404.1: LIGHTING EQUIPMENT. NOT LESS THAN 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS LAMPS OR NOT LESS THAN 75% OF THE PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH-EFFICACY LAMPS.
 - R402.4.5: RECESSED LIGHTING. RECESSED LUMINAIRES INSTALLED IN THE BUILDING ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. ALL RECESSED LUMINAIRES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE NOT MORE THAN 2.0 CFM WHEN TESTED IN ACCORDANCE WITH ASTM E 283 AT A 1.57 PSP PRESSURE DIFFERENTIAL. ALL RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING.



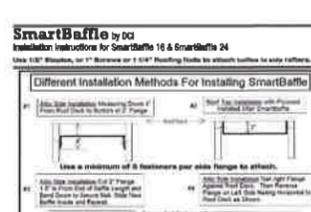
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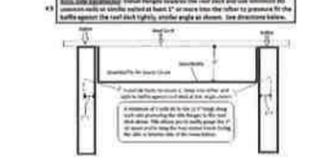
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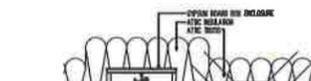
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TECHNICAL BULLETIN BUILDING INSULATION COMPRESSED R-VALUE CHART

When compressed to less than their labeled thickness, glass fiber insulation will experience a reduction in R-value. The chart below indicates the compressed R-value of standard batt insulation products when installed in framing cavities with a depth that is less than the labeled thickness of the insulation.

NOMINAL LUMBER SIZE	CAVITY DEPTH	INSULATION R-VALUES WHEN COMPRESSED IN FRAMING CAVITY*
1x4	1 1/2"	4.9
1x6	1 3/4"	4.4
2x4	3 1/2"	4.2
1x8	3 1/2"	3.8
2x6	5 1/2"	3.7
2x8	5 1/2"	3.3
2x10	5 1/2"	2.7
2x12	5 1/2"	2.2
2x14	5 1/2"	2.0
2x16	5 1/2"	1.8
2x18	5 1/2"	1.7
2x20	5 1/2"	1.6
2x22	5 1/2"	1.5
2x24	5 1/2"	1.4
2x26	5 1/2"	1.3
2x28	5 1/2"	1.2
2x30	5 1/2"	1.1
2x32	5 1/2"	1.0
2x34	5 1/2"	0.9
2x36	5 1/2"	0.8
2x38	5 1/2"	0.7
2x40	5 1/2"	0.6
2x42	5 1/2"	0.5
2x44	5 1/2"	0.4
2x46	5 1/2"	0.3
2x48	5 1/2"	0.2
2x50	5 1/2"	0.1
2x52	5 1/2"	0.1
2x54	5 1/2"	0.1
2x56	5 1/2"	0.1
2x58	5 1/2"	0.1
2x60	5 1/2"	0.1
2x62	5 1/2"	0.1
2x64	5 1/2"	0.1
2x66	5 1/2"	0.1
2x68	5 1/2"	0.1
2x70	5 1/2"	0.1
2x72	5 1/2"	0.1
2x74	5 1/2"	0.1
2x76	5 1/2"	0.1
2x78	5 1/2"	0.1
2x80	5 1/2"	0.1
2x82	5 1/2"	0.1
2x84	5 1/2"	0.1
2x86	5 1/2"	0.1
2x88	5 1/2"	0.1
2x90	5 1/2"	0.1
2x92	5 1/2"	0.1
2x94	5 1/2"	0.1
2x96	5 1/2"	0.1
2x98	5 1/2"	0.1
2x100	5 1/2"	0.1

TECHNICAL BULLETIN BUILDING INSULATION COMPRESSED R-VALUE CHART



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TABLE R402.4.1.1 AIR BARRIER AND INSULATION INSTALLATION

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
GENERAL REQUIREMENTS	A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE. THE EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER. BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED.	AIR-PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL.
CEILING/ATTIC	THE AIR BARRIER IN ANY DROPPED CEILING/SOFFIT SHALL BE ALIGNED WITH THE INSULATION AND ANY GAPS IN THE AIR BARRIER SHALL BE SEALED. ACCESS OPENINGS, DROP DOWN STAIRS OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES SHALL BE SEALED.	THE INSULATION IN ANY DROPPED CEILING/SOFFIT SHALL BE ALIGNED WITH THE AIR BARRIER.
WALLS	THE JUNCTION OF THE FOUNDATION AND SILL PLATE SHALL BE SEALED. THE JUNCTION OF THE TOP PLATE AND THE TOP OF EXTERIOR WALLS SHALL BE SEALED. KNEE WALLS SHALL BE SEALED.	CAVITIES WITHIN CORNERS AND HEADERS OF FRAME WALLS SHALL BE INSULATED BY COMPLETELY FILLING THE CAVITY WITH A MATERIAL HAVING A THERMAL RESISTANCE OF R-3 PER INCH MINIMUM. EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH THE AIR BARRIER.
WINDOWS, SKYLIGHTS AND DOORS	THE SPACE BETWEEN WINDOW/DOOR JAMBS AND FRAMING, AND SKYLIGHTS AND FRAMING SHALL BE SEALED.	
RIM JOISTS	RIM JOISTS SHALL INCLUDE THE AIR BARRIER.	RIM JOISTS SHALL BE INSULATED.
FLOORS (INCLUDED ABOVE GARAGE AND CANTILEVERED FLOORS)	THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION.	FLOOR FRAMING CAVITY INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE UNDERSIDE OF SUB-FLOOR DECKING, OR FLOOR FRAMING CAVITY INSULATION SHALL BE PERMITTED TO BE IN CONTACT WITH THE TOP SIDE OF SHEATHING, OR CONTINUOUS INSULATION INSTALLED ON THE UNDERSIDE OF FLOOR FRAMING AND EXTENDS FROM FROM THE BOTTOM TO THE TOP OF ALL PERIMETER FLOOR FRAMING MEMBERS.
CRAWL SPACE WALLS	EXPOSED EARTH IN UNVENTED CRAWL SPACES SHALL BE COVERED WITH A CLASS I VAPOR RETARDER WITH OVERLAPPING JOISTS TAPED.	WHERE PROVIDED INSTEAD OF FLOOR INSULATION, INSULATION SHALL BE PERMANENTLY ATTACHED TO THE CRAWL SPACE WALLS.
SHAFTS, PENETRATIONS	DUCT SHAFTS, UTILITY PENETRATIONS, AND FLUE SHAFTS OPENING TO EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED.	
NARROW CAVITIES	BATTS IN NARROW CAVITIES SHALL BE CUT TO FIT, OR NARROW CAVITIES SHALL BE FILLED BY INSULATION THAT ON INSTALLATION READILY CONFORMS TO THE AVAILABLE CAVITY SPACE.	
GARAGE SEPARATION	AIR SEALING SHALL BE PROVIDED BETWEEN THE GARAGE AND CONDITIONED SPACES.	
RECESSED LIGHTING	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE DRY WALL.	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT AND IC RATED.
PLUMBING AND WIRING		BATT INSULATION SHALL BE CUT NEARLY TO FIT AROUND WIRING AND PLUMBING IN EXTERIOR WALLS, OR INSULATION THAT ON INSTALLATION READILY CONFORMS TO A AVAILABLE SPACE SHALL EXTEND BEHIND PIPING AND WIRING.
SHOWER/TUB ON EXTERIOR WALL	THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWERS AND TUBS.	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED.
ELECTRICAL/PHONE BOX ON EXTERIOR WALLS	THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR-SEALED BOXES SHALL BE INSTALLED.	
H.V.A.C. REGISTER BOOTS	H.V.A.C. REGISTER BOOTS THAT PENETRATE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUB-FLOOR OR DRY WALL.	
CONCEALED SPRINKLERS	WHEN REQUIRED TO BE SEALED, CONCEALED FIRE SPRINKLERS SHALL ONLY BE SEALED IN A MANNER THAT IS RECOMMENDED BY THE MANUFACTURER. CAULKING OR OTHER ADHESIVE SEALANTS SHALL NOT BE USED TO FILL VOIDS BETWEEN FIRE SPRINKLER COVER PLATES AND WALLS OR CEILINGS.	

a. IN ADDITION, INSPECTION OF LOG WALLS SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF ICC-400.



IT IS A VIOLATION OF NYS LAW FOR ANYONE EXCEPT THE LICENSED ARCHITECT TO ALTER THESE PLANS IN ANYWAY

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MISC., INSUL. NOTES AND DETAILS

Project Name & Address
 TYP#: 62-88-1 & 2

Date	Revision / Issue
03/21/25	ISSUED FOR REVIEW
04/17/25	ISSUED FOR PERMIT REVIEW
06/19/25	REV. AS PER OWNER
07/14/25	REV. AS PER TOWN

Drawn By: **M. MONTALBANO**

Project # **25-027**

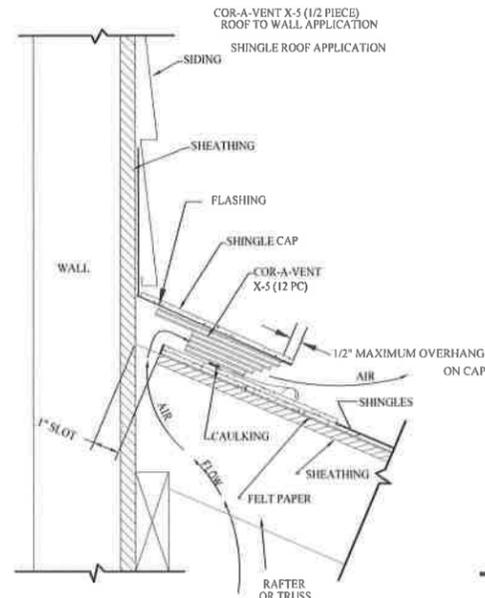
Scale **AS NOTED**

Date **03-08-25**

Sheet # **A-7**

ELEVATION LEGEND

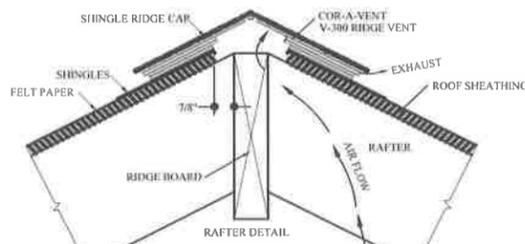
- 1 VINYL SIDING COLOR AND STYLE AS SELECTED BY THE OWNER
- 2 30 YEAR ASPHALT ROOF SHINGLE COLOR AND STYLE TO BE SELECTED BY OWNER.
- 3 CONTINUOUSLY VENTED VINYL SOFFIT.
- 4 COR-A-VENT V-300 RIDGE VENT
- 5 2"x6" ALUMINUM WRAPPED FASCIA BOARD.
- 6 5" SEAMLESS ALUMINUM GUTTERS AND LEADERS DOWN TO NEW CONCRETE SPLASH BLOCKS AT GRADE. (NOT SHOWN FOR CLARITY)
- 7 PROVIDE ICE & WATER SHIELD MEMBRANE AT ALL EAVES, RAYES & VALLEYS
- 8 4" CORNER VINYL TRIM BOARD COLOR AND STYLE TO BE SELECTED BY OWNER.
- 9 ALL WINDOWS TO BE HIGH PERFORMANCE INSULATING GLASS VINYL WINDOWS AS MANUFACTURED BY "ANDERSEN 400 SERIES" OR EQUAL. DP30 SERIES.
- 10 PROVIDE ALUMINUM FLASHING AT ALL ROOF/WALL INTERSECTIONS.
- 11 PROVIDE ALUMINUM FLASHING AT ALL ROOF/ROOF INTERSECTIONS.
- 12 LOUVERED ATTIC VENT
- 13 3/4"x6" COMPOSITE DECKING
- 14 STEPS TO GRADE AS PER N.Y.S. CODE. (MAX 8.25" RISER)
- 15 8" DIA. PRESSURE TREATED PILE MIN. 1.0 CCA TREATMENT MIN. 20 FEET LONG
- 16 8"x8" FIBERGLASS COLUMN W/ 4"x4" P.T. WD. POST W/IN (TYP.)
- 17 3'-0" HIGH RAILING AS PER N.Y.S. CODE. MAX. 4" CLEAR SPACING. COLOR AND STYLE TO BE SELECTED BY OWNER
- 18 PROVIDE 8"x16" STAINLESS STEEL FLOOD VENT BY "SMART VENT" BOTTOM OF VENT TO BE INSTALLED MAX. 12" ABOVE GRADE (TYP. FOR ALL)
- 19 PROVIDE 2"x4" WOOD FRAMED BREAK-AWAY WALL (TYP. ALL AROUND)
- 20 3-1/2" WINDOW AND DOOR VINYL TRIM BOARD COLOR AND STYLE TO BE SELECTED BY OWNER.
- 21 2"x6" CROSS BRACING BOLTED WITH (2) 3/4" DIA. THROUGH BOLTS TO PILING AT EACH END
- 22 NEW APPLIED GABLE ROOF (SEE SHEET A-3 FOR FRAMING SIZES)



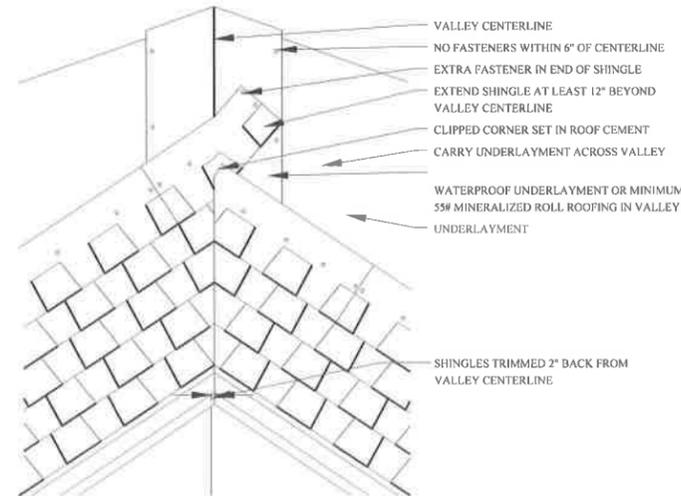
COR-A-VENT-X-5 DTL.
N.T.S.



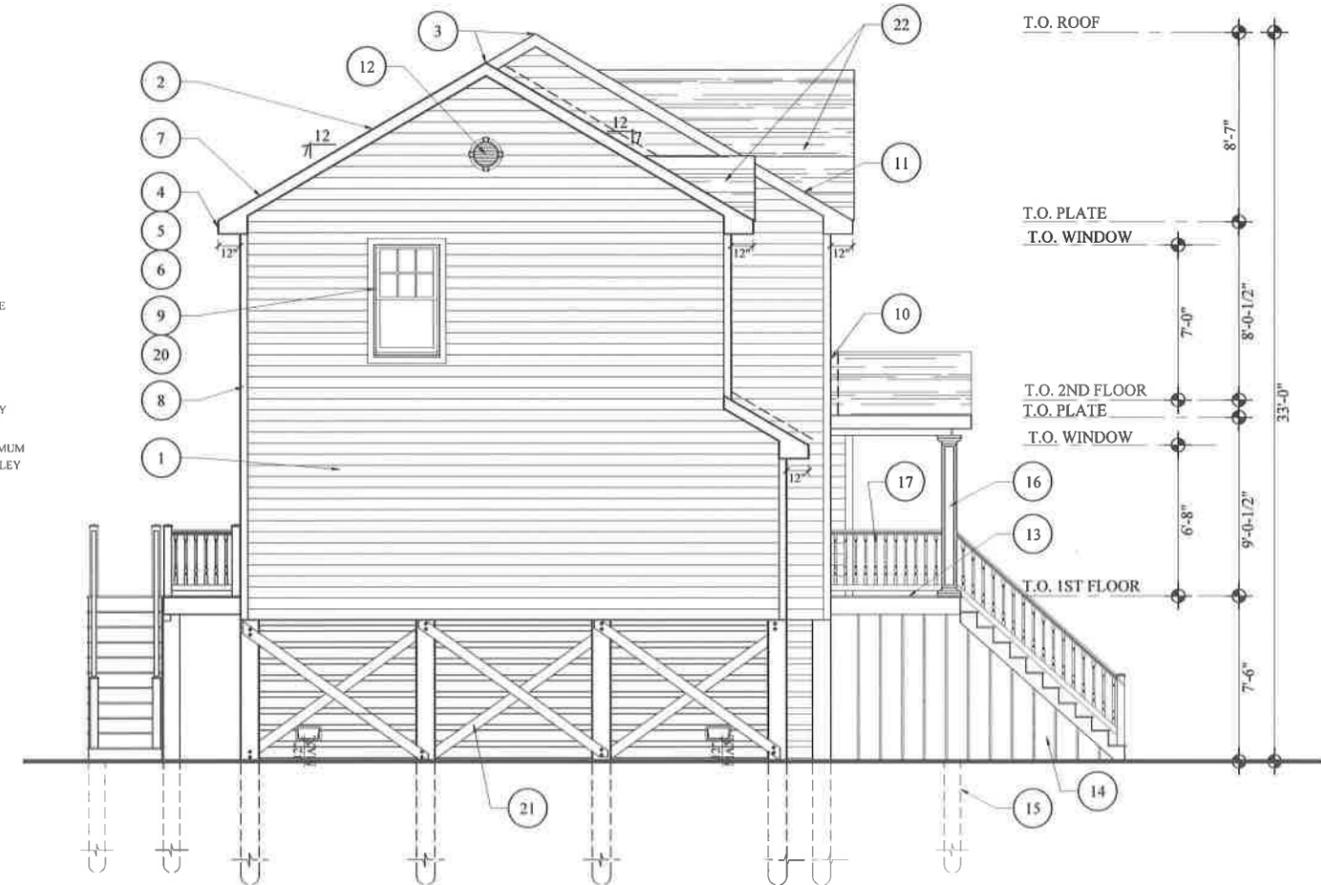
FRONT ELEVATION
SCALE: 1/4"=1'-0"



TYP. COR-A-VENT V-300 DTL.
N.T.S.



TYP. CLOSED-CUT VALLEY CONST. DTL.
N.T.S.



LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"



IT IS A VIOLATION OF NYS LAW FOR ANYONE EXCEPT THE LICENSED ARCHITECT TO ALTER THESE PLANS IN ANYWAY

CHARLES J. BRUDI, R.A.
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ELEVATIONS AND LEGEND

Project Name & Address
TM#: 62-88-1 & 2
PROPOSED NEW DWELLING AT
SPORTSMAN AVENUE, FREEPORT, N.Y. 11520

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Drawn By:
M. MONTALBANO

Project #
25-027

Scale
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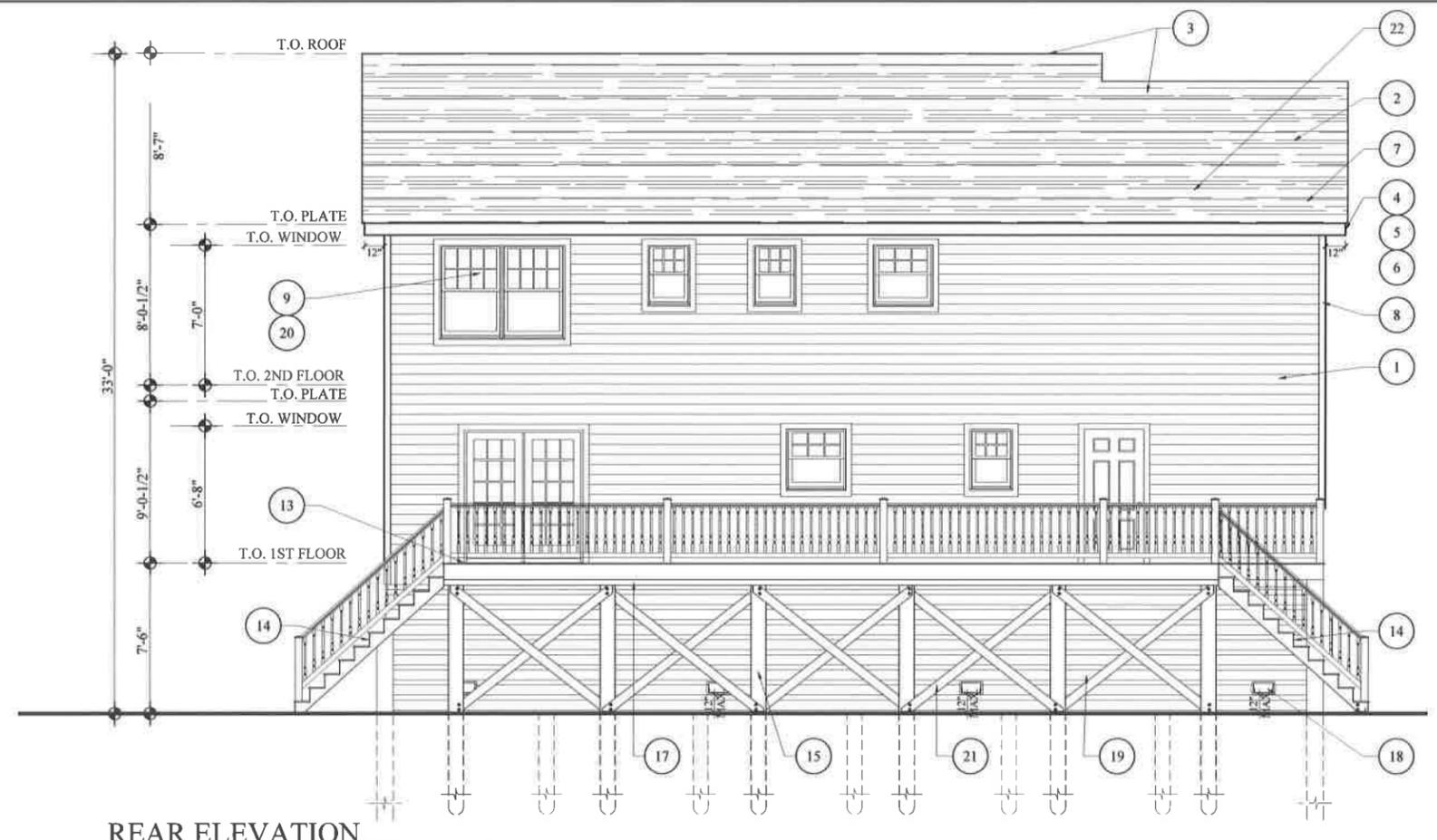
Date
03-08-25

Sheet #

A-8

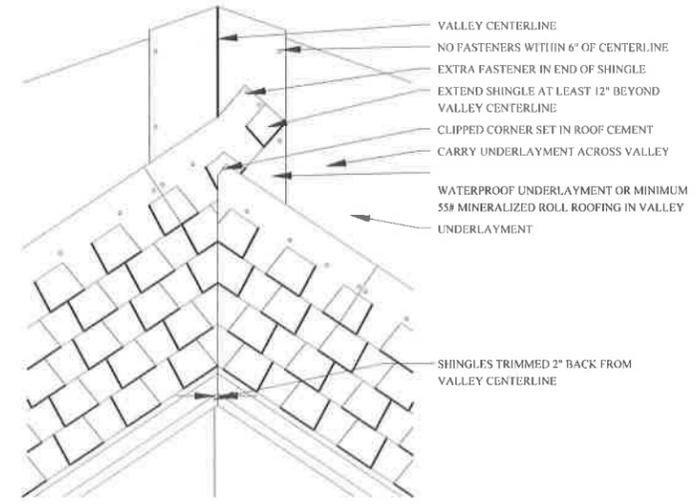
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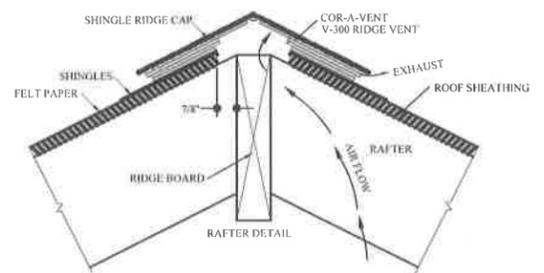
REAR ELEVATION

SCALE: 1/4"=1'-0"



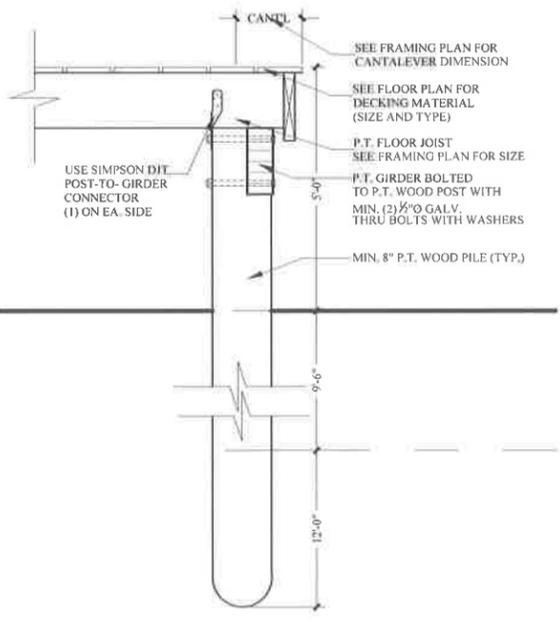
TYP. CLOSED-CUT VALLEY CONST. DTL.

N.T.S.



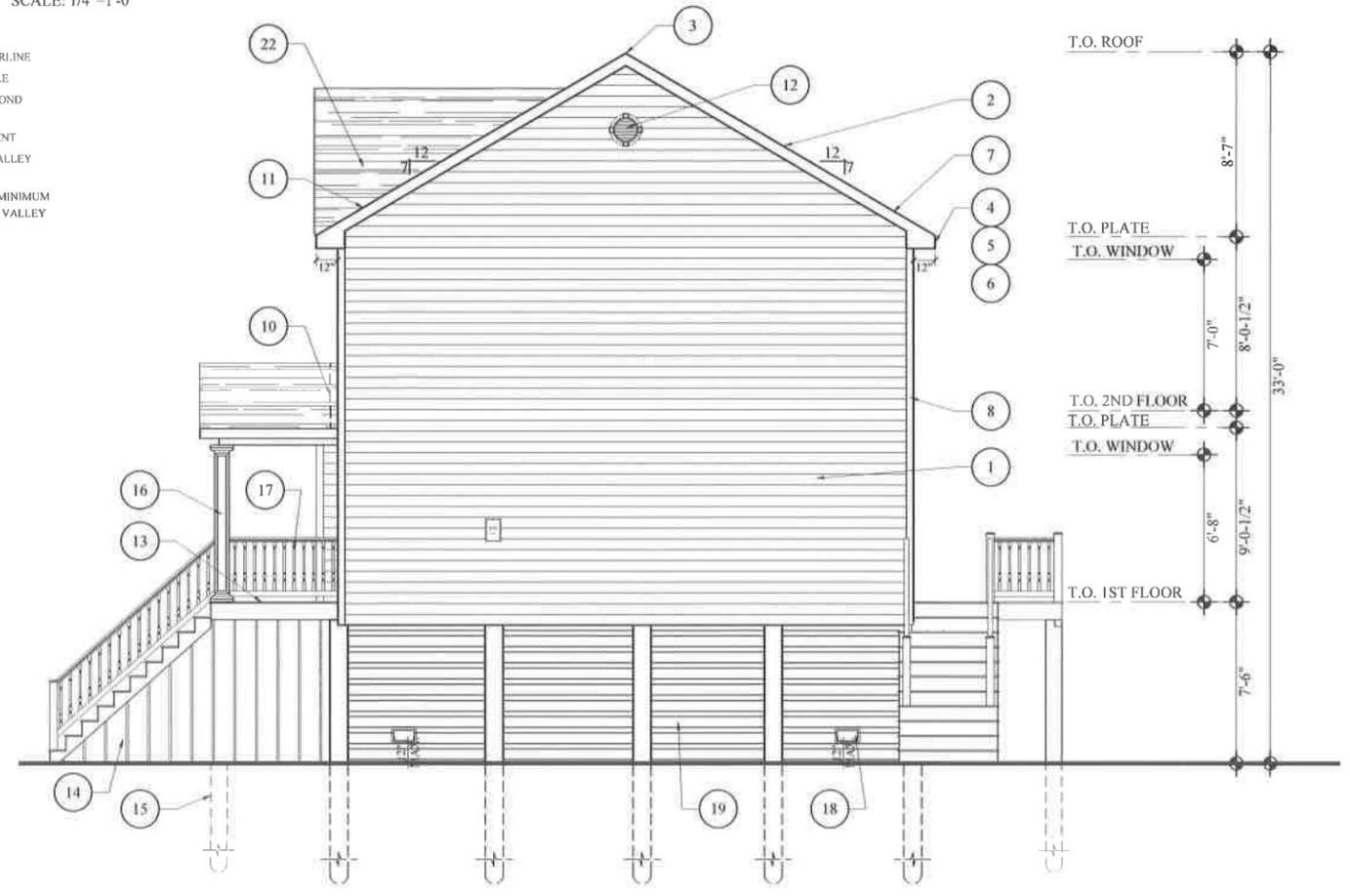
TYP. COR-A-VENT V-300 DTL.

N.T.S.



GRADE BEAM-HELICAL PILE DTL.

N.T.S.



RIGHT SIDE ELEVATION

SCALE: 1/4"=1'-0"



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Project #
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AS NOTED

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Sheet #
A-9